

DESCRIPTION OF WORK :

ADDITION OF (N) ONE BEDROOM SINGLE FAMILY HOUSE ATTACHED TO THE (E) FAMILY RESIDENCE AND ADDITION OF A DUPLEX ADU (ONE BEDROOM EACH) IN THE BACKYARD

ADDRESS: 225 ELM STREET, WATSONVILLE, CA 95076  
 ZONING DESIGNATION: RM-3  
 APN: 017-201-23  
 LOT SIZE: 6,874 SQ FT  
 (E) TOTAL BUILDING AREA: 1,228 SQ FT (MAIN HOUSE) + 729 SQ FT (GARAGES) = 1973 SQ FT  
 (N) TOTAL BUILDING AREA: 1,228 SQ FT ((E) MAIN HOUSE) + 867 SQ FT ((N) GARAGES) + 406 SQ FT ((N) SECOND RESIDENCE) + 498 SQ FT ((N) ADU 1) + 464 SQ FT ((N) ADU 2) + 229 SQ FT (STORAGE AREA) = 3692 SQ FT  
 (N) TOTAL ADUS AREA: 962 SQ FT  
 NUMBER OF STORIES: (E) 1, (N) 2  
 FIRE SPRINKLERS: PROPOSED (N) FIRE SPRINKLERS FOR ALL UNITS TO BE DEFERRED.  
 CONSTRUCTION TYPE: (E) VB - (N) VB  
 OCCUPANCY GROUP: (E) R-3 - (N) R-3  
 FEMA FLOOD ZONE: AH, BASE FLOOR ELEVATION 31'

ACCESSORY DWELLING UNIT DEVELOPMENT STANDARDS:  
 PROPOSED 962 SQ FT 21'-4" MAX HEIGHT 5'-0" INTERIOR SIDE SETBACK 5'-0" REAR SETBACK (FROM ALLEY WAY)  
 REQUIRED 1000 SQ FT 28'-0" MAX HEIGHT 4'-0" INTERIOR SIDE SETBACK 5'-0" REAR SETBACK (FROM ALLEY WAY)

3 PROJECT DESCRIPTION

OWNER: JUAN ORTEGA  
 225 ELM ST  
 WATSONVILLE CA 95076  
 TEL: 831.722.2606  
 EMAIL: arthurortega@msn.com

ARCHITECT: CARRIE SHORES DILLER  
 LARSON SHORES ARCHITECTURE + INTERIORS  
 1940 UNION STREET #22  
 OAKLAND, CA 94607  
 TEL: 510.444.9788; CELL: 510.725.9788  
 EMAIL: carrie@inspiredadus.com

STRUCTURAL ENGINEER: ANTHONY B. SCHMID  
 MCNEIL ENGINEERING  
 8610 SANDY PARKWAY, SUITE 200  
 SANDY, UT 84070  
 EMAIL: ANTHONY@MCNEILENG.COM

TITLE 24 CONSULTANT: ROY ASI  
 DELTA T ENERGY CONSULTING  
 TEL: 707.827.0233 x403  
 EMAIL: roy@deltatenergyconsulting.com

CIVIL ENGINEER: AUSTIN PAYNE  
 UPRIGHT ENGINEERING  
 TEL: 925-275-5304  
 EMAIL: info@uprightengineeringinc.com

2 PROJECT TEAM

&	AND	DR	DOOR	INCL	INCLUDE	RO	ROUGH OPENING OR ROLL OUT
<	ANGLE, LESS THAN	DSP	DOWNSPOUT	INSUL	INSULATION	RS	RING SHANK
>	ANGLE, GREATER THAN	DW	DISHWASHER	INT	INTERIOR	RWD	REDWOOD
@	AT	DWG	DRAWING	JST	JOIST	RWL	RAIN WATER LEADER
/	PER	DWR	DRAWER	JT	JOINT	SAD	SEE ARCHITECTURAL DRAWINGS
#	POUND OR NUMBER	EA	EACH	KD	KILN-DRIED	SC	SOLID CORE
AB	ANCHOR BOLT	EB	EXPANSION BOLT	LAV	LAVATORY	SCHED	SCHEDULE
ABV	ABOVE	EF	EXPANSION FACE	LB	POUND	SD	SECTION
A/C	AIR CONDITIONING	EJ	EXPANSION JOINT	LH	LEFT HAND	SECT	SEE ELECTRICAL DRAWINGS
AD	AREA DRAIN	ELECT	ELECTRIC	LP	LOW POINT	SED	SEE ELECTRICAL DRAWINGS
ADJ	ADJUSTABLE	ELEV	ELEVATION	LT	LIGHT	SH	SHELF
AFF	ABOVE FINISHED FLOOR	EN	EDGE NAIL	MAX	MAXIMUM	SHT	SHEET
AIA	AMERICAN INSTITUTE OF ARCHITECTS	ENGR	ENGINEER	MB	MACHINE BOLT	SIM	SIMILAR
AIT	ALTERNATE	EQ	EQUAL	MED	MEDIUM	SLD	SEE LANDSCAPE DRAWINGS
ALUM	ALUMINUM	ES	EACH SIDE	MEMB	MEMBRANE	SMD	SEE MECHANICAL DRAWINGS
APPROX	APPROXIMATELY	EW	EACH WAY	MEZ	MEZZANINE	SND	SEE PLUMBING DRAWINGS
ARCH	ARCHITECTURAL	(E)	EXISTING	MFR	MANUFACTURER	SPD	SPECIFICATION
ASPH	ASPHALT	EXP	EXPANSION	MIN	MINIMUM	SPEC	SPEAKER
AWG	AMERICAN WIRE GAGE	EXT	EXTERIOR	MISC	MISCELLANEOUS	SPKR	SQUARE
BD	BOARD	FB	FLAT BAR	MO	MASONRY OPENING	SS	SEE MECHANICAL DRAWINGS
BETW	BETWEEN	FD	FLOOR DRAIN	MSRY	MASONRY	SQ	SQUARE
BLDG	BUILDING	FDN	FOUNDATION	MTD	MOUNTED	SS	SEE STRUCTURAL DRAWINGS
BLKG	BLOCKING	FIN	FINISH	MTL	METAL	SSD	SEE STRUCTURAL DRAWINGS
BM	BEAM	FJ	FLOOR JOIST	(N)	NEW	STAGG'D	STAGGERED
BOF	BOTTOM OF FOOTING	FL FLR	FLOOR	NIC	NOT IN CONTRACT	STD	STANDARD
BOTM	BOTTOM	FOC	FACE OF CONCRETE	NOAM	NOMINAL	STL	STEEL
BUR	BUILT-UP ROOF	FOF	FACE OF FINISH	NTS	NOT TO SCALE	STR	STRUCTURAL
C	CENTERLINE	FOS	FACE OF STUD	O	DIAMETER	SUSP	SUSPEND (ED)
CAB	CABINET	FP	FIREPLACE OR FULL PENETRATION	O/	OVER	SYM	SYMMETRICAL
CAR	COLD AIR RETURN	FR	FLOOR REGISTER	OA	OVERALL	T & B	TOP & BOTTOM
CB	CATCH BASIN	FS	FAR SIDE	OC	ON CENTER	TC	TOP OF CURB
CC	CEMENT COATED	FT	FOOT OR FEET	OCBW	ON CENTER EACH WAY	T & G	TONGUE & GROOVE
CEC	CALIFORNIA ENERGY COMMISSION	FTG	FOOTING	OD	OUTSIDE DIAMETER	TEMP	TEMPERED
CJ	CAST IRON	FURR	FURRING	OF	OUTSIDE FACE	THK	THICK
CI	CEILING JOIST	FUT	FUTURE	OFCI	OWNER FURNISH, CONTRACTOR INSTALL	TOB	TOP OF BEAM
CLO	CLOSET	G	GAS	OH	OVERHANG	TOC	TOP OF CONCRETE
CLG	CEILING	GA	GAUGE	OPPHAND	OPPOSITE HAND	TOF	TOP OF FOOTING
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	OPNG	OPENING	TOP	TOP OF PLATE
C.O.	CLEANOUT	GB	GRADE BEAM	OVHD	OVERHEAD	TOS	TOP OF STEEL
COAX	COAXIAL CABLE	GEN	GENERAL	PL	PLATE	TPH	TOILET PAPER HOLDER
COL	COLUMN	GFI	GROUND FAULT INTERRUPTOR	PLAM	PLASTIC LAMINATE	TW, TOW	TOP OF WALL
COMM	COMMUNICATION	GI	GALVANIZED IRON	PLF	POUNDS PER LINEAL FOOT	TYP	TYPICAL
CONC	CONCRETE	GL	GLAZING OR GLASS	PLY	PLYWOOD	UN	UNLESS OTHERWISE NOTED
CON	CONNECTION	GR	GRADE	PR	PAIR	VERT	VERTICAL
CONST	CONSTRUCTION	GSM	GALVANIZED SHEET METAL	PRCST	PRECAST	VERT	VERT. GRAIN DOUG. FIR (10 RING/IN. MIN.)
CONT	CONTINUOUS	GYP	GYPSON	PSF	POUNDS PER SQUARE FOOT	VGDF	VERIFY IN FIELD
CONTR	CONTRACTOR	HB	HOSE BIBB	PSI	POUNDS PER SQUARE INCH	VIF	WITH
CPTR	COMPUTER	HC	HOLLOW CORE	PT	PRESSURE TREATED WITH PRESERVATIVE	W/	WATER CLOSET
CU	CUBIC	HDR	HOT DIP GALVANIZED	HDR	HEADER	WC	WOOD
DBL	DOUBLE	HORIZ	HORIZONTAL	RD	ROOF DRAIN	WDW	WINDOW
DF	DOUGLAS FIR	HT	HIGHT	REIN	REINFORCEMENT	WP	WATERPROOF
DIA	DIAMETER	HTR	HEATER	REQ	REQUIRED	WP'ING	WATERPROOFING
DIM	DIMENSION	HW	HOT WATER	RESIL	RESILIENT	WR	WALL REGISTER
DISP	DISPOSAL	HWH	HOT WATER HEATER	REV	REVISION OR REVISED		
DIST	DISTRIBUTION	ID	INSIDE DIAMETER	RH	RIGHT HAND		
DIV	DIVIDED OR DIVISION	IF	INSIDE FACE	RJ	ROOF JOIST		
DN	DOWN	IN	INCH	RM	ROOM		

1 ABBREVIATIONS

ARCHITECTURAL:	A0.0 PROJECT INFORMATION A0.7 CALGREEN RESIDENTIAL CHECKLIST A0.8 CALGREEN RESIDENTIAL CHECKLIST SURVEY A1.0 EXISTING AND PROPOSED SITE PLANS A1.1 PROPOSED PLANNING SITE PLAN A1.2 EXISTING MAIN HOUSE FLOOR PLAN A2.0 PROPOSED SECOND RESIDENCE FLOOR PLAN & ROOF PLAN A2.1 PROPOSED SECOND RESIDENCE REFLECTED CEILING PLAN & MEP PLAN A2.2 PROPOSED ADU FLOOR & ROOF PLANS A3.0 EXISTING/PROPOSED SECOND RESIDENCE EXTERIOR ELEVATIONS A3.1 PROPOSED ADU EXTERIOR ELEVATIONS & SCHEDULES A4.0 PROPOSED SECOND RESIDENCE BUILDING SECTIONS
CIVIL:	1 of 5 COVER SHEET 2 of 5 GRADING & EROSION CONTROL PLAN 3 of 5 DRAINAGE PLAN 4 of 5 UTILITY PLAN 5 of 5 DETAILS
LANDSCAPE:	L 1 EXISTING AND PROPOSED SITE PLANS L 2 PROPOSED PLANTING PLAN L 3 PROPOSED IRRIGATION PLAN L 4 PLANTING IMAGES & NOTES

5 DRAWING INDEX

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES, AND THE CODES LISTED BELOW:

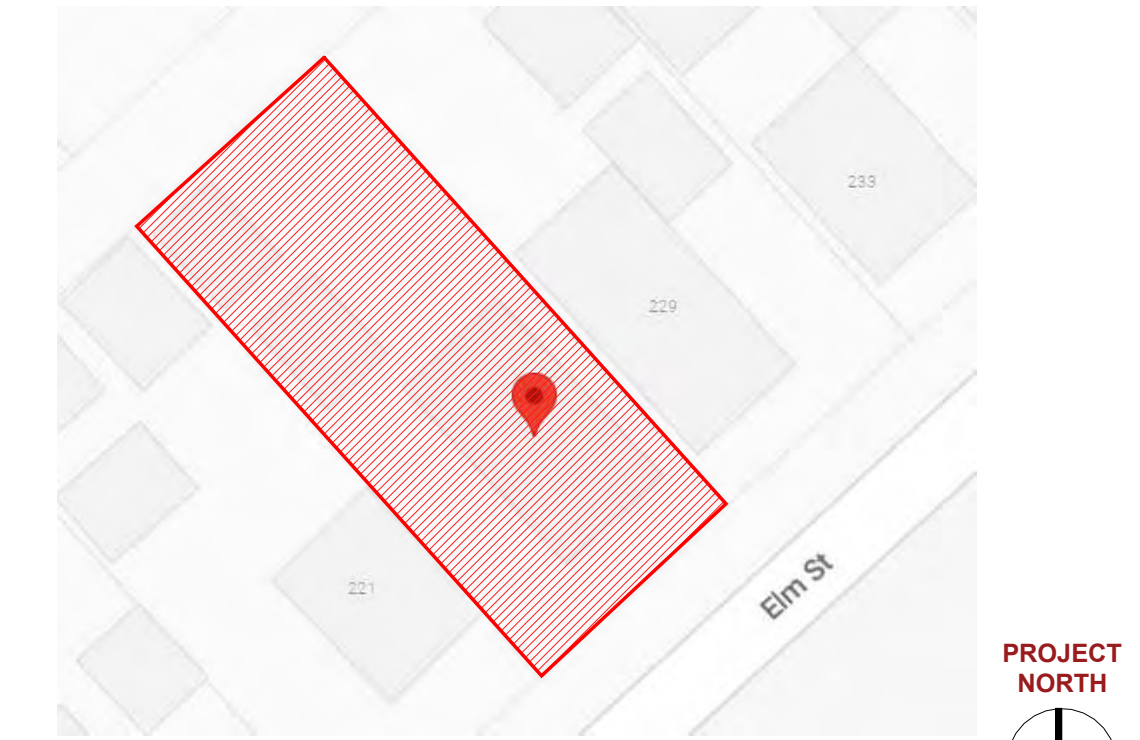
- 2022 CALIFORNIA CODE
- 2022 CALIFORNIA BUILDING CODE
  - 2022 CALIFORNIA RESIDENTIAL CODE
  - 2022 CALIFORNIA ELECTRICAL CODE
  - 2022 CALIFORNIA MECHANICAL CODE
  - 2022 CALIFORNIA PLUMBING CODE
  - 2022 CALIFORNIA ENERGY CODE
  - 2022 CALIFORNIA EXISTING BUILDING CODE
  - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
  - 2022 CALIFORNIA FIRE CODE

CALGREEN RESIDENTIAL CHECKLIST, SEE A0.7 & A0.8

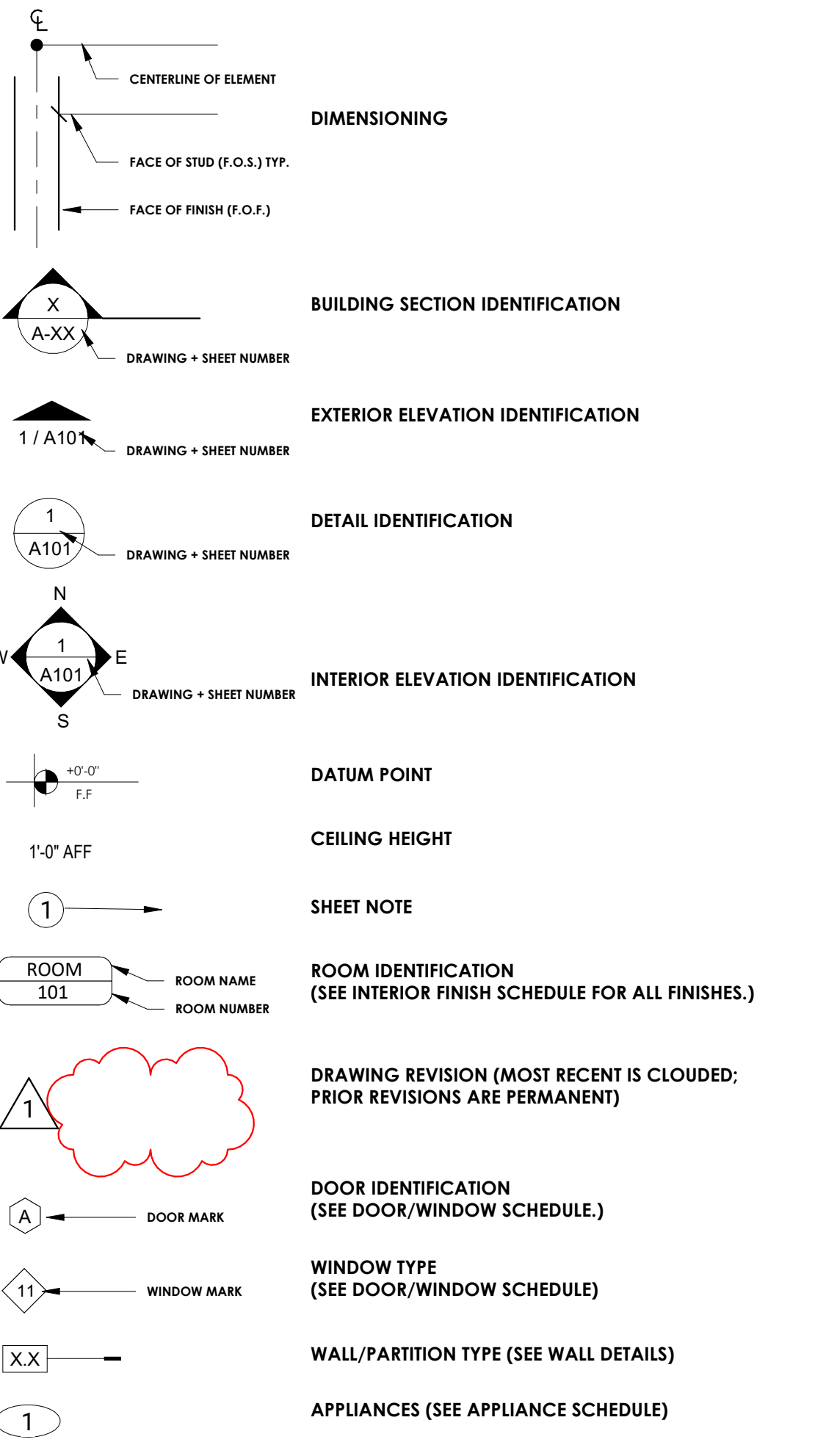
4 APPLICABLE CODES



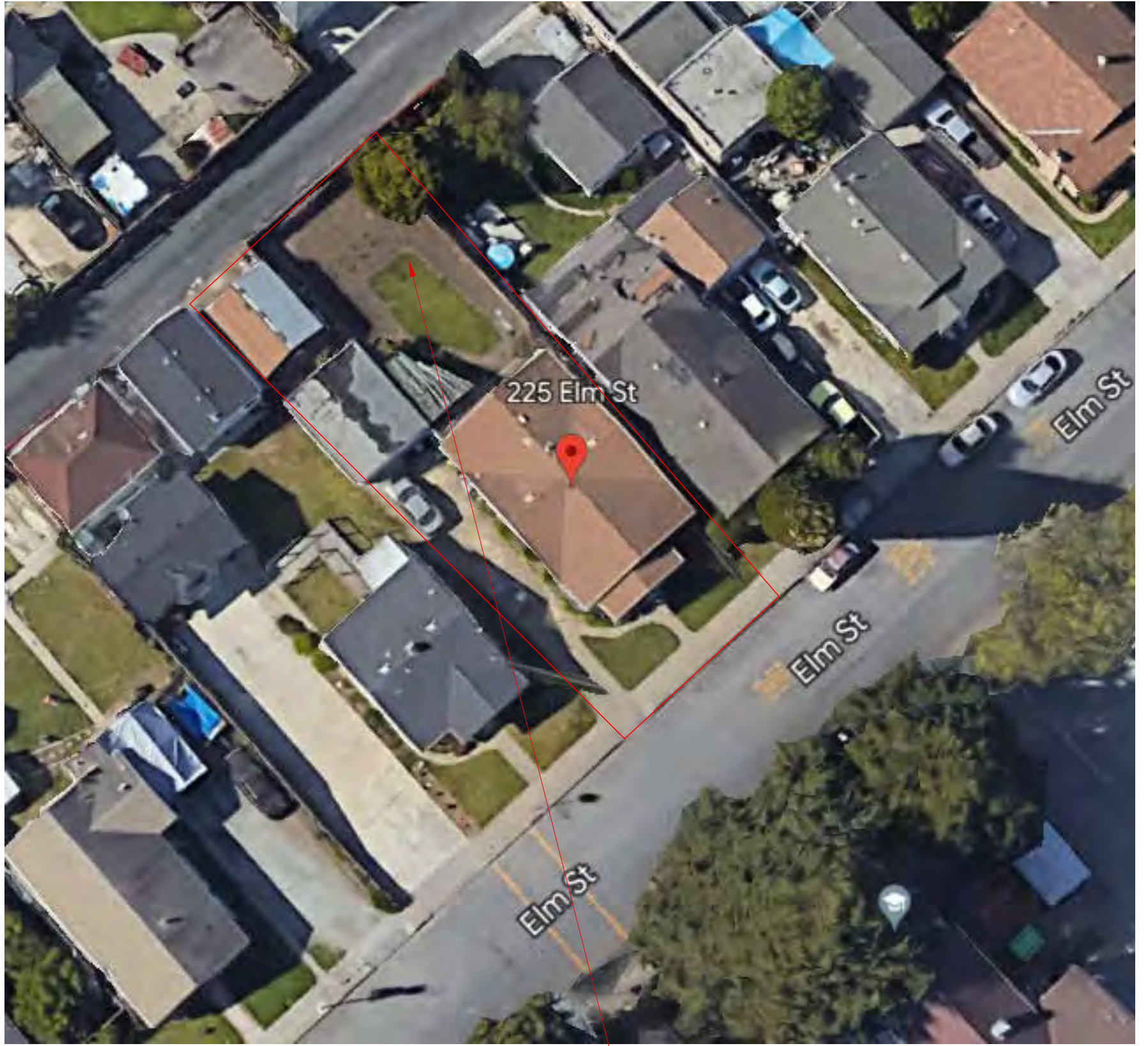
8 ASSESSOR'S MAP NOT TO SCALE



7 VICINITY MAP NOT TO SCALE



6 DRAWING SYMBOLS



10 AERIAL VIEW NOT TO SCALE

- ALL WORK SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED BY CODES AND REGULATIONS LISTED HEREIN AND AS REQUIRED BY THE STATE OF CALIFORNIA AND ALL RELATED REGULATORY BODIES.
- VERIFY LOCAL CODE AMENDMENTS ADOPTED BY AHJ RELATED TO ADU REQUIREMENTS.
- ALL EXISTING DIMENSIONS ARE BASED ON SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS: DO NOT SCALE.
- ADU SHALL NOT BE PLACED ON TOP OF AN EXISTING EASEMENT.
- SITE PLAN LAYOUT AND FIRE SEPARATION DISTANCE ASSUME ADU IS NOT EQUIPPED WITH A FIRE SPRINKLER SYSTEM.
- FLOOR PLAN DIMENSIONS SHOWN ARE FACE OF FINISH AT NEW CONSTRUCTION. DIMENSIONS NOTED AS "CLEAR" ARE TO BE PRECISELY MAINTAINED.
- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.
- BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING SITE CONDITIONS AND DETERMINE THE EXTENT OF THE EXISTING FINISHES, SPECIALTIES, AND OTHER ITEMS WHICH MUST BE REMOVED AND INSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. COORDINATE AND MAKE THIS INSPECTION WITH THE OWNER.
- THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH WORK IS ALSO PART OF THIS CONTRACT.
- DO NOT DRILL OR CUT JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.
- WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, APPROPRIATE TO THE NOTE, SHALL MATCH TO THE SATISFACTION OF THE ARCHITECT.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- BLOCKING TO BE PROVIDED BEHIND ALL WALL-MOUNTED ACCESSORIES.
- AN ENGINEERING PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. THE ENGINEERING PERMIT CAN BE ISSUED AFTER THE BUILDING PERMIT IS APPROVED AND ISSUED. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY.

11 GENERAL AND ACCESSIBILITY NOTES

**INSPIRED ADUS**  
 ELEVATING BACKYARD LIVING

1940 UNION STREET #22  
 OAKLAND, CA 94607  
 PHONE/FAX: 510-444-9788  
 INSPIREDADUS.COM

PROJECT ARCHITECT  
 CARRIE SHORES DILLER

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

SUBMITTAL

BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS

2	03/28/2024	Planning Plan Check Comments I
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\* You may use these plans for the construction of one and only one house as depicted by the plans. This license is non-transferable.  
 \* You may change or modify the plans. By changing or modifying the plans, you relieve Inspired ADUs and CARRIE SHORES-DILLER of all liability associated with the modified design and plans.  
 \* Building codes are subject to various changes and interpretations. The purchaser is responsible for compliance with all local and national building codes, ordinances, site conditions, subdivision restrictions, and structural design. A licensed engineer should review your plans before you apply for a building permit and before construction begins.  
 \* Final selections of materials are the responsibility of the homeowner and/or builder, including but not limited to proper installation of materials, sealing, gluing, caulking, insulating, flashing, roofing, waterproofing and many other small items and details not necessarily indicated on the plans, and over which Inspired ADUs and CARRIE SHORES-DILLER has no control or responsibility. Inspired ADUs and CARRIE SHORES-DILLER shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.  
 \* You may loan all or part of the plans to third parties including contractors and subcontractors for the sole purpose of the construction of your house. You agree to retrieve all loaned copies of the plans after construction is completed. Mortgage companies and building officials may retain plans for their records.  
 \* CARRIE SHORES-DILLER retains copyright ownership of the original plans and assumes sole copyright ownership of the modified plans. Your payment of a fee for use of the plans does not transfer any right, title, or interest in the plans.  
 \* Unauthorized use or copying of the plans, or the design they depict, infringes upon rights under the copyright act. Copyright infringement carries penalties of up to \$100,000 per infringement.

PROJECT INFORMATION

**A0.0**



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections 301.1 SCOPE, 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS, SECTION 302 MIXED OCCUPANCY BUILDINGS, DIVISION 4.1 PLANNING AND DESIGN, CHAPTER 4 RESIDENTIAL MANDATORY MEASURES, SECTION 4.102 DEFINITIONS, 4.106.1 GENERAL, 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION, 4.106.3 GRADING AND PAVING, 4.106.4 Electric vehicle (EV) charging for new construction.

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections 4.106.4.2 New multifamily dwellings, hotels and motels, 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units, 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, 4.106.4.3 Accessible EV spaces, 4.106.4.2.3 EV space requirements, 4.303 INDOOR WATER USE, 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS, 4.303.1.1 Water Closets, 4.303.1.2 Urinals, 4.303.1.3 Showerheads, 4.303.1.3.1 Single Showerhead, 4.303.1.3.2 Multiple showerheads serving one shower, 4.303.1.4 Faucets, 4.303.1.4.1 Residential Lavatory Faucets, 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas, 4.303.1.4.3 Metering Faucets, 4.303.1.4.4 Kitchen Faucets, 4.303.1.4.5 Pre-rinse spray valves, 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings, 4.303.3 Standards for plumbing fixtures and fittings.

Table with 4 columns: Y, N/A, RESPON, PARTY. Contains sections 4.304 OUTDOOR WATER USE, DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY, 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE, 4.406.1 RODENT PROOFING, 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING, 4.408.1 CONSTRUCTION WASTE MANAGEMENT, 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN, 4.408.3 WASTE MANAGEMENT COMPANY, 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR), 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE, 4.408.5 DOCUMENTATION, 4.410 BUILDING MAINTENANCE AND OPERATION, 4.410.1 OPERATION AND MAINTENANCE MANUAL, 4.410.2 RECYCLING BY OCCUPANTS, DIVISION 4.5 ENVIRONMENTAL QUALITY, SECTION 4.501 GENERAL, 4.501.1 Scope, SECTION 4.502 DEFINITIONS, 5.102.1 DEFINITIONS, AGRIFIBER PRODUCTS, COMPOSITE WOOD PRODUCTS, DIRECT-VENT APPLIANCE.

INSPIRED ADUS 1940 UNION STREET #22 OAKLAND, CA 94607 PHONE/FAX: 510-444-9788 INSPIREDADUS.COM PROJECT ARCHITECT CARRIE SHORES DILLER 225 ELM ST, WATSONVILLE RESERVED AREA FOR CITY DATE & APPROVAL STAMPS SUBMITTAL BUILDING PERMIT SET / MAY 2023 SUBMITTAL HISTORY & REVISIONS CALGREEN RESIDENTIAL CHECKLIST A0.7

# AIA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)



Y	N/A	RESPON. PARTY																																																																																										
<input type="checkbox"/>	<input type="checkbox"/>																																																																																											
<p><b>MAXIMUM INCREMENTAL REACTIVITY (MIR).</b> The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O<sub>3</sub>/g ROG).            Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.</p> <p><b>MOISTURE CONTENT.</b> The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.</p> <p><b>PRODUCT-WEIGHTED MIR (PWMIR).</b> The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).            Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).</p> <p><b>REACTIVE ORGANIC COMPOUND (ROC).</b> Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.</p> <p><b>VOC.</b> A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).</p>																																																																																												
<input type="checkbox"/>	<input type="checkbox"/>																																																																																											
<p><b>4.503 FIREPLACES</b></p> <p><b>4.503.1 GENERAL.</b> Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.</p> <p><b>4.504 POLLUTANT CONTROL</b></p> <p><b>4.504.1 COVERING OF DUCT OPENINGS &amp; PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.</b> At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.</p> <p><b>4.504.2 FINISH MATERIAL POLLUTANT CONTROL.</b> Finish materials shall comply with this section.</p> <p><b>4.504.2.1 Adhesives, Sealants and Caulks.</b> Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:</p> <ol style="list-style-type: none"> <li>Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.</li> <li>Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.</li> </ol> <p><b>4.504.2.2 Paints and Coatings.</b> Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB's Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.</p> <p><b>4.504.2.3 Aerosol Paints and Coatings.</b> Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(b)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.</p> <p><b>4.504.2.4 Verification.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:</p> <ol style="list-style-type: none"> <li>Manufacturer's product specification.</li> <li>Field verification of on-site product containers.</li> </ol>																																																																																												
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<p><b>TABLE 4.504.1 - ADHESIVE VOC LIMIT<sup>1,2</sup></b> (Less Water and Less Exempt Compounds in Grams per Liter)</p> <table border="1"> <thead> <tr> <th>ARCHITECTURAL APPLICATIONS</th> <th>VOC LIMIT</th> </tr> </thead> <tbody> <tr><td>INDOOR CARPET ADHESIVES</td><td>50</td></tr> <tr><td>CARPET PAD ADHESIVES</td><td>50</td></tr> <tr><td>OUTDOOR CARPET ADHESIVES</td><td>150</td></tr> <tr><td>WOOD FLOORING ADHESIVES</td><td>100</td></tr> <tr><td>RUBBER FLOOR ADHESIVES</td><td>60</td></tr> <tr><td>SUBFLOOR ADHESIVES</td><td>50</td></tr> <tr><td>CERAMIC TILE ADHESIVES</td><td>65</td></tr> <tr><td>VCT &amp; ASPHALT TILE ADHESIVES</td><td>50</td></tr> <tr><td>DRYWALL &amp; PANEL ADHESIVES</td><td>50</td></tr> <tr><td>COVE BASE ADHESIVES</td><td>50</td></tr> <tr><td>MULTIPURPOSE CONSTRUCTION ADHESIVE</td><td>70</td></tr> <tr><td>STRUCTURAL GLAZING ADHESIVES</td><td>100</td></tr> <tr><td>SINGLE-PLY ROOF MEMBRANE ADHESIVES</td><td>250</td></tr> <tr><td>OTHER ADHESIVES NOT LISTED</td><td>50</td></tr> <tr><td colspan="2"><b>SPECIALTY APPLICATIONS</b></td></tr> <tr><td>PVC WELDING</td><td>510</td></tr> <tr><td>CPVC WELDING</td><td>490</td></tr> <tr><td>ABS WELDING</td><td>325</td></tr> <tr><td>PLASTIC CEMENT WELDING</td><td>250</td></tr> <tr><td>ADHESIVE PRIMER FOR PLASTIC</td><td>550</td></tr> <tr><td>CONTACT ADHESIVE</td><td>80</td></tr> <tr><td>SPECIAL PURPOSE CONTACT ADHESIVE</td><td>250</td></tr> <tr><td>STRUCTURAL WOOD MEMBER ADHESIVE</td><td>140</td></tr> <tr><td>TOP &amp; TRIM ADHESIVE</td><td>250</td></tr> <tr><td colspan="2"><b>SUBSTRATE SPECIFIC APPLICATIONS</b></td></tr> <tr><td>METAL TO METAL</td><td>30</td></tr> <tr><td>PLASTIC FOAMS</td><td>50</td></tr> <tr><td>POROUS MATERIAL (EXCEPT WOOD)</td><td>50</td></tr> <tr><td>WOOD</td><td>30</td></tr> <tr><td>FIBERGLASS</td><td>80</td></tr> </tbody> </table> <p>1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.</p> <p>2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.</p>			ARCHITECTURAL APPLICATIONS	VOC LIMIT	INDOOR CARPET ADHESIVES	50	CARPET PAD ADHESIVES	50	OUTDOOR CARPET ADHESIVES	150	WOOD FLOORING ADHESIVES	100	RUBBER FLOOR ADHESIVES	60	SUBFLOOR ADHESIVES	50	CERAMIC TILE ADHESIVES	65	VCT & ASPHALT TILE ADHESIVES	50	DRYWALL & PANEL ADHESIVES	50	COVE BASE ADHESIVES	50	MULTIPURPOSE CONSTRUCTION ADHESIVE	70	STRUCTURAL GLAZING ADHESIVES	100	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250	OTHER ADHESIVES NOT LISTED	50	<b>SPECIALTY APPLICATIONS</b>		PVC WELDING	510	CPVC WELDING	490	ABS WELDING	325	PLASTIC CEMENT WELDING	250	ADHESIVE PRIMER FOR PLASTIC	550	CONTACT ADHESIVE	80	SPECIAL PURPOSE CONTACT ADHESIVE	250	STRUCTURAL WOOD MEMBER ADHESIVE	140	TOP & TRIM ADHESIVE	250	<b>SUBSTRATE SPECIFIC APPLICATIONS</b>		METAL TO METAL	30	PLASTIC FOAMS	50	POROUS MATERIAL (EXCEPT WOOD)	50	WOOD	30	FIBERGLASS	80																												
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THIN MEDIUM DENSITY FIBERBOARD <sup>2</sup>	0.13																																																																																											
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<p><b>DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)</b></p> <p><b>4.504.3 CARPET SYSTEMS.</b> All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs.  <a href="https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a>.</p> <p><b>4.504.3.1 Carpet cushion.</b> All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs.  <a href="https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a>.</p> <p><b>4.504.3.2 Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 4.504.1.</p> <p><b>4.504.4 RESILIENT FLOORING SYSTEMS.</b> Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs.  <a href="https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a>.</p> <p><b>4.504.5 COMPOSITE WOOD PRODUCTS.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5</p> <p><b>4.504.5.1 Documentation.</b> Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:</p> <ol style="list-style-type: none"> <li>Product certifications and specifications.</li> <li>Chain of custody certifications.</li> <li>Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).</li> <li>Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.</li> <li>Other methods acceptable to the enforcing agency.</li> </ol>																																																																																												
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<p><b>4.505 INTERIOR MOISTURE CONTROL</b></p> <p><b>4.505.1 General.</b> Buildings shall meet or exceed the provisions of the California Building Standards Code.</p> <p><b>4.505.2 CONCRETE SLAB FOUNDATIONS.</b> Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.</p> <p><b>4.505.2.1 Capillary break.</b> A capillary break shall be installed in compliance with at least one of the following:</p> <ol style="list-style-type: none"> <li>A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.</li> <li>Other equivalent methods approved by the enforcing agency.</li> <li>A slab design specified by a licensed design professional.</li> </ol> <p><b>4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.</b> Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:</p> <ol style="list-style-type: none"> <li>Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.</li> <li>Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.</li> <li>At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.</li> </ol> <p>Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.</p> <p><b>4.506 INDOOR AIR QUALITY AND EXHAUST</b></p> <p><b>4.506.1 Bathroom exhaust fans.</b> Each bathroom shall be mechanically ventilated and shall comply with the following:</p> <ol style="list-style-type: none"> <li>Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.</li> <li>Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.             <ol style="list-style-type: none"> <li>Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.</li> <li>A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)</li> </ol> </li> </ol> <p><b>Notes:</b></p> <ol style="list-style-type: none"> <li>For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.</li> <li>Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.</li> </ol> <p><b>4.507 ENVIRONMENTAL COMFORT</b></p> <p><b>4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.</b> Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:</p> <ol style="list-style-type: none"> <li>The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.</li> <li>Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.</li> <li>Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.</li> </ol> <p><b>Exception:</b> Use of alternate design temperatures necessary to ensure the system functions are acceptable.</p>																																																																																												
<input type="checkbox"/>	<input type="checkbox"/>																																																																																											
<p><b>CHAPTER 7</b></p> <p><b>INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS</b></p> <p><b>702 QUALIFICATIONS</b></p> <p><b>702.1 INSTALLER TRAINING.</b> HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:</p> <ol style="list-style-type: none"> <li>State certified apprenticeship programs.</li> <li>Public utility training programs.</li> <li>Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.</li> <li>Programs sponsored by manufacturing organizations.</li> <li>Other programs acceptable to the enforcing agency.</li> </ol> <p><b>702.2 SPECIAL INSPECTION [HCD].</b> When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:</p> <ol style="list-style-type: none"> <li>Certification by a national or regional green building program or standard publisher.</li> <li>Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.</li> <li>Successful completion of a third party apprentice training program in the appropriate trade.</li> <li>Other programs acceptable to the enforcing agency.</li> </ol> <p><b>Notes:</b></p> <ol style="list-style-type: none"> <li>Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.</li> <li>HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).</li> </ol> <p>[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the enforcing agency.</p> <p><b>Note:</b> Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.</p> <p><b>703 VERIFICATIONS</b></p> <p><b>703.1 DOCUMENTATION.</b> Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.</p>																																																																																												
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 CARRIE SHORES DILLER

NEW DETACHED ACCESSORY DWELLING UNIT  
 225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL  
 BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS

\* You may use these plans for the construction of one and only one house as depicted by the plans. This license is non-transferable.

\* You may change or modify the plans. By changing or modifying the plans, you release Inspired ADUS and CARRIE SHORES-DILLER of all liability associated with the modified design and plans.

\* Building codes are subject to various changes and interpretations. The purchaser is responsible for compliance with all local and national building codes, ordinances, site conditions, subdivision restrictions, and structural design. A licensed engineer should review your plans before you apply for a building permit and before construction begins.

\* Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, nailing, gluing, caulking, insulating, flashing, roofing, waterproofing and any other small items and details not necessarily indicated on the plans, and over which Inspired ADUS and CARRIE SHORES-DILLER has no control or responsibility. Inspired ADUS and CARRIE SHORES-DILLER shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.

\* You may loan all or part of the plans to third parties including contractors and sub-contractors for the sole purpose of the construction of your house. You agree to retrieve all loaned copies of the plans after construction is completed. Mortgage companies and building officials may retain plans for their records.

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\* Unauthorized use or copying of the plans, or the design they depict, infringes upon rights under the copyright act. Copyright infringement carries penalties of up to \$100,000 per infringement.

CALGREEN RESIDENTIAL CHECKLIST

A0.8

# Notes

1. DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. BOUNDARY LINES SHOWN HEREON ARE COMPILED FROM THE COUNTY RECORDS. THE FOUR CORNER MONUMENTS WERE NOT FOUND. A COMPLETE BOUNDARY SURVEY TO SET THE MISSING MONUMENTS AND RECORD THE SURVEY AT THE COUNTY IS RECOMMENDED.
3. NOT ALL EASEMENTS OR RIGHT OF WAYS MAY BE SHOWN. A TITLE REPORT WAS NOT PROVIDED.
4. ALL DATA POINTS REPRESENT GROUND ELEVATIONS UNLESS OTHERWISE LABELLED.
5. BUILDING LINES SHOWN ARE TRIM LINES (FOUNDATION MAY BE DIFFERENT)

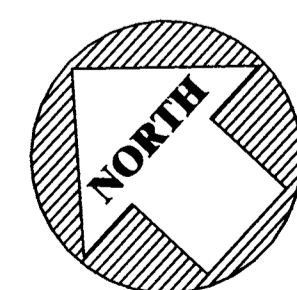
## Base Flood Elevation:

33 FEET NAVD88

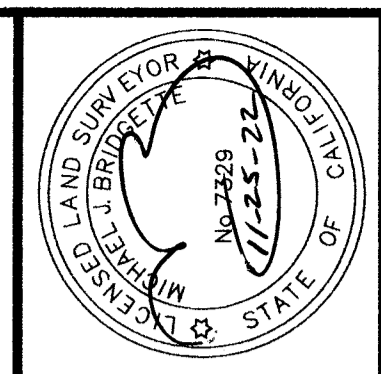
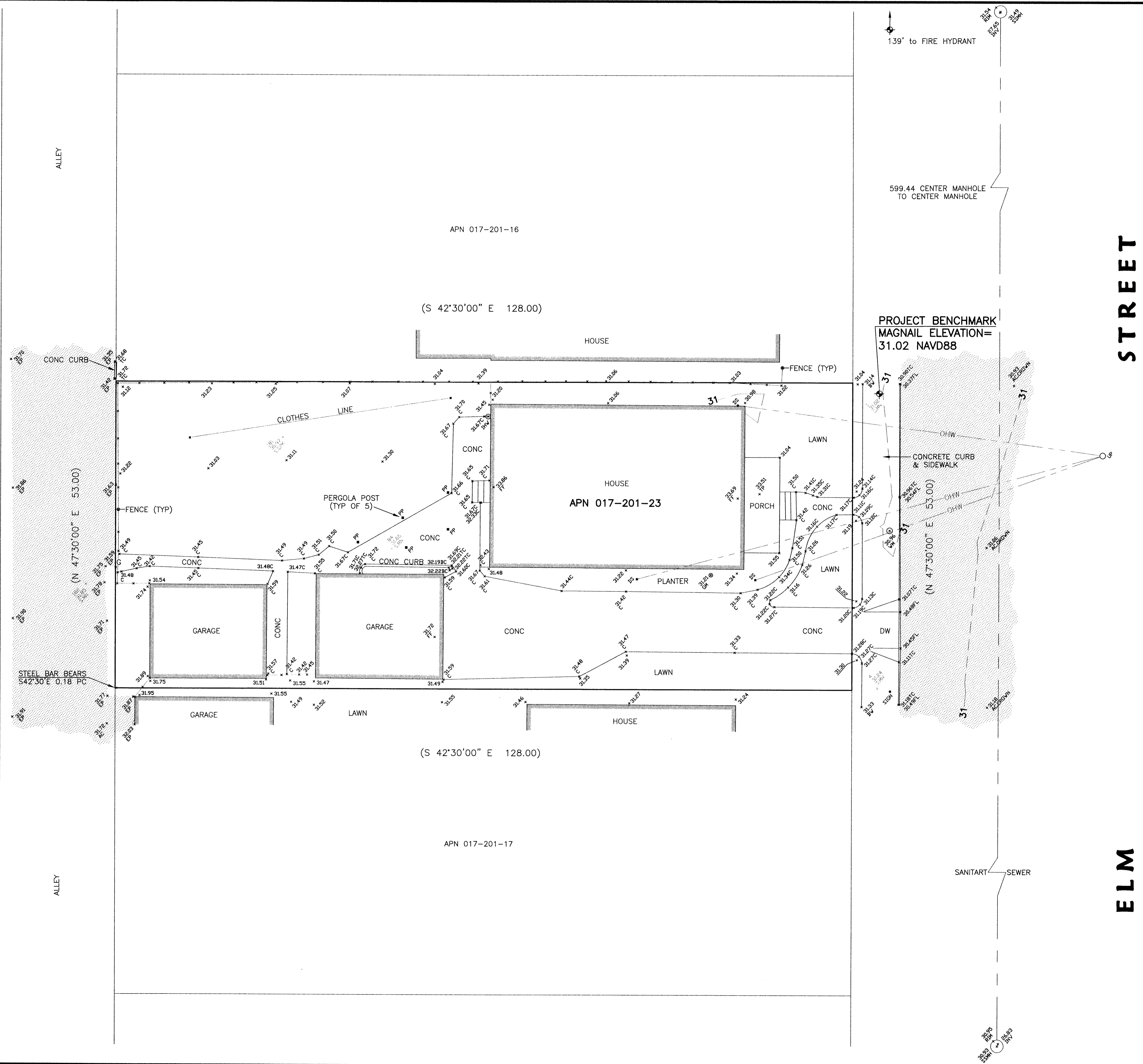
## Legend

- AC ..... ASPHALTIC CONCRETE
- BC ..... BACK OF CURB
- BW ..... BACK OF WALK
- C ..... CONCRETE
- CONC ..... CONCRETE
- DS ..... DROP SERVICE
- DW ..... DRIVEWAY
- EP ..... EDGE OF PAVEMENT
- FF ..... FINISH FLOOR
- FL ..... FLOW LINE
- GM ..... GAS METER
- IHW ..... INSTANT HOT WATER (WALL MOUNT)
- INV ..... INVERT
- PC ..... PRELIMINARY CALCULATION
- SSMH ..... SANITARY SEWER MANHOLE
- TC ..... TOP OF CURB
- TP ..... TOP OF PORCH
- UP ..... UTILITY POLE
- WM ..... WATER METER

 ASPHALTIC CONCRETE



Scale: 1" = 8'  
Contour Interval: 1 FT.



**BRIDGETTE LAND SURVEYING**  
PROFESSIONAL LAND SURVEYORS  
80 ASPEN WAY, STE. A WATSONVILLE, CA 95076  
831-722-5800 [bridgettelandsurveying.com](http://bridgettelandsurveying.com)

**TOPOGRAPHIC MAP**  
PREPARED FOR: **JUAN ORTEGA**

**ASSESSOR PARCEL NUMBER**  
**017 - 201 - 23**  
SANTA CRUZ COUNTY CALIFORNIA  
225 ELM STREET WATSONVILLE, CA 95076

DATE: 11-22-2022  
SCALE: 1" = 8'  
CONTOUR INTERVAL: 1 FT.  
REVISIONS:  
REVISIONS:

Sheet  
**1**  
of 1  
22 - 51

**SITE PLAN NOTES :**

- RAINWATER SHALL NOT BE PERMITTED TO FLOW INTO PUBLIC PROPERTY OR TO ADJOINING PROPERTIES. ALL ROOF DRAINS SHALL DISCHARGE AND DRAIN AWAY FROM THE BUILDING FOUNDATION TO AN UNPAVED AREA AT LEAST 10 FEET FROM ANY PROPERTY LINE WHEREVER PRACTICAL.
- THE GROUND IMMEDIATELY ADJACENT TO THE ADU FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 6" (5% SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPE A MINIMUM OF 2% AWAY FROM BUILDING PER R401.1.
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- ADDRESS ASSIGNMENT IS REQUIRED PRIOR TO FINAL INSPECTION OF THE BUILDING PERMIT.
- PRIOR TO FOUNDATION INSPECTION AND POURING OF CONCRETE, PROVIDE A LETTER PREPARED BY A CALIFORNIA LICENSED LAND SURVEYOR STATING THAT "... THE NEW STRUCTURE IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS".
- ALL EXTERIOR LUMINAIRES TO BE HIGH EFFICACY AND MEET REQUIREMENTS OF CALIFORNIA ENERGY CODE 150.0(K)(3).
- CONTRACTOR TO VERIFY THAT THE SANITARY SEWER SERVING THE ADU WILL HAVE A MINIMUM SLOPE OF 2% FROM THE LOWEST PART OF THE SYSTEM IN THE ADU TO THE POINT IT CONNECTS TO THE SEWER SYSTEM OF THE MAIN HOUSE. IF EXISTING SLOPE IS LESS THAN 2%, A PUMP MAY BE USED.
- PROVIDE 1" PVC CONDUIT WITH PULL STRING IN SAME TRENCH AS ELECTRICAL FOR FUTURE CABLE TV INSTALLATION.
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**SITE PLAN LEGEND :**

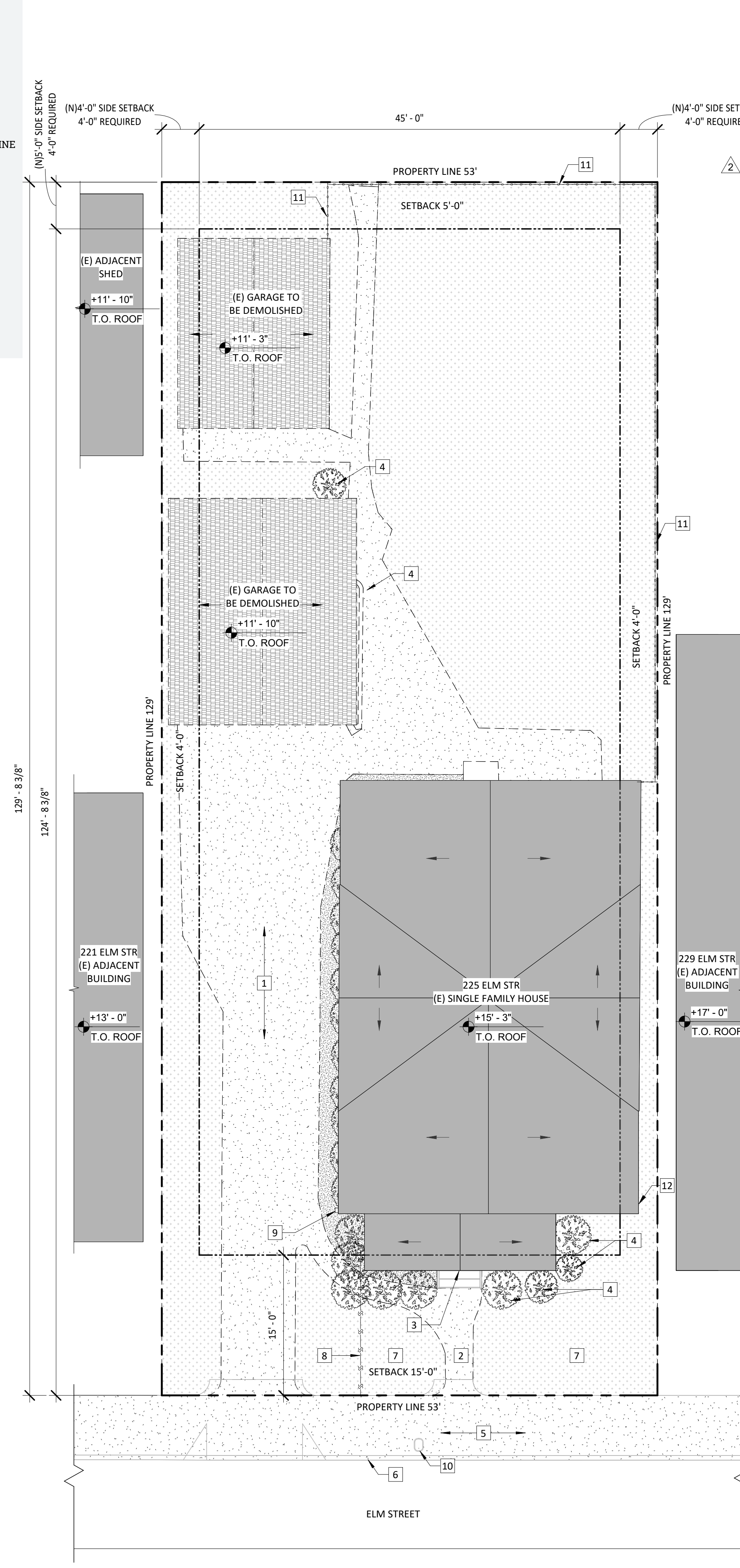
- |  |   |  |                          |
|--|---|--|--------------------------|
|  | (E) BUILDING                              |  | TO BE DEMOLISHED         |
|  | (N) ADU                                   |  | SANITARY SEWER           |
|  | PLANTING                                  |  | ELECTRICAL LINE          |
|  | CONCRETE PAVING                           |  | OVERHEAD ELECTRICAL LINE |
|  | AC PAVING                                 |  | WATER LINE               |
|  | 36" WIDE UNOBSTRUCTED FIRE ACCESS WALKWAY |  | WOOD FENCE               |
|  | DRAINAGE AREA                             |  | CHAIN LINK FENCE         |
|  | ELECTRICAL METER OR PANEL                 |  | CLEANOUT                 |
|  | CONDENSER                                 |  | FIRE HYDRANT             |
|  | OUTDOOR BOLLARD LIGHTING                  |  |                          |

**EXISTING SITE PLAN KEYNOTES:**

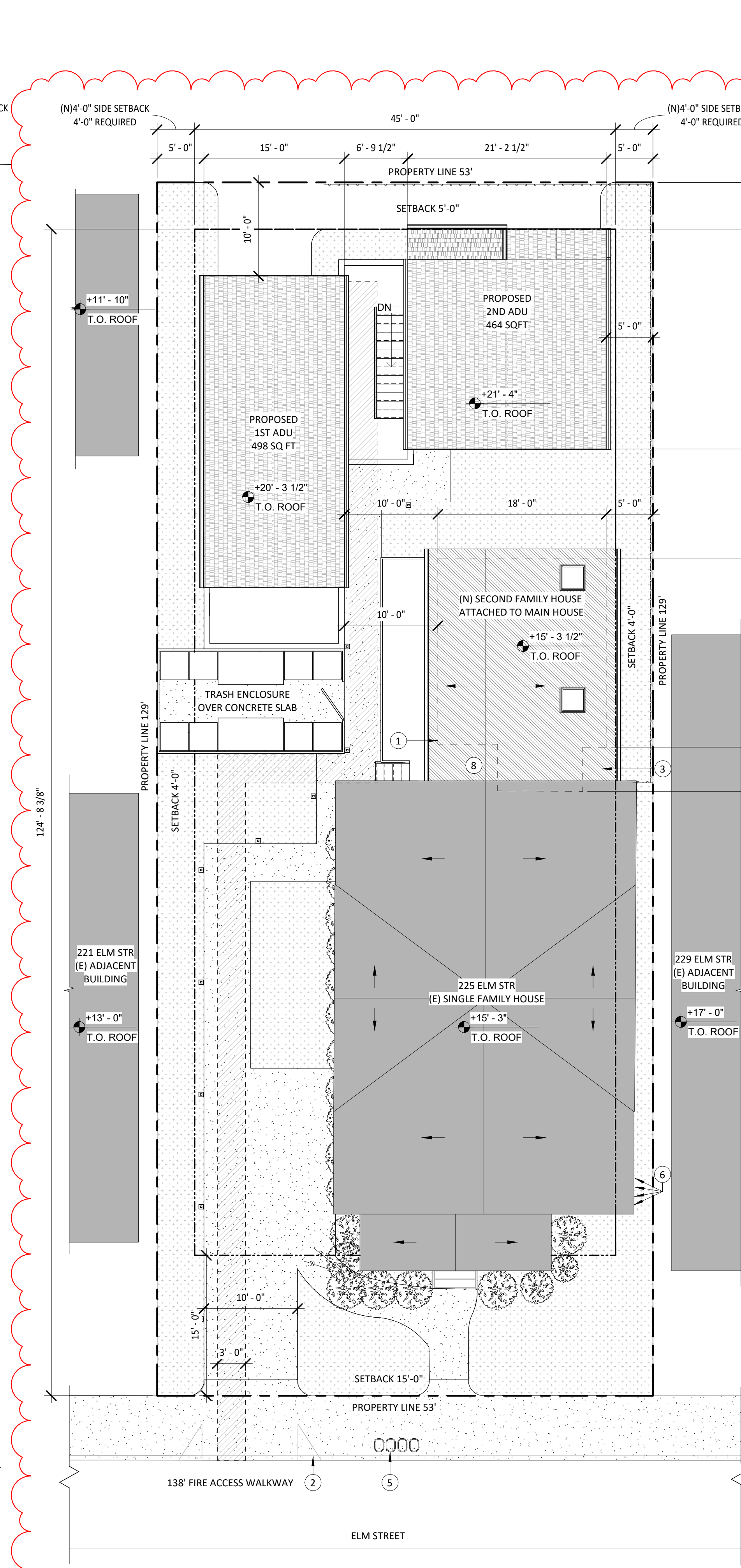
- (E) CONCRETE DRIVEWAY TO REMAIN
- CONCRETE WALKWAY TO RMAIN
- MAIN HOUSE ENTRY
- (E) PLANTING TO BE REMOVED
- CONCRETE SIDEWALK
- STREET CURB
- NO WORK TO (E) LANDSCAPE
- 4" SANITARY SEWER LATERAL
- GAS METERS
- WATER METER
- WOOD FENCE
- ELECTRICAL METER

**PROPOSED SITE PLAN KEYNOTES:**

- (N) ADDRESS LOCATION, SEE SITE PLAN NOTES #3 AND #4
- REQUIRED 36" WIDE MINIMUM FIRE ACCESS WALKWAY TO REMAIN FREE AND UNOBSTRUCTED AT ALL TIMES
- (N) CONDENSER UNIT
- (N) SEWER CLEANOUT
- (N) WATER METER
- (N) ELECTRICAL METERS
- (N) SEWER TO TIE INTO EXISTING SEWER LATERAL
- MAIN ENTRANCE



**1 EXISTING SITE PLAN**  
SCALE : 1/8" = 1'-0"



**2 PROPOSED SITE PLAN**  
SCALE : 1/8" = 1'-0"

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RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL  
BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS  
2 03/28/2024 Planning Plan Check Comments I

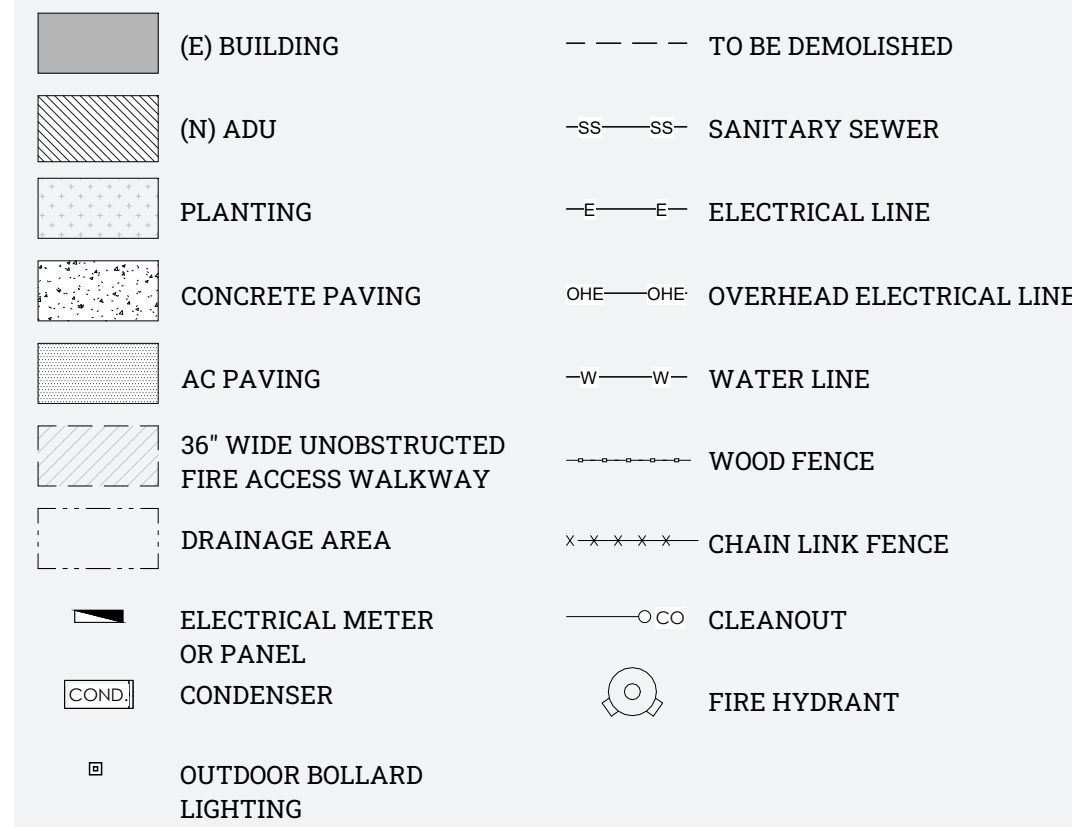
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EXISTING AND PROPOSED SITE PLANS

**SITE PLAN NOTES :**

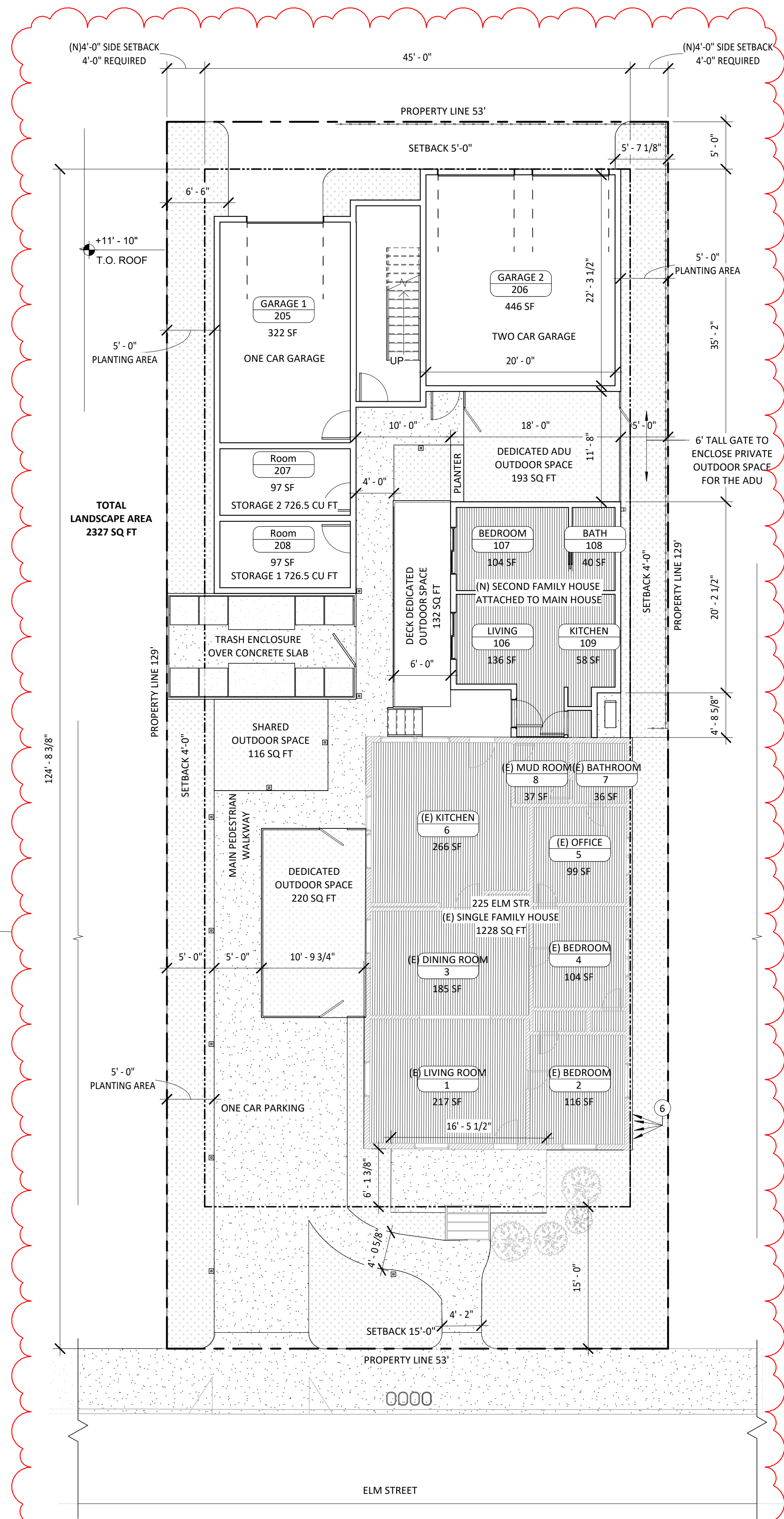
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**SITE PLAN LEGEND :**



**RM-3 DUPLEX DEVELOPMENT STANDARDS:**

REQUIRED	PROPOSED
4 FEET WALKWAY	PROVIDED
20% (1359 SQ FT) LANDSCAPED	2274 SQ FT LANDSCAPED
5 FEET PLANTING BETWEEN PARKING SPACES AND PROPERTY LINES	PROVIDED
DECK OR PATIO ADJOINING EACH UNIT	PROVIDED
STORAGE UNIT FOR EACH UNIT	PROVIDED
TWO PARKING SPACES FOR EACH UNIT	PROVIDED



**1 PROPOSED SITE PLAN Copy 1**  
SCALE : 1/8" = 1'-0"



**NEW DETACHED ACCESSORY DWELLING UNIT**

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

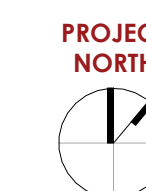
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**PROPOSED PLANNING SITE PLAN**



**A1.1**

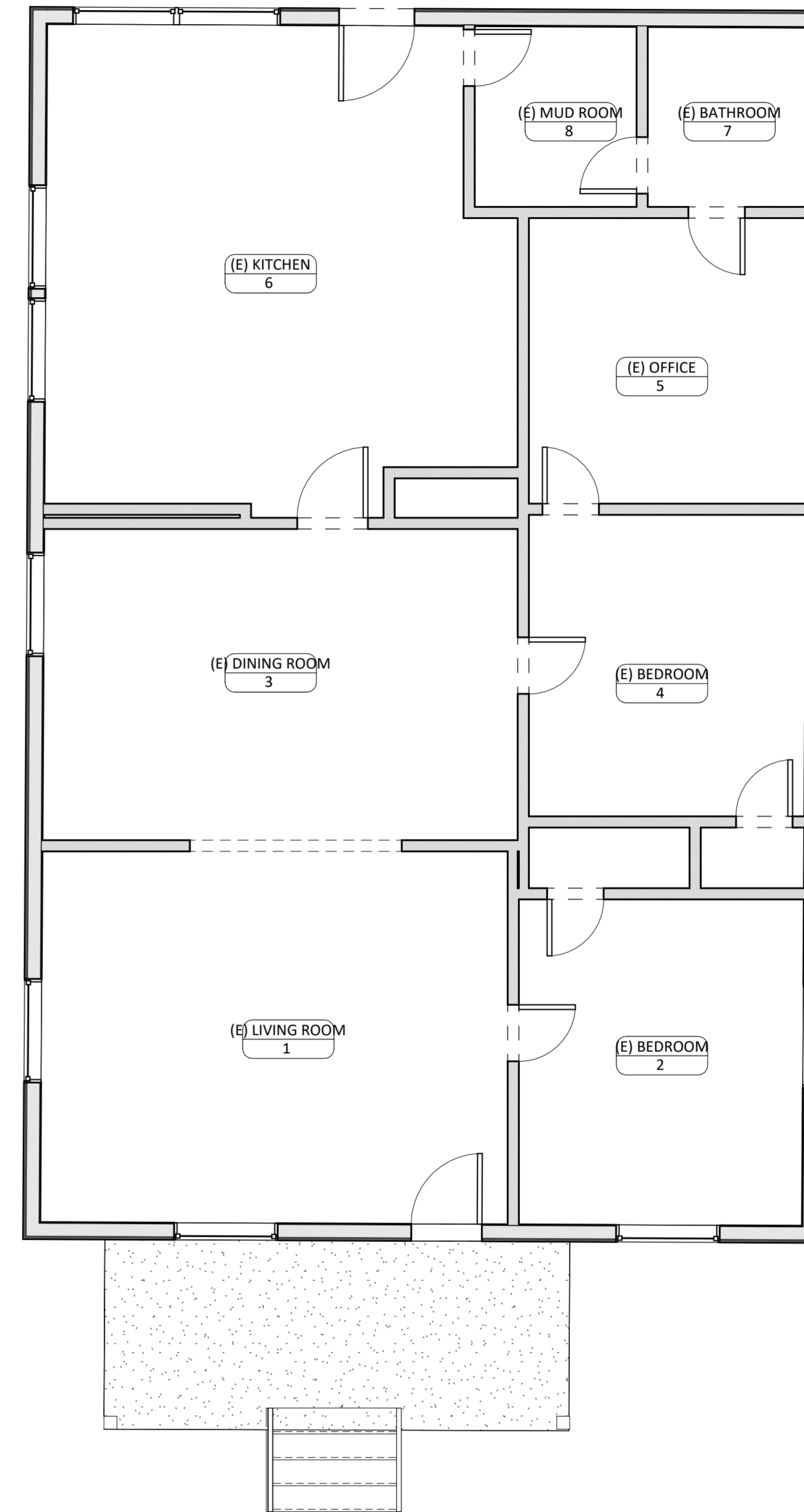
INSPIRED ADUS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
INSPIREDADUS.COM  
PROJECT ARCHITECT  
CARRIE SHORES DILLER



NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS



**1 PROPOSED FLOR PLAN**  
SCALE : 1/4" = 1'-0"

**SUBMITTAL**  
BUILDING PERMIT SET / MAY 2023

**SUBMITTAL HISTORY & REVISIONS**

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EXISTING MAIN HOUSE FLOOR PLAN

A1.2

**FLOOR PLAN:**

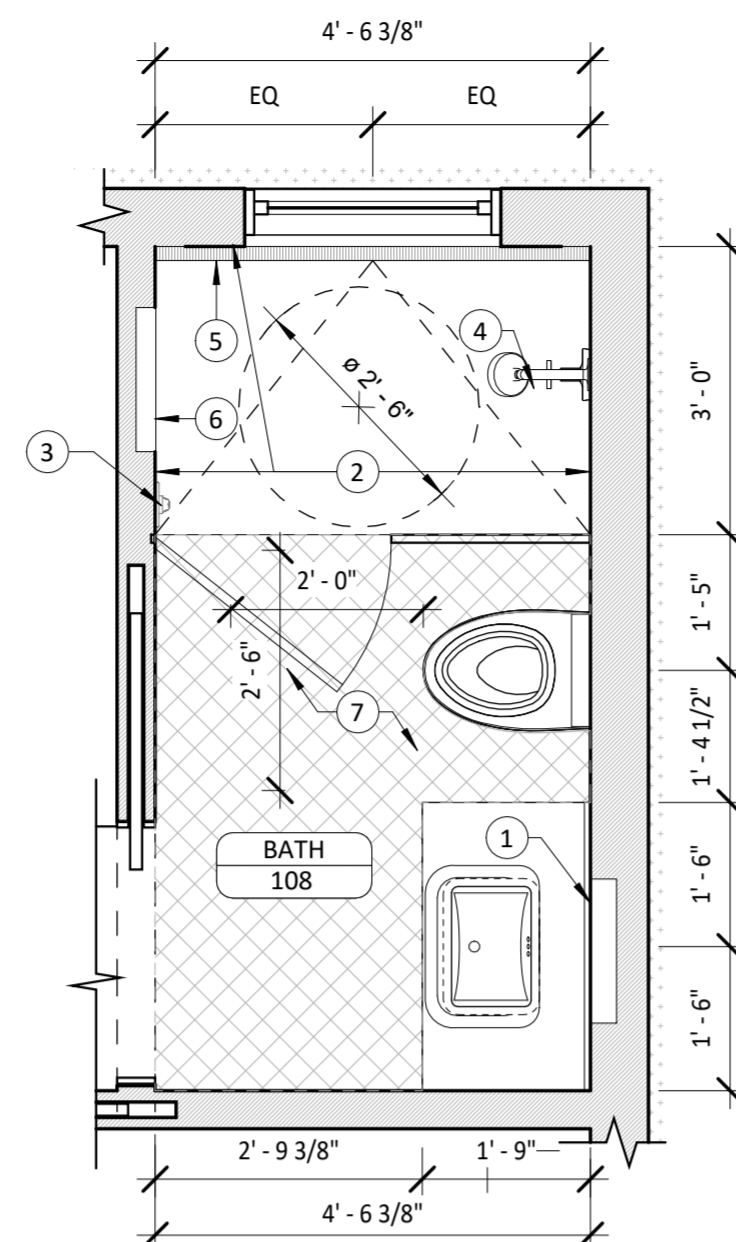
1. CONCRETE SLABS BELOW CONDITIONED SPACES SHALL BE SEPARATED FROM EARTH BY A MINIMUM 6-MIL VAPOR RETARDER, WITH EDGES LAPPED A MINIMUM OF 6".

**PLAN LEGEND :**

- EXISTING WALL
- NEW WALL
- ASPHALTIC SHINGLE ROOF
- RADIANT HEAT MAT
- WALL TYPE TAG
- DOOR TAG
- WINDOW TAG
- 1 HR RATED ASSEMBLY WALL

**ENLARGED BATHROOM PLAN KEYNOTES:**

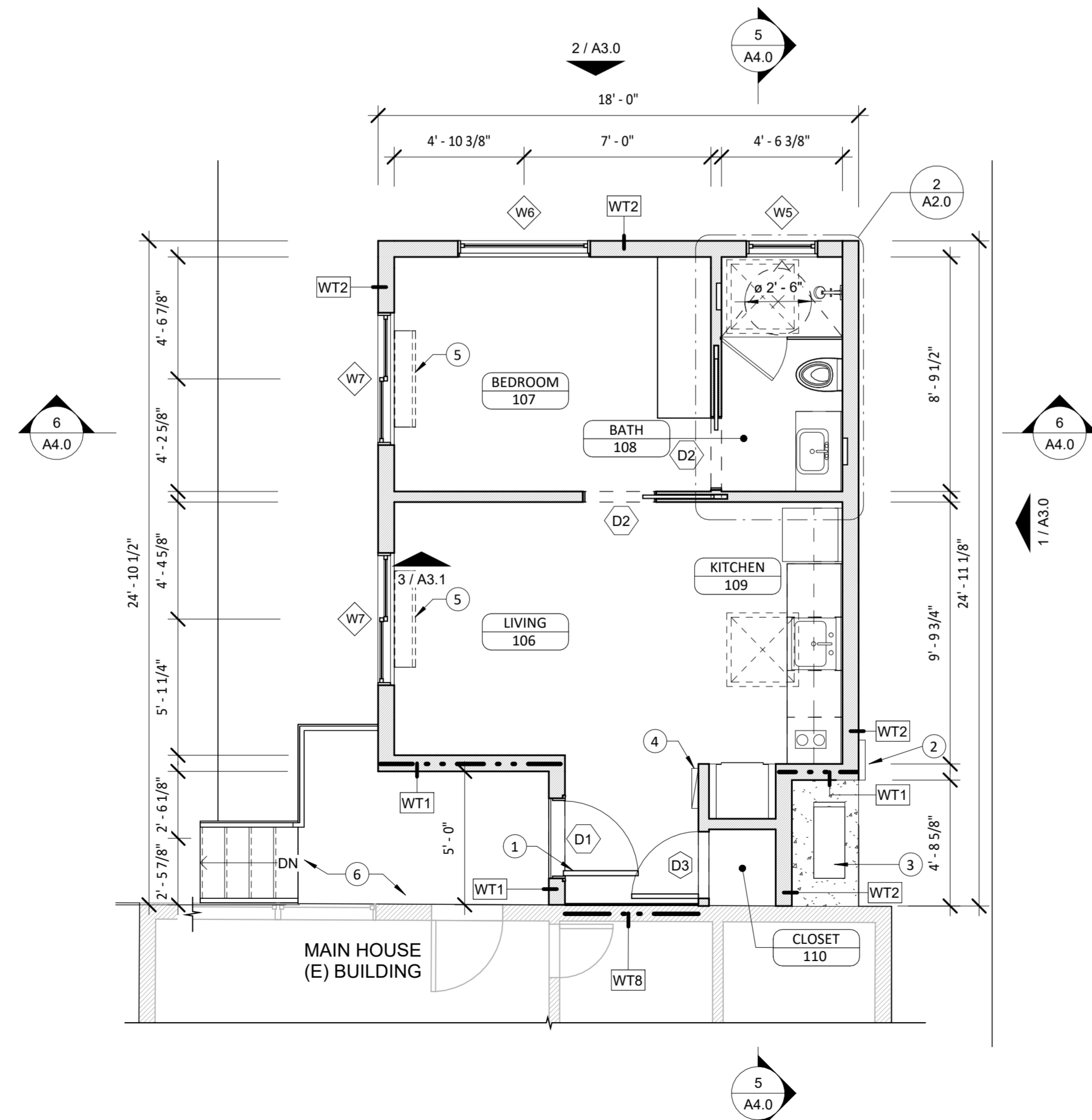
- 1 MEDICINE CABINET
- 2 NON-ABSORBENT SURFACE AT SHOWER UP TO 72" MINIMUM PER CRC R307.2
- 3 SHOWER CONTROLS
- 4 SHOWER HEAD
- 5 LINEAR DRAIN
- 6 SHOWER NICHE
- 7 ELECTRIC HEAT MAT BELOW TILE FLOORING



**2 ENLARGED BATHROOM PLAN**  
SCALE : 1/2" = 1'-0"

**SECOND RESIDENCE FIRST FLOOR PLAN KEYNOTES:**

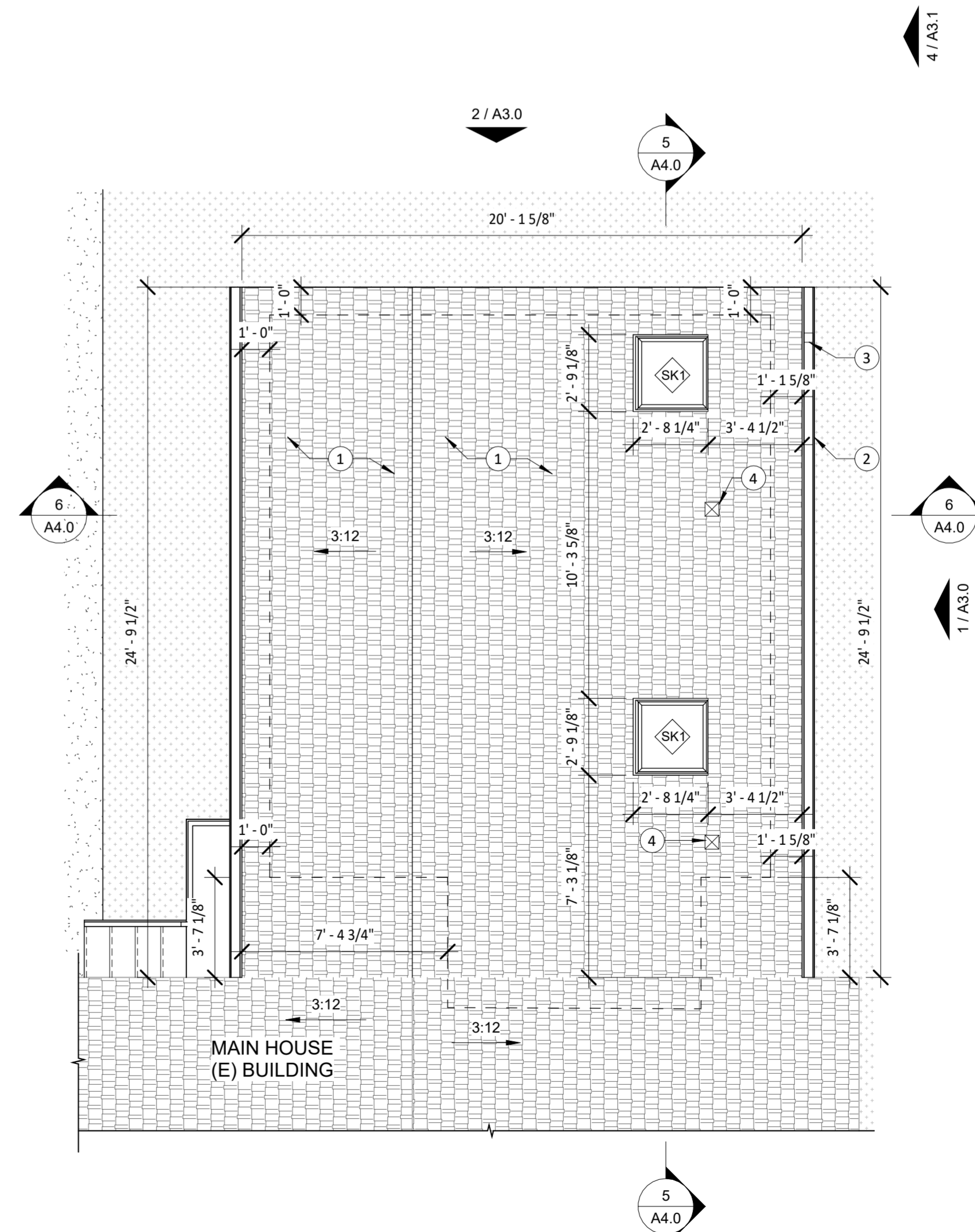
- 1 EGRESS DOOR MIN. 32" CLEAR. 1/2" MAX THRESHOLD
- 2 (N) ELECTRIC TANKLESS WATER HEATER
- 3 (N) CONDENSER UNIT
- 4 (N) ELECTRICAL PANEL
- 5 MINI-SPLIT ABOVE
- 6 WOOD LANDING



**1 PROPOSED SECOND RESIDENCE FLOOR PLAN**  
SCALE : 1/4" = 1'-0"

**SECOND RESIDENCE ROOF PLAN KEYNOTES:**

- 1 ASPHALT SHINGLE ROOF
- 2 4" GUTTER
- 3 DOWNSPOUT
- 4 EXTERIOR VENT TERMINATION



**3 PROPOSED SECOND RESIDENCE ROOF PLAN**  
SCALE : 1/4" = 1'-0"

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NEW DETACHED ACCESSORY DWELLING UNIT

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RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL  
BUILDING PERMIT SET / MAY 2023

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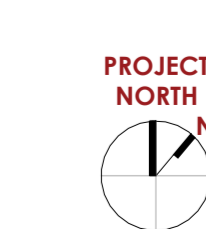
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PROPOSED SECOND RESIDENCE FLOOR PLAN & ROOF PLAN

**A2.0**





**MECHANICAL :**

1. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER. PROVIDE SEISMIC STRAPPING OR ANCHORAGE RESISTING OVERTURNING OF WATER HEATER. STRAPPING SHALL BE AT THE POINTS WITHIN THE UPPER ONE THIRD AND LOWER ONE THIRD OF THE WATER HEATER. A MINIMUM DISTANCE OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING AT THE LOWER POINT.
2. PROVIDE BACKFLOW PREVENTERS ON ALL HOSE BIBS.
3. ALL ENVIRONMENTAL AIR DUCT EXHAUSTS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINES OR OPENINGS INTO BUILDINGS.
4. AUTOMATIC GAS SHUT-OFF VALVE REQUIRED.
5. CLOTHES DRYER EXHAUST DUCTS ARE NOT TO EXCEED A TOTAL COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14 FEET.

**ELECTRICAL :**

1. KITCHENS, DINING, LAUNDRY AND GARAGE AREAS MUST HAVE A MINIMUM OF 20 AMP CIRCUITS.
2. BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE.
3. ALL 120-VOLT 15 AND 20 AMP CIRCUITS IN DWELLING UNITS EXCEPT THOSE IN BATHROOMS, UNFINISHED BASEMENTS, GARAGES AND OUTDOORS SHALL HAVE AFCI PROTECTION.
4. BATH RECEPTACLE OUTLETS TO BE SUPPLIED BY DEDICATED 20 AMP BRANCH CIRCUIT PER CEC 210.11(C)(9). THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.
5. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS OR DEVICES INSTALLED IN LOCATIONS LISTED UNDER 210.12(A) SHALL BE PROTECTED BY ANY MEANS PER 210.12(A) (1) THROUGH (6).
6. ALL EXTERIOR OUTLETS SHALL BE IN WATERPROOF ENCLOSURES.
7. INSTALL 120V-POWERED SMOKE ALARM IN THE FOLLOWING LOCATIONS:
  - A. IN EVERY SLEEPING ROOM
  - B. OUTSIDE EACH SLEEPING ROOM
  - C. ON EVERY STORY INCLUDING BASEMENTS AND HABITABLE ATTICS.
8. INSTALL CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - A. IN EVERY SLEEPING ROOM WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED
  - B. OUTSIDE OF EACH SLEEPING AREA
  - C. ON EACH OCCUPIABLE LEVEL
  - D. CARBON MONOXIDE ALARMS ARE NOT REQUIRED IN DWELLINGS WHERE THERE IS NO FUEL-FIRED APPLIANCE OR ATTACHED GARAGE.
  - E. WHEN MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE ALARM
  - F. IS REQUIRED THE ALARM DEVICES SHALL BE INTERCONNECTED.
  - G. ALARMS MUST BE HARD-WIRED AND INCORPORATED WITH A BATTERY
  - H. BACK-UP IN THE EVENT OF A POWER FAILURE PER CRC R314 & R315.
9. ALL INDOOR AND OUTDOOR LIGHTING MUST BE HIGH EFFICACY.
10. ALL LAMPS OR LUMINAIRES MUST BE CONTROLLED BY A DIMMER SWITCH OR VACANCY SENSOR, WITH THE EXCEPTION OF THOSE INSTALLED IN CLOSETS LESS THAN 70 SQ. FT. OR ALONG HALLWAYS.
11. ALL EXTERIOR OUTLETS TO BE IN WATERPROOF ENCLOSURES.

**PLUMBING :**

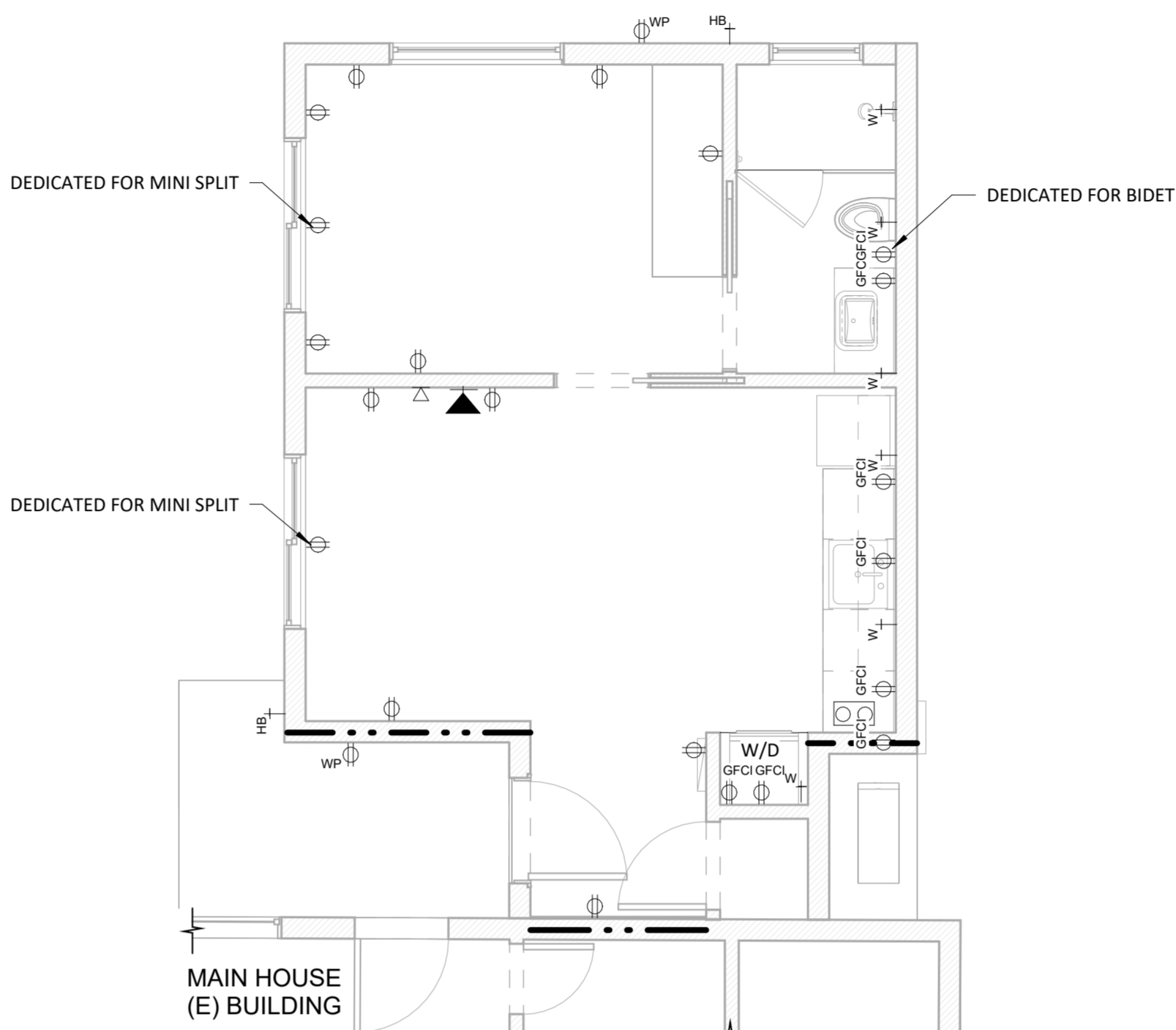
1. PLUMBING FIXTURE FLOW-RATE REQUIREMENTS:
  - A. WATER CLOSETS: <math>\leq 1.28</math> GAL/FLUSH.
  - B. SINGLE SHOWERHEADS: <math>\leq 1.8</math> GPM @ 80 PSI.
  - C. MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
  - D. RESIDENTIAL LAVATORY FAUCETS: <math>\leq 1.2</math> GPM @ 60 PSI AND <math>\leq 0.8</math> GPM @ 20 PSI.
  - E. KITCHEN FAUCETS: <math>\leq 1.8</math> GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM @ 60 PSI.
2. SHOWER & TUB COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THE THERMOSTATIC OR COMBINATION MIXING VALVE TYPE PER CPC 408.3.

**SYMBOLS LEGEND :**

	TAMPER-RESISTANT DUPLEX OUTLET, ARC FAULT CIRCUIT INTERRUPTER, +15" A.F.F. OR AS INDICATED
	WET LOCATION DUPLEX OUTLET, +15" A.F.F. OR AS INDICATED
	WET LOCATION DUPLEX OUTLET, WATER-PROOF, +15" A.F.F. OR AS INDICATED
	TAMPER-RESISTANT DUPLEX FLOOR-MOUNT OUTLET
	WET LOCATION DUPLEX OUTLET FOR ON-DEMAND H2O HEATER 120V/60HZ
	DATA OUTLET CABLE
	OUTLET SWITCH, +48" A.F.F. OR AS INDICATED
	3-WAY SWITCH, +48" A.F.F. OR AS INDICATED
	VACANCY SENSOR SWITCH, +48" A.F.F. OR AS INDICATED
	WALL MOUNTED LIGHT FIXTURE
	COVE LIGHT / UNDER CABINET LIGHT
	RECESSED LED CEILING LIGHT, SINGLE LAMP
	RECESSED LED CEILING LIGHT, SINGLE LAMP WET OR DAMP LOCATION
	JUNCTION BOX, FIXTURE BY OWNER
	SURFACE MOUNTED FLUORESCENT, SINGLE LAMP
	FAN, FAN HEAT, OR FAN HEAT LIGHT, 50 CFM MINIMUM
	SMOKE & CARBON MONOXIDE ALARM
	THERMOSTA T
	RANGE HOOD W/POWER
	GAS LINE
	WATER LINE
	HOSE BIB

**SECOND RESIDENCE MEP LEVEL 1 KEYNOTES:**

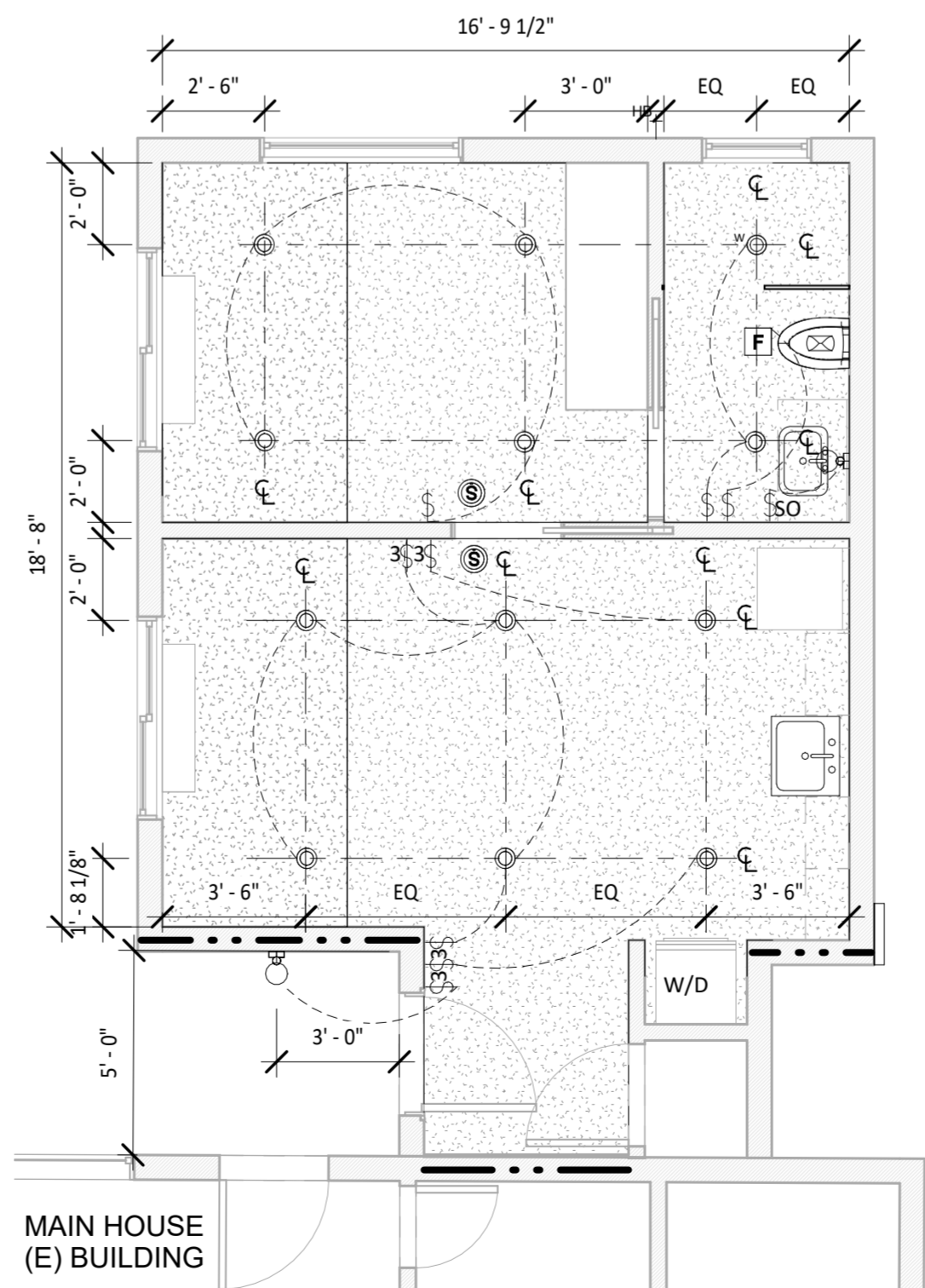
- ① SUBPANEL . MIN. 100 AMPERES, 3-WIRE PER CEC 230.79 (C).
- ② TANKED WATER HEATER
- ③ CONDENSER UNIT
- ④ MINI SPLIT
- ⑤ WALL-MOUNTED MINI SPLIT, +/- 7'-6" AFF



**2 PROPOSED SECOND RESIDENCE MECHANICAL, ELECTRICAL, & PLUMBING FLOOR PLAN**  
SCALE : 1/4" = 1'-0"

**PLAN LEGEND :**

	NEW WALL
	GYPSUM BOARD CEILING
	1 HR RATED ASSEMBLY WALL



**1 PROPOSED SECOND RESIDENCE REFLECTED CEILING PLAN**  
SCALE : 1/4" = 1'-0"



NEW DETACHED ACCESSORY DWELLING UNIT  
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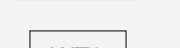
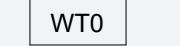
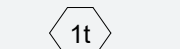


PROPOSED SECOND RESIDENCE REFLECTED CEILING PLAN & MEP PLAN  
**A2.1**

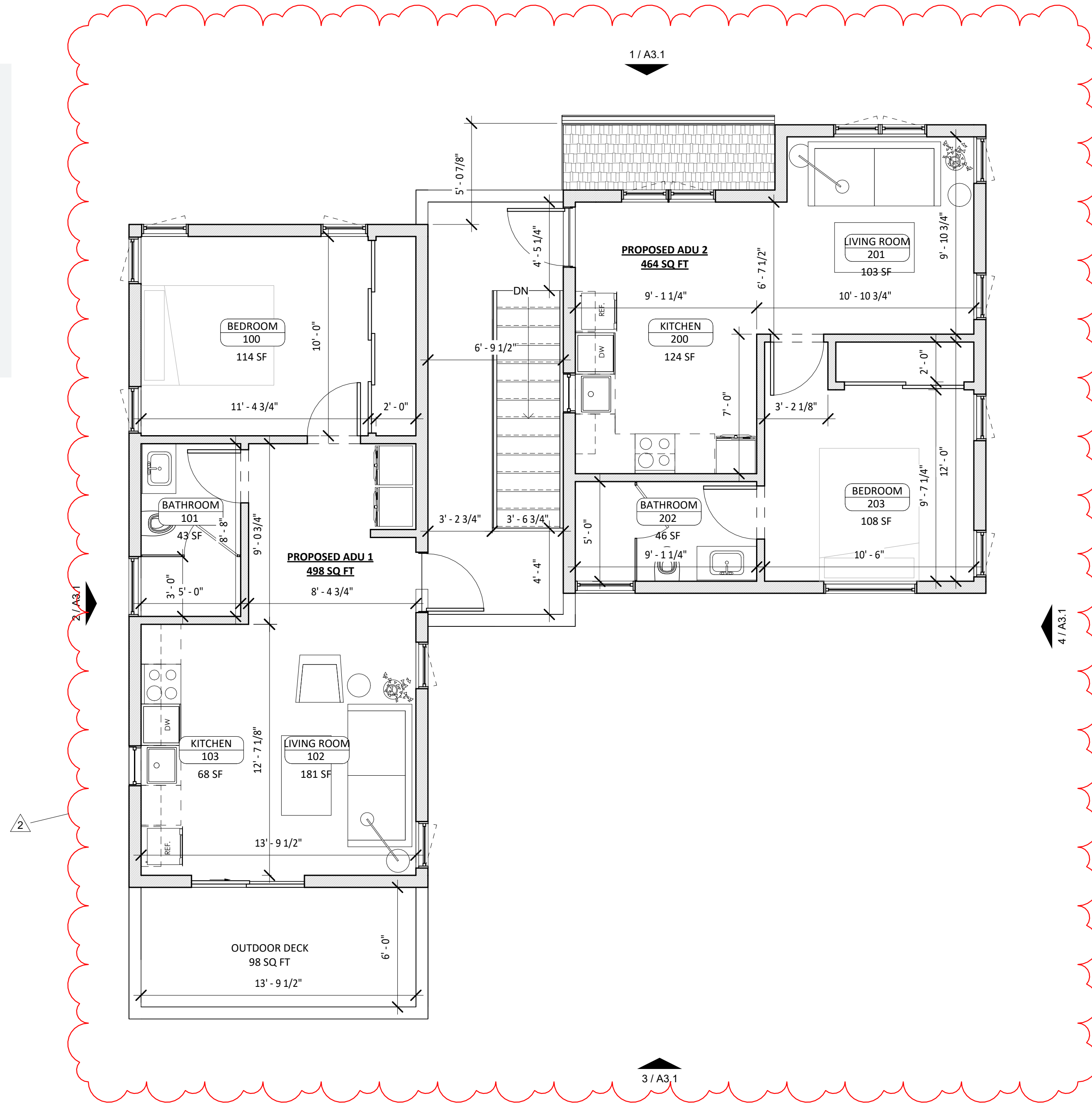


**FLOOR PLAN:**

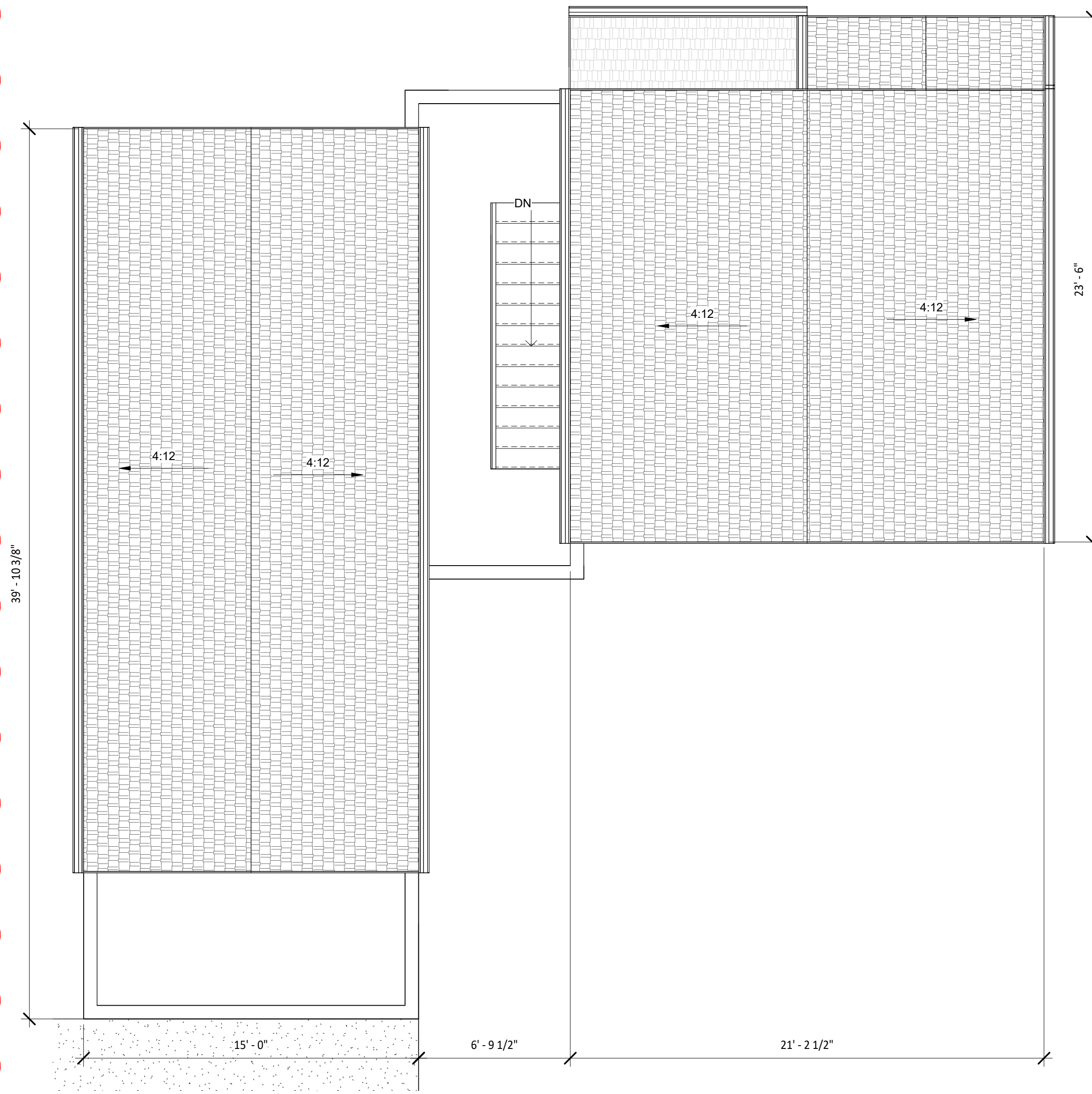
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**PLAN LEGEND :**

-  EXISTING WALL
-  NEW WALL
-  ASPHALTIC SHINGLE ROOF
-  RADIANT HEAT MAT
-  WTO
-  WALL TYPE TAG
-  DOOR TAG
-  WINDOW TAG
-  1 HR RATED ASSEMBLY WALL



**1** PROPOSED ADU SECOND FLOOR PLAN  
SCALE : 1/4" = 1'-0"



**2** PROPOSED ROOF PLAN  
SCALE : 1/4" = 1'-0"

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2 03/28/2024 Planning Plan Check Comments I

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**DOOR AND WINDOW NOTES:**

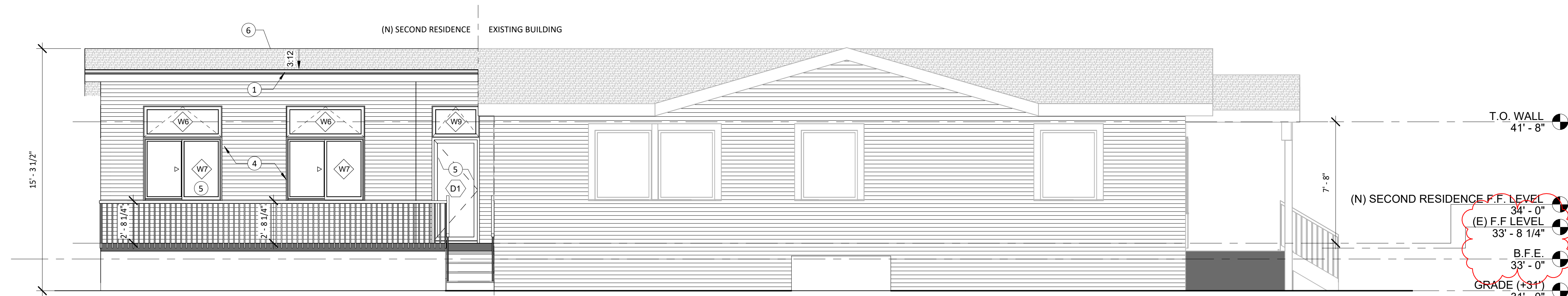
- ALL EXTERIOR WINDOWS AND DOORS TO BE THERMALLY-BROKEN ALUMINUM FRAME BY MARVIN WINDOWS AND DOORS.
- WINDOW SIZES ARE ACTUAL. CONTRACTOR TO VERIFY ROUGH-IN DIMENSIONS IN FIELD AND WITH MANUFACTURER PRIOR TO ORDERING.
- GLAZING SHALL BE SAFETY GLASS AT HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
  - GLASS DOORS AND WINDOWS WITHIN 18" OF FINISHED FLOOR;
  - WITHIN 24" OF OPERABLE DOORS;
  - WINDOWS LESS THAN 60" ABOVE STANDING SURFACE OR DRAIN INLET OF TUB, SHOWER, AND OTHER BATHING ENCLOSURES.
 U-VALUES TO BE PER TITLE 24 REPORT.
- WINDOW & DOOR DIMENSIONS ARE FRAME SIZE. CONTRACTOR TO CALCULATE ROUGH OPENING.
- COMBINED WINDOWS SHOWN AS ONE UNIT, CONTRACTOR TO VERIFY OPERATION PER ELEVATION.
- GLAZING SHALL BE LABELED ACCORDING TO LOCAL CODES.

**PROPOSED SECOND RESIDENCE ELEVATION KEYNOTES:**

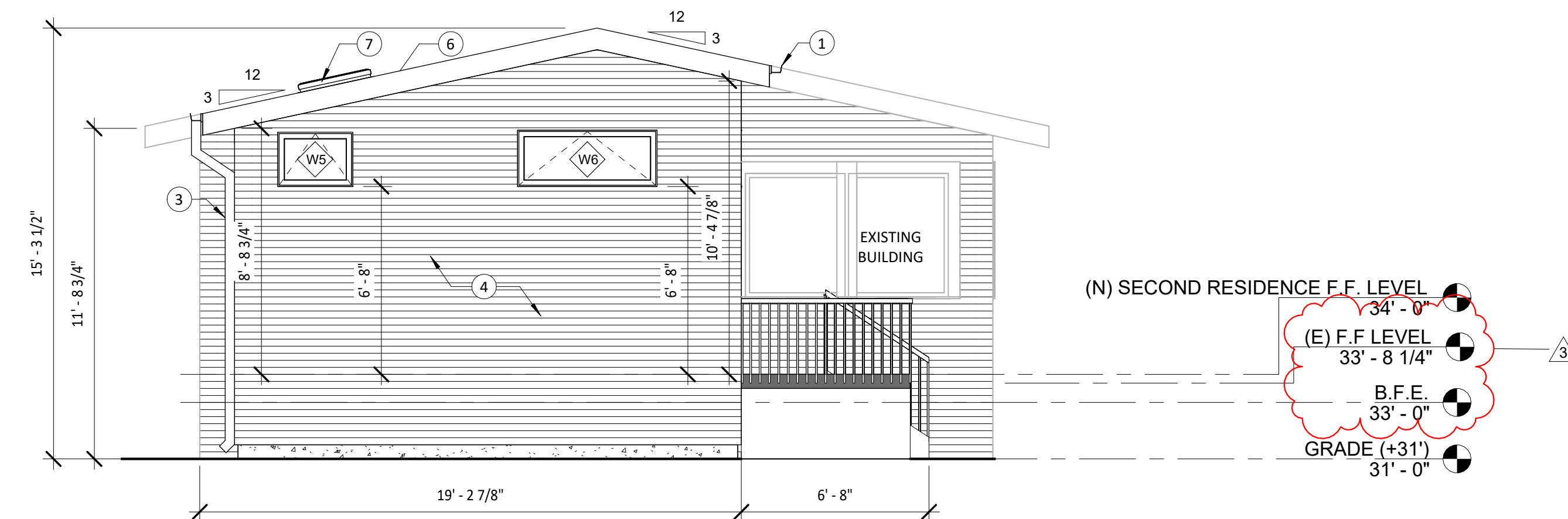
- GUTTER
- HOSE BIB
- DOWNSPOUT
- 'ARTISAN' CEMENT BOARD SIDING
- EGRESS WINDOW, 5.7 SQ FT MIN. OPENING SIZE, 24" MIN. CLEAR HEIGHT X 20" MIN. CLEAR WIDTH PER CRC R310.2
- (N) ASPHALTIC SHINGLE ROOF
- SKYLIGHT

**PROPOSED SECOND RESIDENCE ELEVATION LEGEND:**

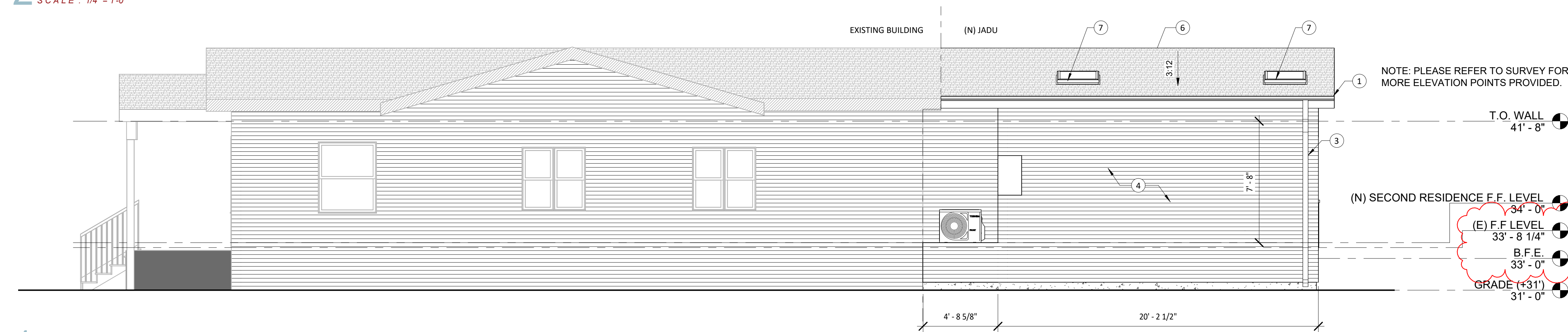
- 1t (N) DOOR TAG  
1 (N) WINDOW TAG



**3 PROPOSED SECOND RESIDENCE ELEVATION - WEST**  
SCALE : 1/4" = 1'-0"



**2 PROPOSED SECOND RESIDENCE ELEVATION - NORTH**  
SCALE : 1/4" = 1'-0"



**1 PROPOSED SECOND RESIDENCE ELEVATION - EAST**  
SCALE : 1/4" = 1'-0"

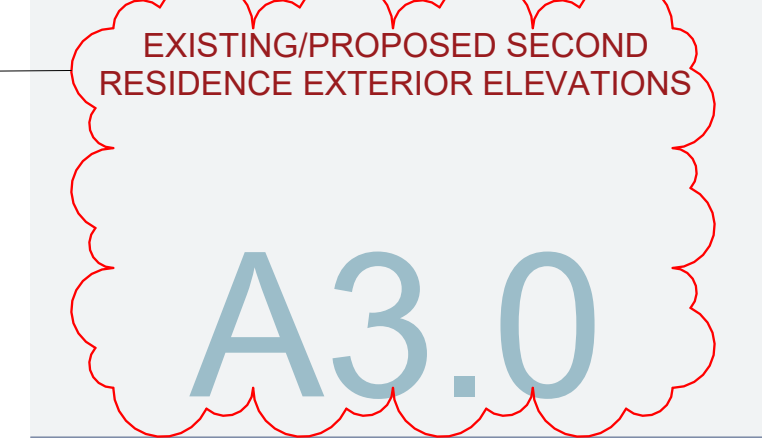
WINDOW & SKYLIGHT SCHEDULE ATTACHED UNIT												
TAG	ROOM	MANUFACTURER	WIDTH	HEIGHT	QNTY	OPERATION	TEMPERED	SILL HEIGHT	INSECT SCREEN	EXTERIOR FINISH	INTERIOR FINISH	REMARKS
SK1	BATH 107, KITCHEN 108	VELUX	2' - 7 1/2"	2' - 7 1/2"	2	SKYLIGHT						
W5	BATH 107	MARVIN	2' - 8"	1' - 11 1/8"	1	AWNING		6' - 8"				
W6	BEDROOM 106, LIVING 105	MARVIN	4' - 11 1/2"	2' - 0"	3	AWNING		6' - 8"				
W7	LIVING 105, BEDROOM 106	MARVIN	4' - 11 1/2"	3' - 11 3/4"	2	CASEMENT		2' - 8 1/4"				
W9	LIVING 105	MARVIN	3' - 0"	2' - 0"	1	AWNING		6' - 8"				

EXTERIOR DOOR SCHEDULE ATTACHED UNIT												
TAG	ROOM	MANUFACTURER	WIDTH	HEIGHT	QNTY	OPERATION	HARDWARE	TEMPERED	D-EXTERIOR FINISH	D-INTERIOR FINISH	REMARK	FUNCTION
D1	LIVING 106	MARVIN	3' - 0"	6' - 8"	1	SWING					3678 DOOR	Exterior

INTERIOR DOOR SCHEDULE ATTACHED UNIT												
TAG	ROOM	WIDTH	HEIGHT	QNTY	OPERATION	HARDWARE	EXTERIOR FINISH	EXTERIOR TRIM	INTERIOR FINISH	REMARK		
D1	LIVING 106	3' - 0"	6' - 8"	1	SWING					3678 DOOR		
D2	BEDROOM 107, BATH 108	2' - 8"	6' - 8"	2	SINGLE POCKET					INTERIOR POCKET DOOR		
D3	LIVING 106	2' - 6"	6' - 8"	1	SWING							



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 \* Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, caulking, gluing, caulking, insulating, flashing, roofing, waterproofing and many other small items and details not necessarily indicated on the plans, and over which Inspired ADUs and CARRIE SHORES-DILLER has no control or responsibility. Inspired ADUs and CARRIE SHORES-DILLER shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.  
 \* You may loan all or part of the plans to third parties including contractors and subcontractors for the sole purpose of the construction of your house. You agree to retrieve all loaned copies of the plans after construction is completed. Mortgage companies and building officials may retain plans for their records.  
 \* CARRIE SHORES-DILLER retains copyright ownership of the original plans and assumes sole copyright ownership of the modified plans. Your payment of a fee for use of the plans does not transfer any right, title, or interest in the plans.  
 \* Unauthorized use or copying of the plans, or the design they depict, infringes upon rights under the copyright act. Copyright infringement carries penalties of up to \$100,000 per infringement.



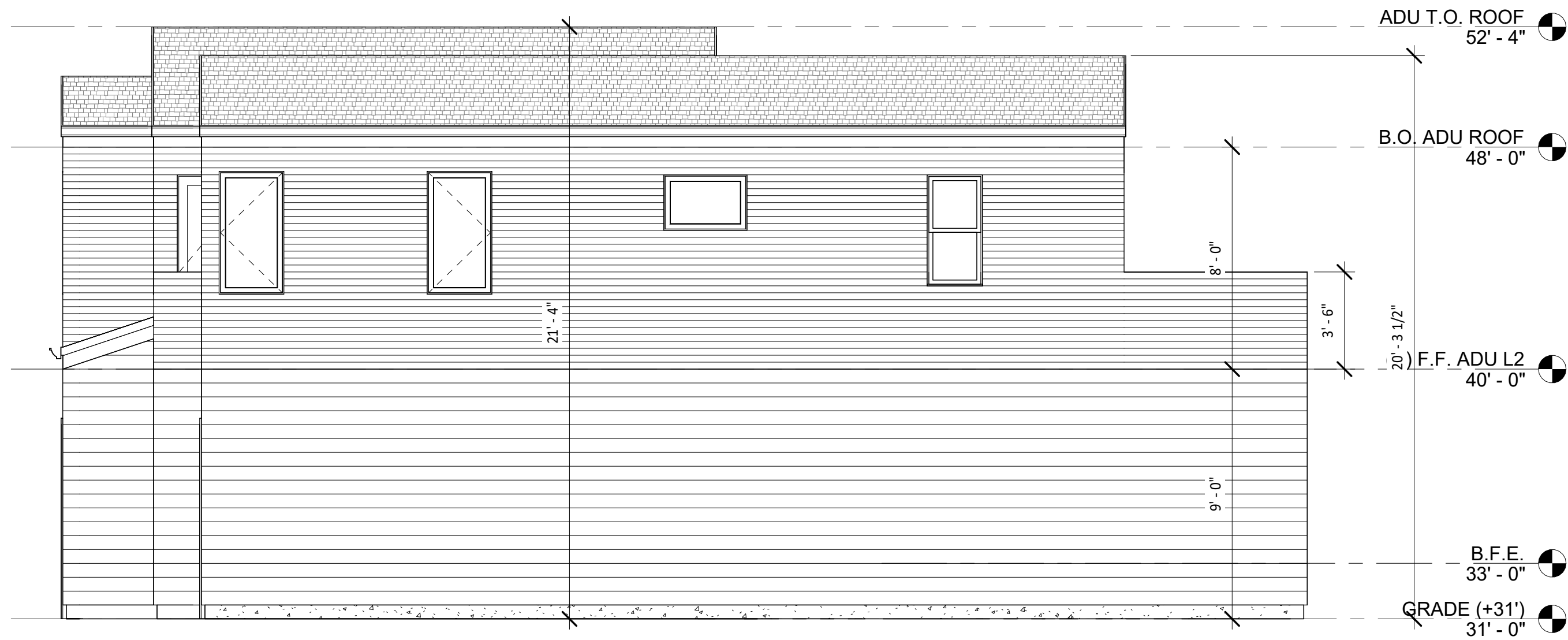
INSPIRED ADUS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
INSPIREDADUS.COM  
PROJECT ARCHITECT  
CARRIE SHORES DILLER



NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMP



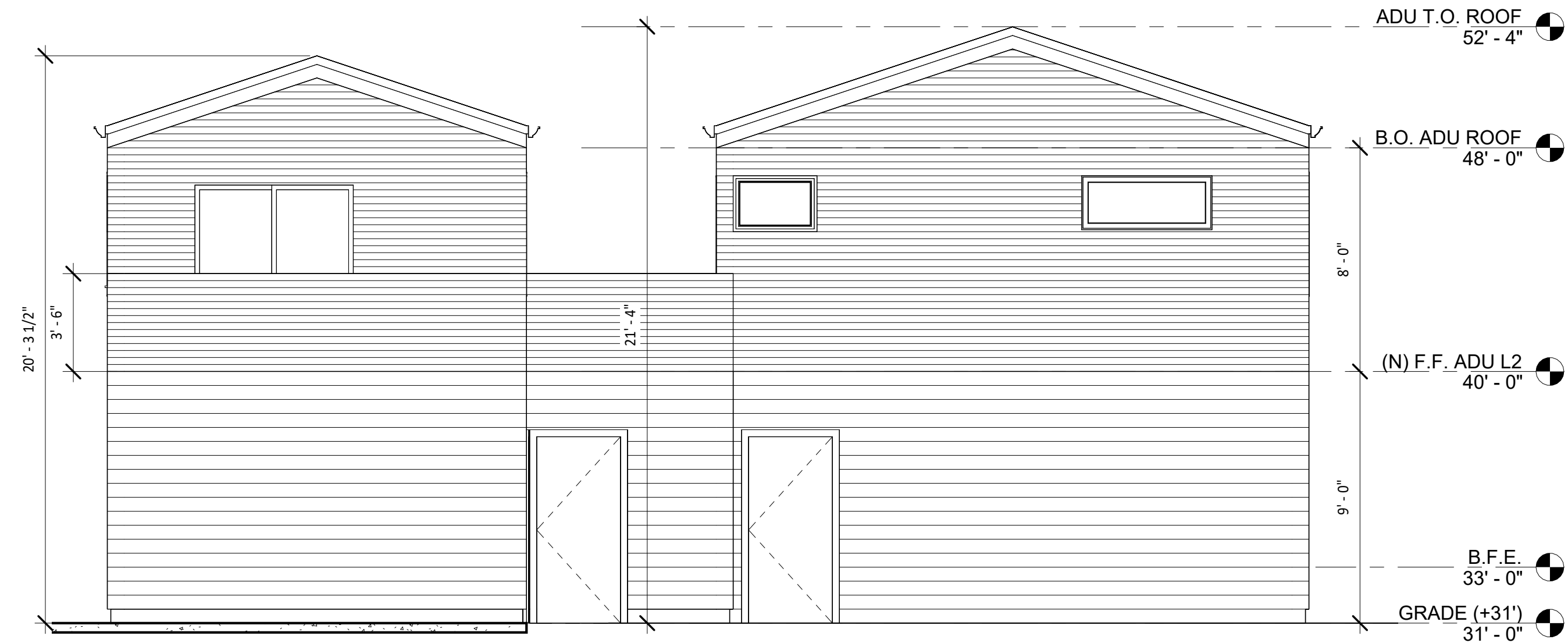
**2** PROPOSED ADU ELEVATION - WEST  
SCALE : 1/4"=1'-0"



**4** PROPOSED ADU ELEVATION - EAST  
SCALE : 1/4"=1'-0"



**1** PROPOSED ADU ELEVATION - NORTH  
SCALE : 1/4"=1'-0"



**3** PROPOSED ADU ELEVATION - SOUTH  
SCALE : 1/4"=1'-0"

SUBMITTAL  
BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS

3 06/03/2024 Planning Plan Check Comments II

\* You may use these plans for the construction of one and only one house as depicted by the plans. This license is non-transferable.  
\* You may change or modify the plans. By changing or modifying the plans, you relieve Inspired ADUs and CARRIE SHORES-DILLER of all liability associated with the modified design and plans.  
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\* You may loan all or part of the plans to third parties including contractors and subcontractors for the sole purpose of the construction of your house. You agree to retrieve all loaned copies of the plans after construction is completed. Mortgage companies and building officials may retain plans for their records.  
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PROPOSED ADU EXTERIOR ELEVATIONS & SCHEDULES

**A3.1**



NEW DETACHED ACCESSORY DWELLING UNIT

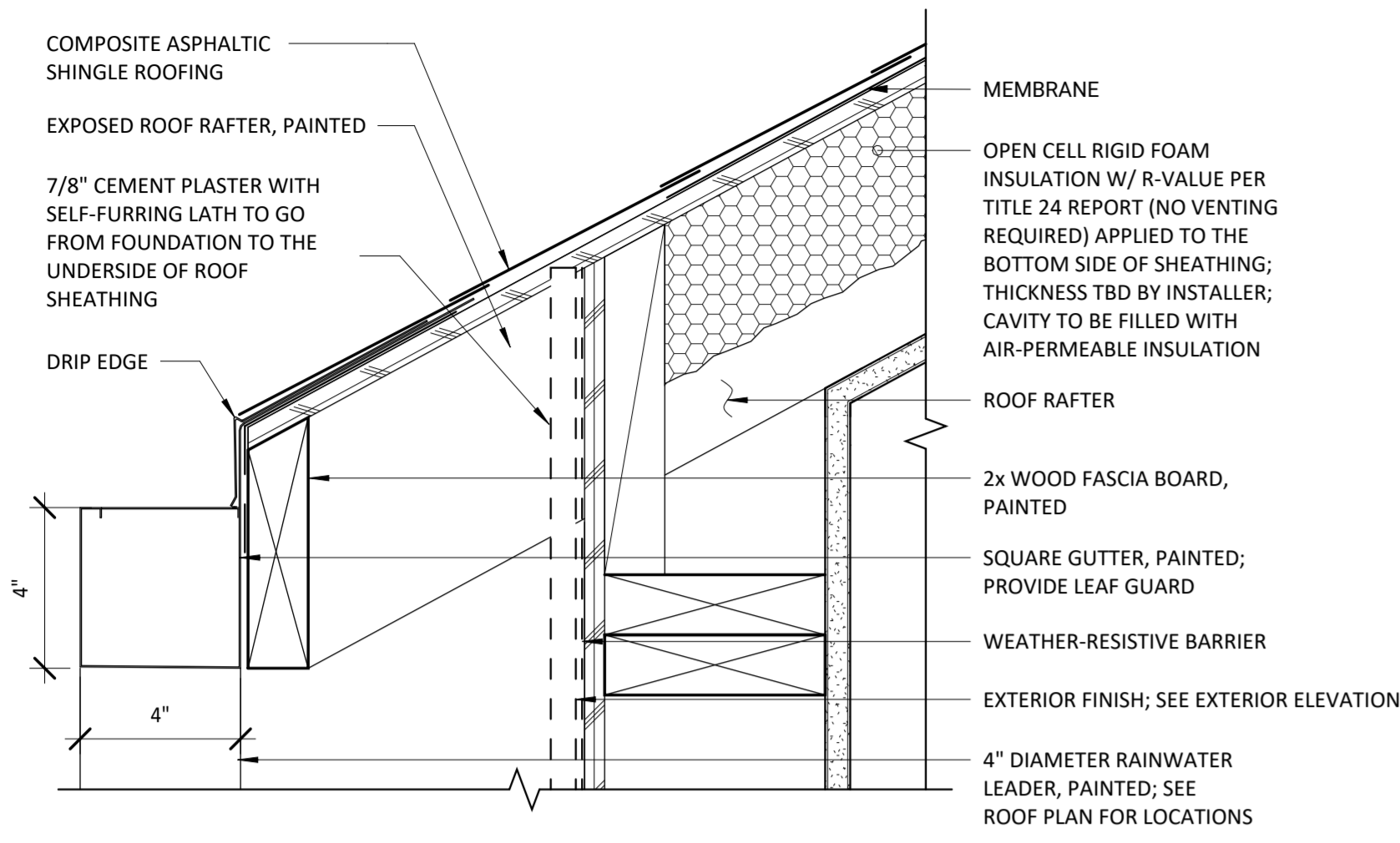
225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

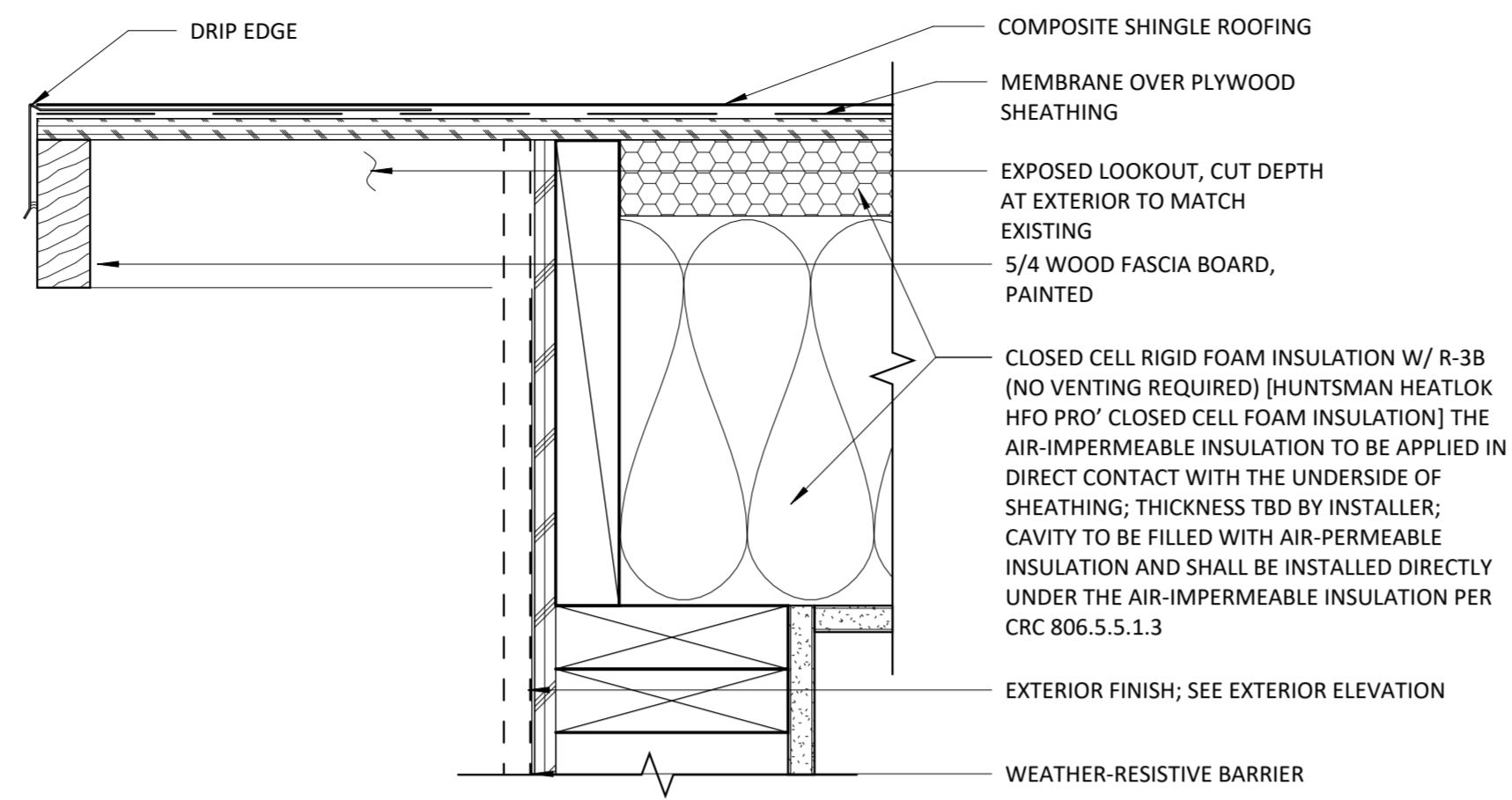
SUBMITTAL  
BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS

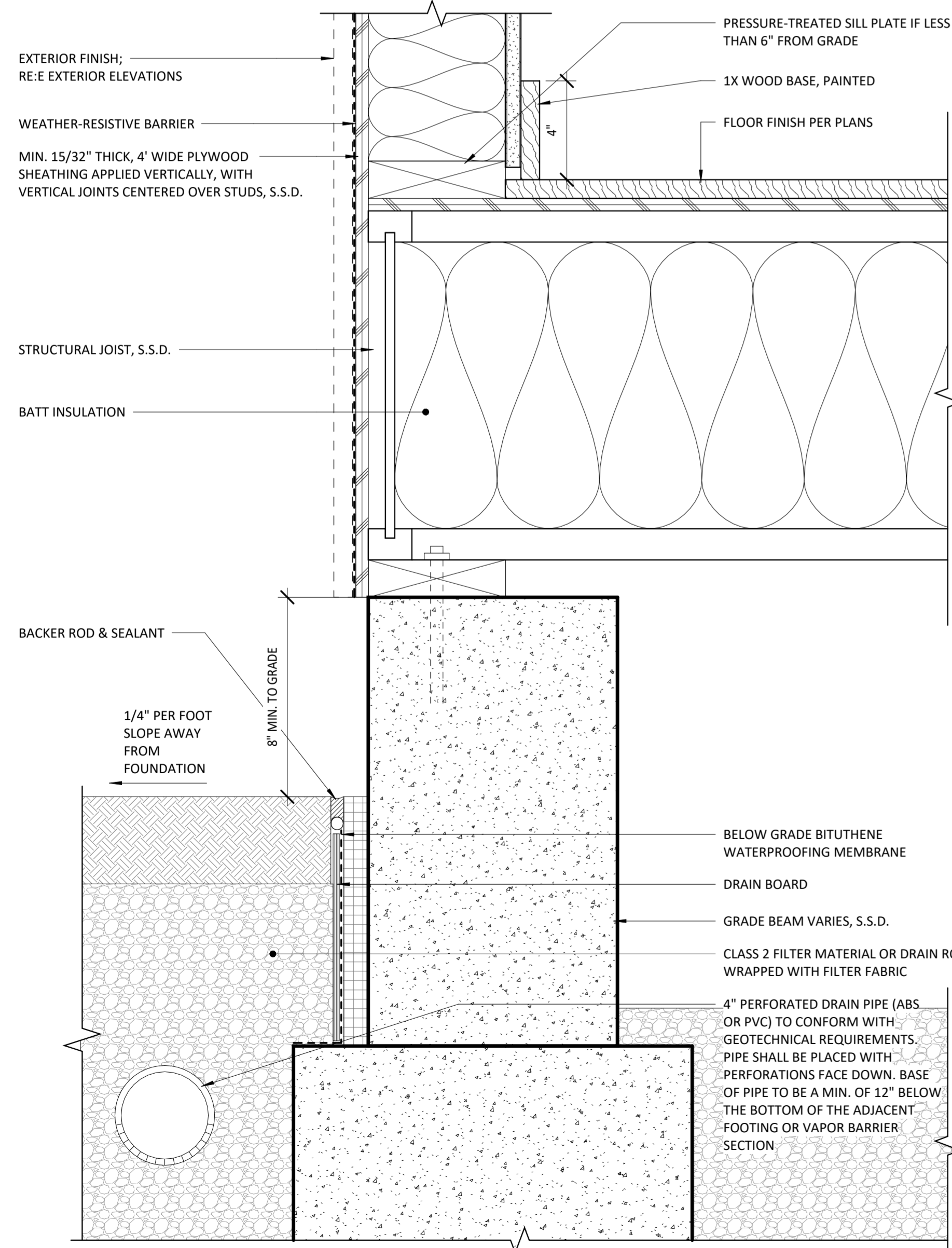
\* You may use these plans for the construction of one and only one house as depicted by the plans. This license is non-transferable.  
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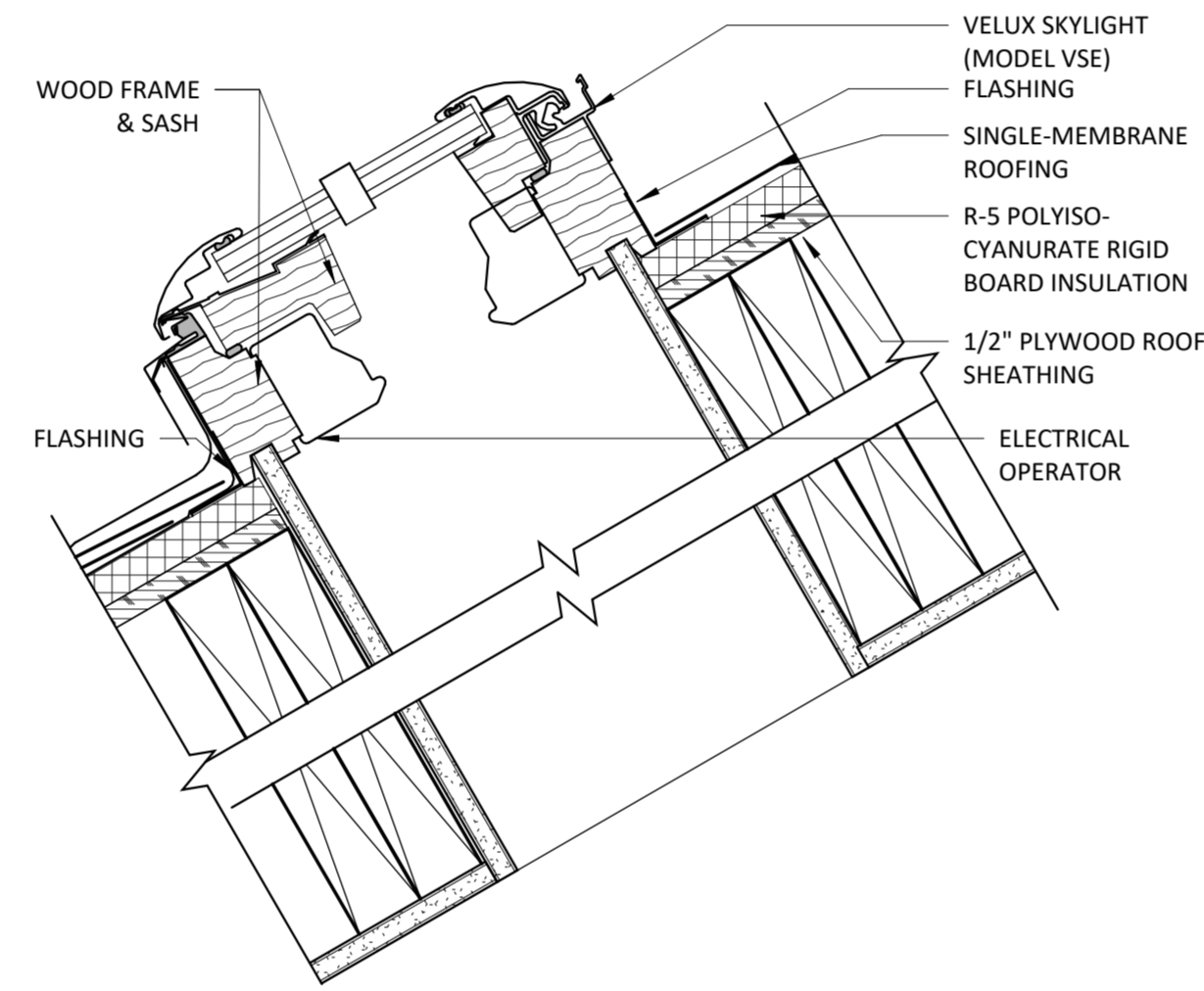
**3** EAVE AND GUTTER  
SCALE: 3" = 1'-0"



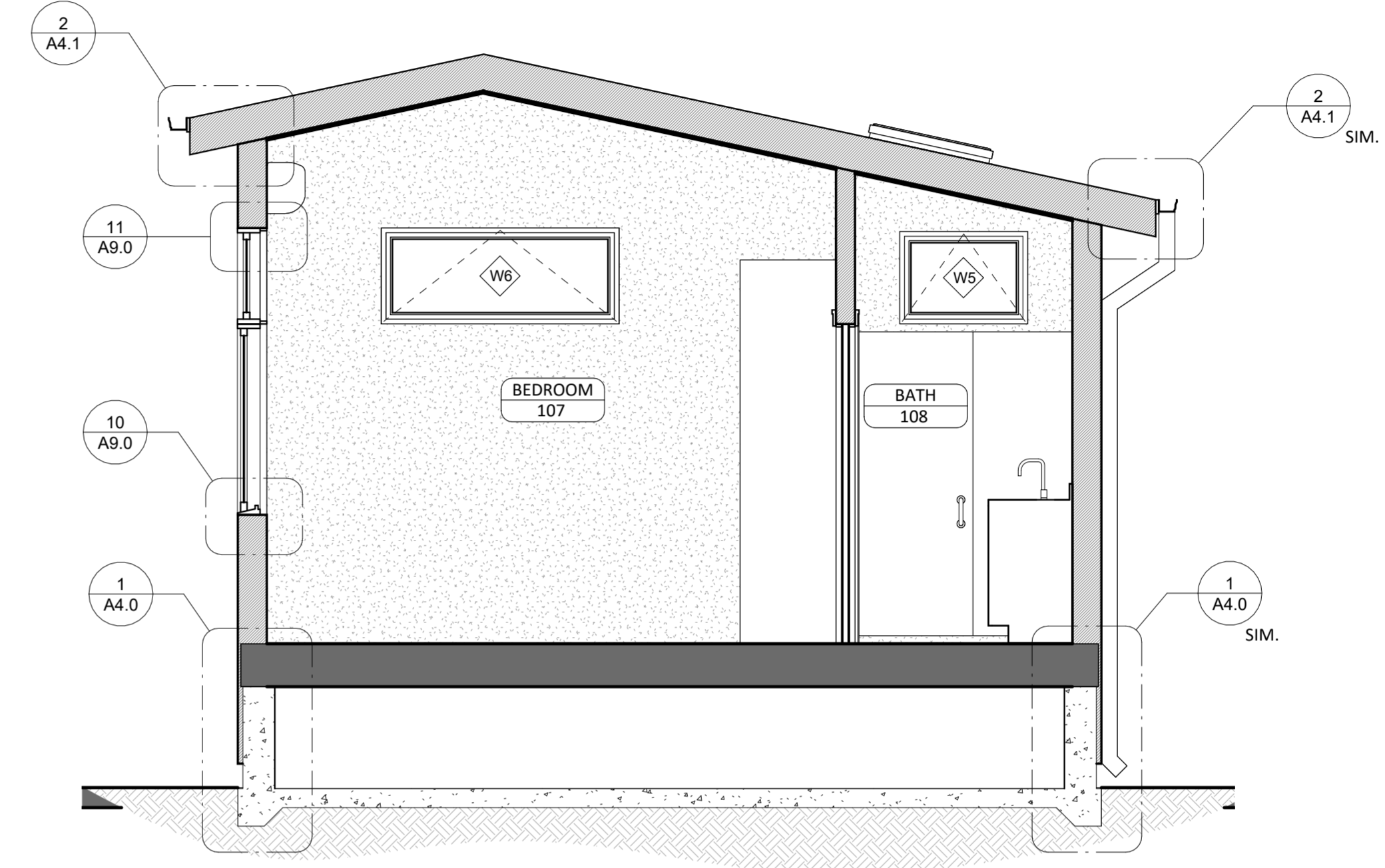
**2** RAKE AT GABLED END  
SCALE: 3" = 1'-0"



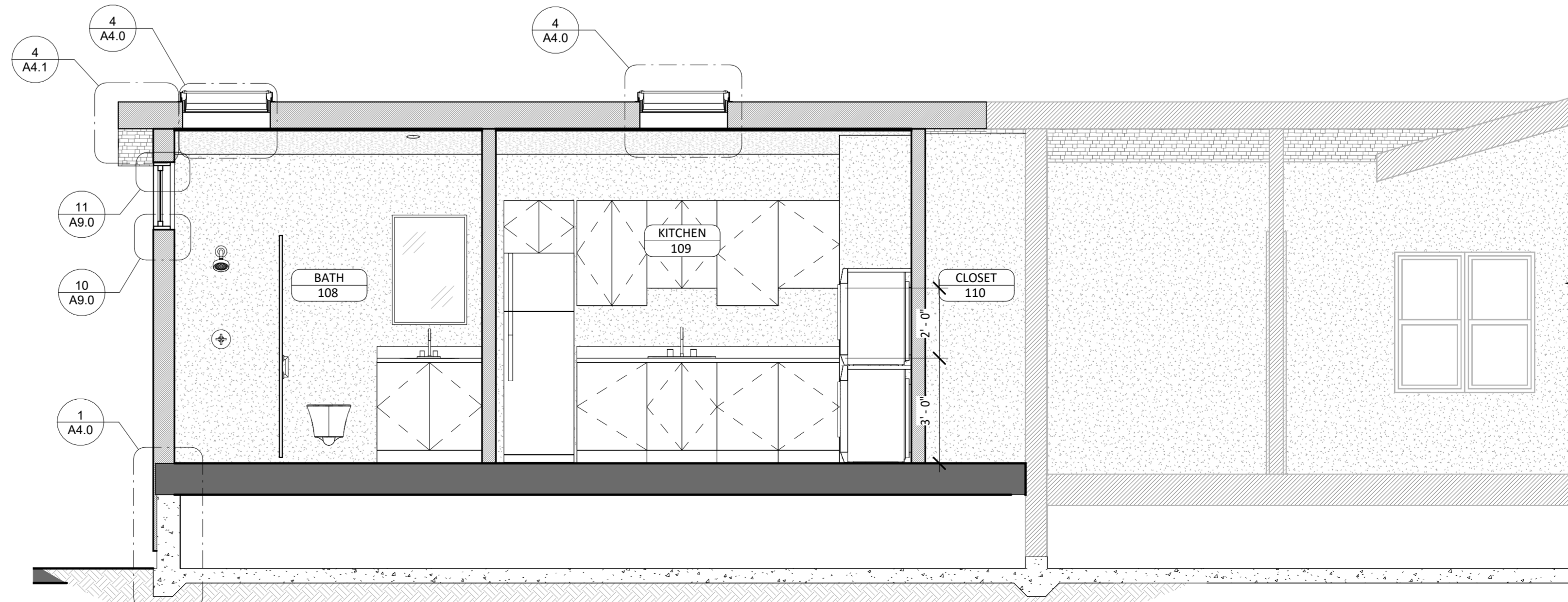
**1** FOUNDATION  
SCALE: 3" = 1'-0"



**4** DECK-MTD. SKYLIGHT @ PITCHED ROOF  
SCALE: 3" = 1'-0"



**6** SECOND RESIDENCE CROSS SECTION  
SCALE: 3/8" = 1'-0"



**5** SECOND RESIDENCE LONGITUDINAL SECTION  
SCALE: 3/8" = 1'-0"

PROPOSED SECOND RESIDENCE BUILDING SECTIONS

**A4.0**

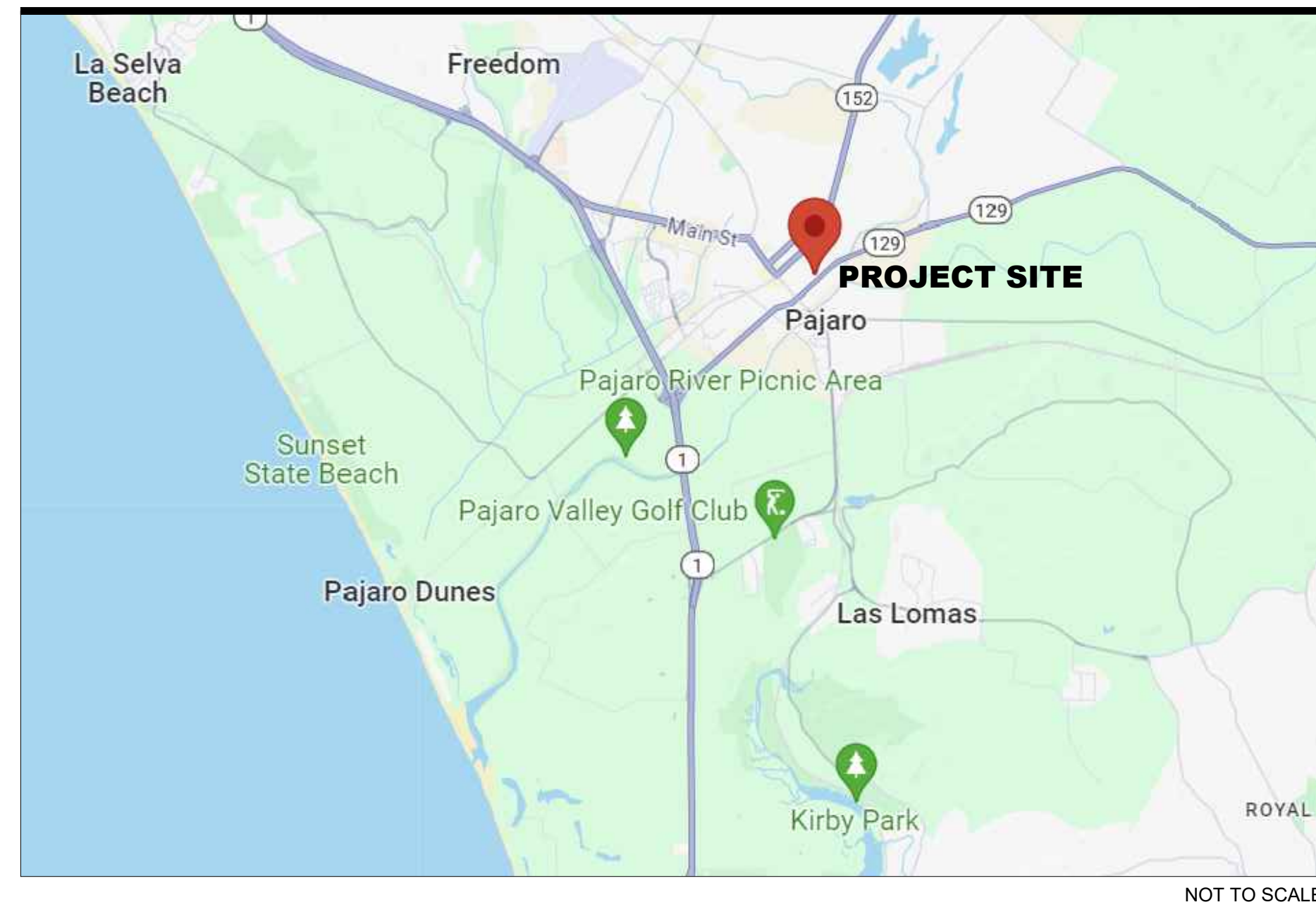
# NEW ADDITION & ADUs

## 225 ELM STREET

### WATSONVILLE, CA

# GRADING & DRAINAGE PLANS

#### VICINITY MAP



#### SURVEY DATUM

Topographic Survey provided by Bridgette Land Surveying dated 11/22/2022.

#### MAP DATA

Contour Interval: 1 Foot

Aerial Photo: None

#### SHEET INDEX

- 1 COVER SHEET
- 2 GRADING & EROSION CONTROL PLAN
- 3 DRAINAGE PLAN
- 4 UTILITY PLAN
- 5 DETAILS

#### GENERAL NOTES

1. THESE ENGINEERING DRAWINGS ARE BASED ON CONDITIONS AT THE TIME OF DESIGN AND FROM INFORMATION PROVIDED BY THE OWNER. FUTURE MODIFICATIONS TO GRADING AND SITE DEVELOPMENT COULD CAUSE EROSION AND SLOPE FAILURE.
2. ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL AND/OR THE PROJECT SOIL ENGINEER.
3. OBSERVATION OF THE CONSTRUCTION BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO COMPLETE THE CONSTRUCTION IN CONFORMANCE WITH THE PROJECT DOCUMENTS AND GENERALLY ACCEPTED STANDARDS OF PRACTICE. THE PURPOSE OF THE ENGINEERS VISITS WILL BE TO BECOME GENERALLY FAMILIAR WITH THE PROGRESS AND QUALITY OF THE CONTRACTOR'S WORK AND DETERMINE IF THE WORK IS PROGRESSING IN GENERAL CONFORMANCE WITH OUR DESIGN INTENT.
4. LOCATIONS OF CUTS AND FILLS ARE APPROXIMATE. CONTRACTOR TO VERIFY GRADING EXTENTS IN THE FIELD.

#### GENERAL STORMWATER NOTES

1. STOCKPILES: ALL STOCKPILES ASSOCIATED WITH THE PROJECT SHALL BE COVERED WITH PLASTIC SHEETING PRIOR TO ANY PRECIPITATION EVENT TO PREVENT RUNOFF OF SEDIMENT. SHEETING SHALL BE FIRMLY HELD IN PLACE WITH SANDBAGS OR OTHER WEIGHTS PLACED NO MORE THAN 10FT APART. SEAMS SHALL BE TAPED OR WEIGHTED DOWN THEIR ENTIRE LENGTH AND THERE SHALL BE AT LEAST A 12 INCH OVERLAP.
2. DUST CONTROL: BEST MANAGEMENT PRACTICES SHALL BE USED THROUGHOUT ALL PHASES OF CONSTRUCTION. THIS INCLUDES ANY SUSPENSION OF WORK, ALLEVIATION OR PREVENTION OF ANY FUGITIVE DUST NUISANCE AND THE DISCHARGE OF SMOKE OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE ANY REGIONAL AIR POLLUTION CONTROL RULES, REGULATIONS, ORDINANCES, OR STATUTES. WATER SHALL BE APPLIED AS REQUIRED. DUST NUISANCE SHALL ALSO BE ABATED BY CLEANING, VACUUMING AND SWEEPING OR OTHER MEANS AS NECESSARY.
3. INTERIM EROSION AND SEDIMENT CONTROL: THIS PLAN INCLUDES INTERIM EROSION AND SEDIMENTATION CONTROL MEASURES TO BE TAKEN DURING WET SEASONS UNTIL PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES CAN ADEQUATELY MINIMIZE EROSION, EXCESSIVE STORM WATER RUNOFF AND SEDIMENTATION. THIS PLAN INCLUDES THE MINIMUM NECESSARY MEASURES TO BE TAKEN TO PREVENT EXCESSIVE STORM WATER RUNOFF OR CARRYING BY STORM WATER RUNOFF OF SOLID MATERIALS ON TO LANDS OF ADJACENT PROPERTY OWNERS, PUBLIC STREETS, OR TO WATERCOURSES AS A RESULT OF CONDITIONS CREATED BY GRADING OPERATIONS. ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED BY THE CONTRACTOR, THE CITY, THE COUNTY, OR THE ENGINEER AS CHANGING CONDITIONS OCCUR. GRADING SHALL NOT TAKE PLACE DURING THE RAINY SEASON WITHOUT THE IMPLEMENTATION OF ADDITIONAL BMP'S TO PREVENT EROSION AND RUNOFF.
4. PERMANENT EROSION AND SEDIMENT CONTROL: PERMANENT EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED BY LANDSCAPING OF DISTURBED AREAS OF THE PROJECT SITE. LANDSCAPING SHALL CONSIST OF SOME OR AL THE FOLLOWING: SPREADING OF MULCH, SEEDING, AND PLANTING OF CONTAINER PLANTS. ANTICIPATED TIME UNTIL ESTABLISHMENT FOR THESE 3 LANDSCAPING METHODS IS AS FOLLOWS: IMMEDIATE, 3 MONTHS, 1 MONTH (RESPECTIVELY, ASSUMING APPROPRIATE IRRIGATION IS PROVIDED. DOWNSPOUTS SHALL BE DIRECTED INTO THE UNDERGROUND DRAINAGE SYSTEM AS INDICATED ON THE DRAINAGE PLAN OR AWAY FROM STRUCTURES.
5. THIS PROJECT WILL DISPERSE ALL RUNOFF FROM ROOFS AND HARDSCAPE AREAS TO APPROPRIATE LOCATIONS AND AS SHOWN ON THE PLANS.
6. STORMWATER DISCHARGE ADJACENT TO FOUNDATIONS AND OTHER STRUCTURES IS NOT PERMITTED.
7. WASH OUT CONCRETE EQUIPMENT/TRUCKS OFF-SITE OR INTO CONTAINED WASHOUT AREAS THAT WILL NOT ALLOW DISCHARGE OF WASH WATER ONTO THE UNDERLYING SOIL OR ONTO THE SURROUNDING AREAS.

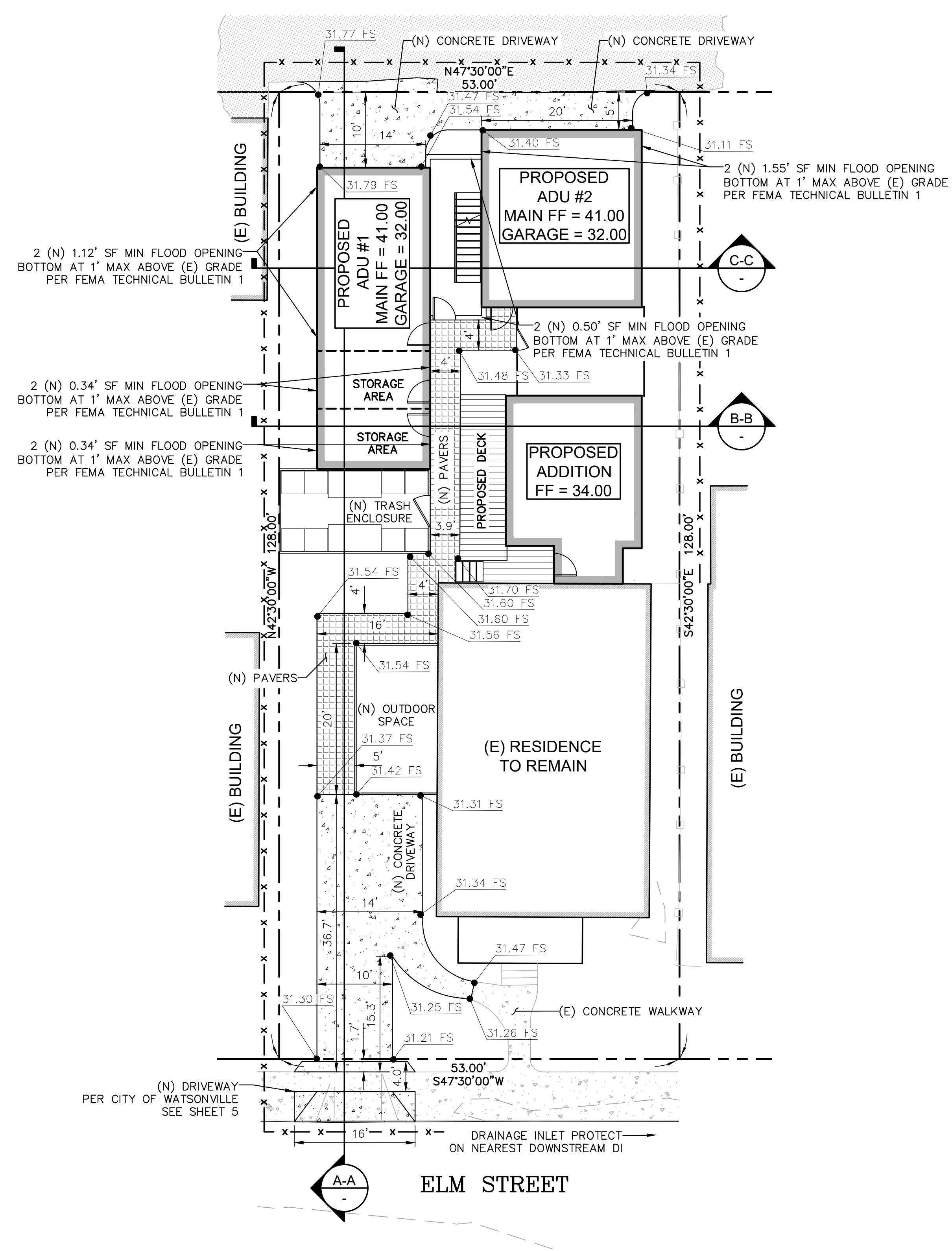


REVISIONS			
REV. NO.	DESCRIPTION	DATE	APPROVED
1			
2			
3			
4			
5			



DATE: 6/3/2024	DESIGNED BY: AP
NEW ADDITION & ADUs 225 ELM STREET WATSONVILLE, CA	DRAWN BY: WZ
	SURVEYED BY: WS
CHECKED BY: AP	
SHEET NO.	
COVER SHEET	1 OF 5

#### PERMIT SET



**GRADING & EROSION CONTROL PLAN**  
SCALE: 1" = 10'

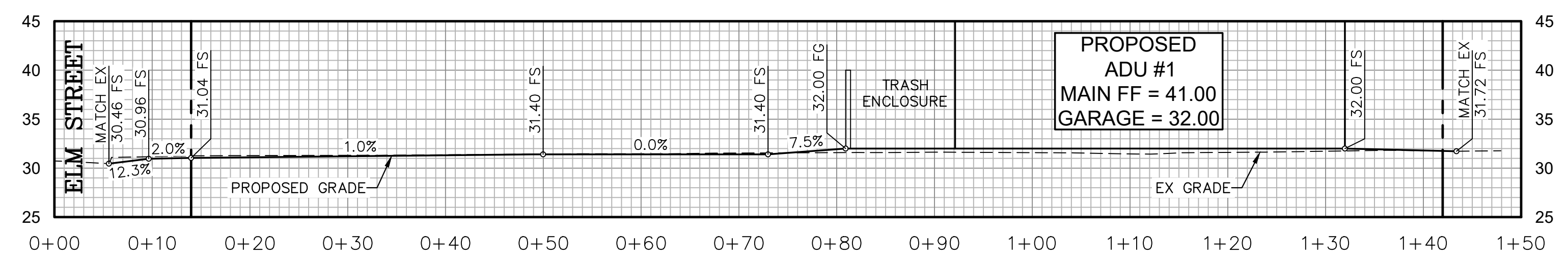
**GRADING NOTES**

1. LOCATION OF CUTS AND FILLS ARE APPROXIMATE. CONTRACTOR TO VERIFY GRADING EXTENTS IN THE FIELD.
2. ALL GRADING SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE GEOTECHNICAL STUDY AND STRUCTURAL DRAWINGS.
3. CONTRACTOR SHALL CONSTRUCT DRAINAGE IMPROVEMENTS PRIOR TO GRADING TO PREVENT RUN-ON TO WORK AREA. IF IT IS NOT FEASIBLE TO CONSTRUCT DRAINAGE PRIOR TO GRADING, TEMPORARY DRAINAGE FACILITIES SHALL BE PROVIDED BY THE CONTRACTOR.
4. MAXIMUM FILL SLOPE SHALL BE 2:1 (HORIZ:VERT)
5. MAXIMUM CUT SLOPE SHALL BE 1.5:1 (HORIZ:VERT)
6. FILL SHALL BE PLACED IN MAXIMUM 6" LIFTS. MOISTURE CONDITIONED TO WITHIN 3% OF OPTIMUM, AND COMPACTED USING SHEEPS FOOT ROLLER OR SIMILAR EQUIPMENT TO 95% RELATIVE COMPACTION AS MEASURED USING THE MODIFIED PROCTOR METHOD.

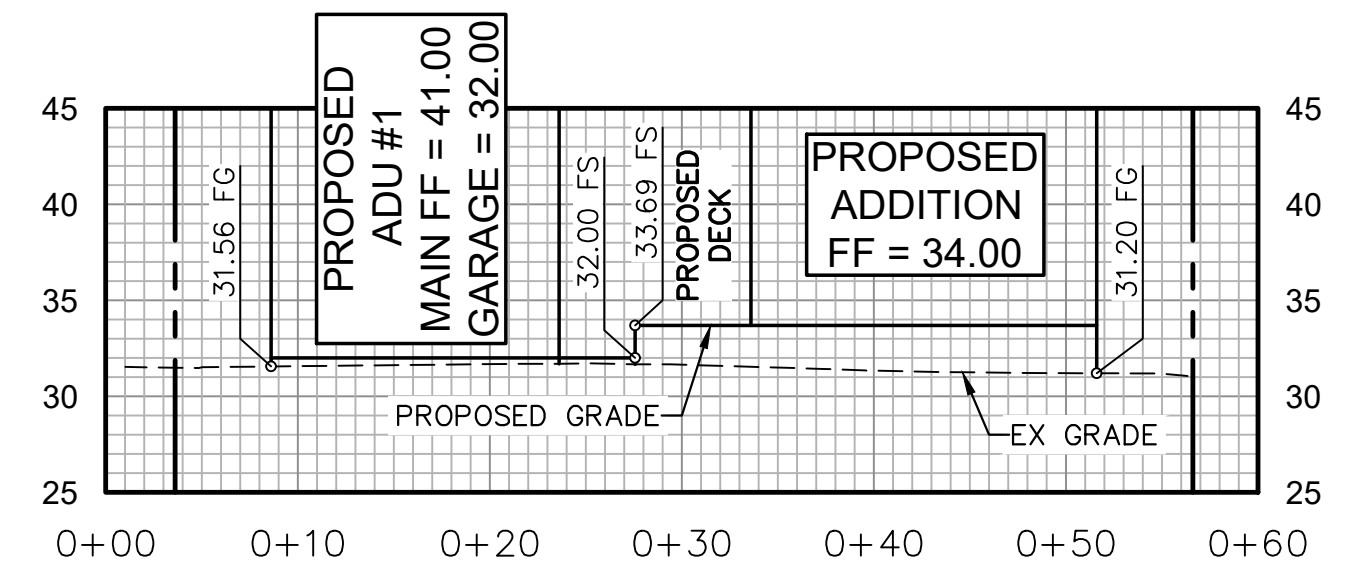
**LEGEND**

- PROPERTY LINE
- x-x- PROPOSED STRAW WATTLE  
SEE DETAIL 1 ON SHEET 5
- (E) EXISTING
- (N) PROPOSED
- FS FINISH SURFACE

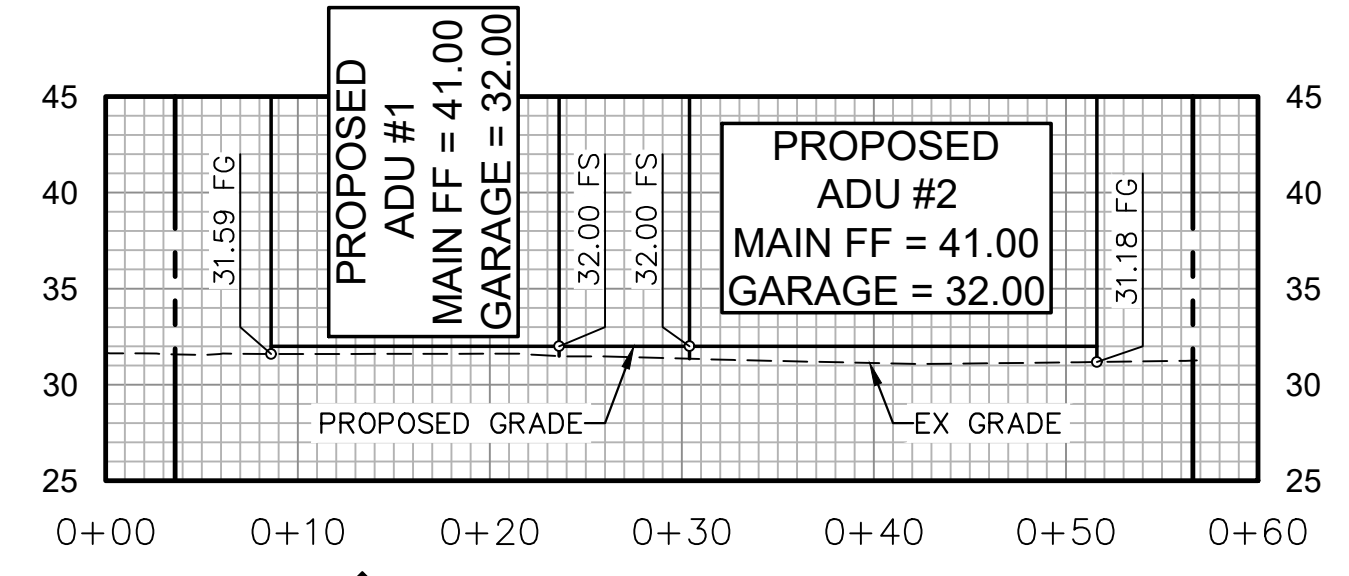
CUT/FILL TABLE			
ELEMENT	FILL (CY)	CUT (CY)	NET (CY)
GRADING	40	10	30
TOTAL DISTURBED AREA: 3,300 SQFT			



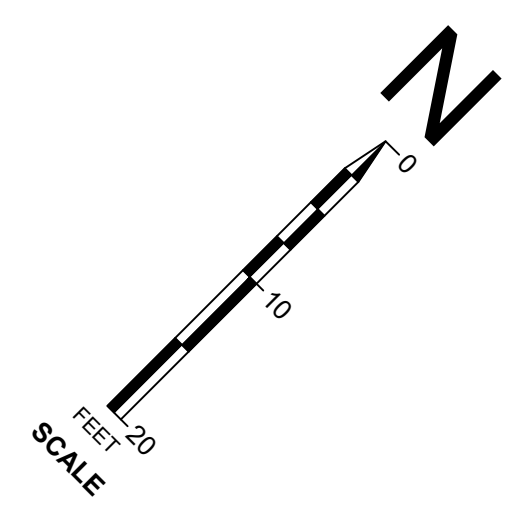
**SECTION A-A**  
SCALE: 1" = 10'



**SECTION B-B**  
SCALE: 1" = 10'

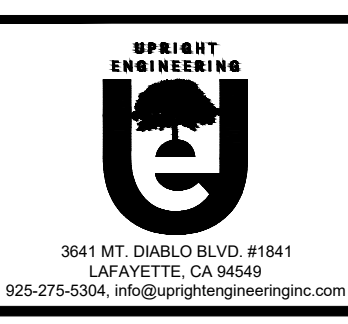


**SECTION C-C**  
SCALE: 1" = 10'



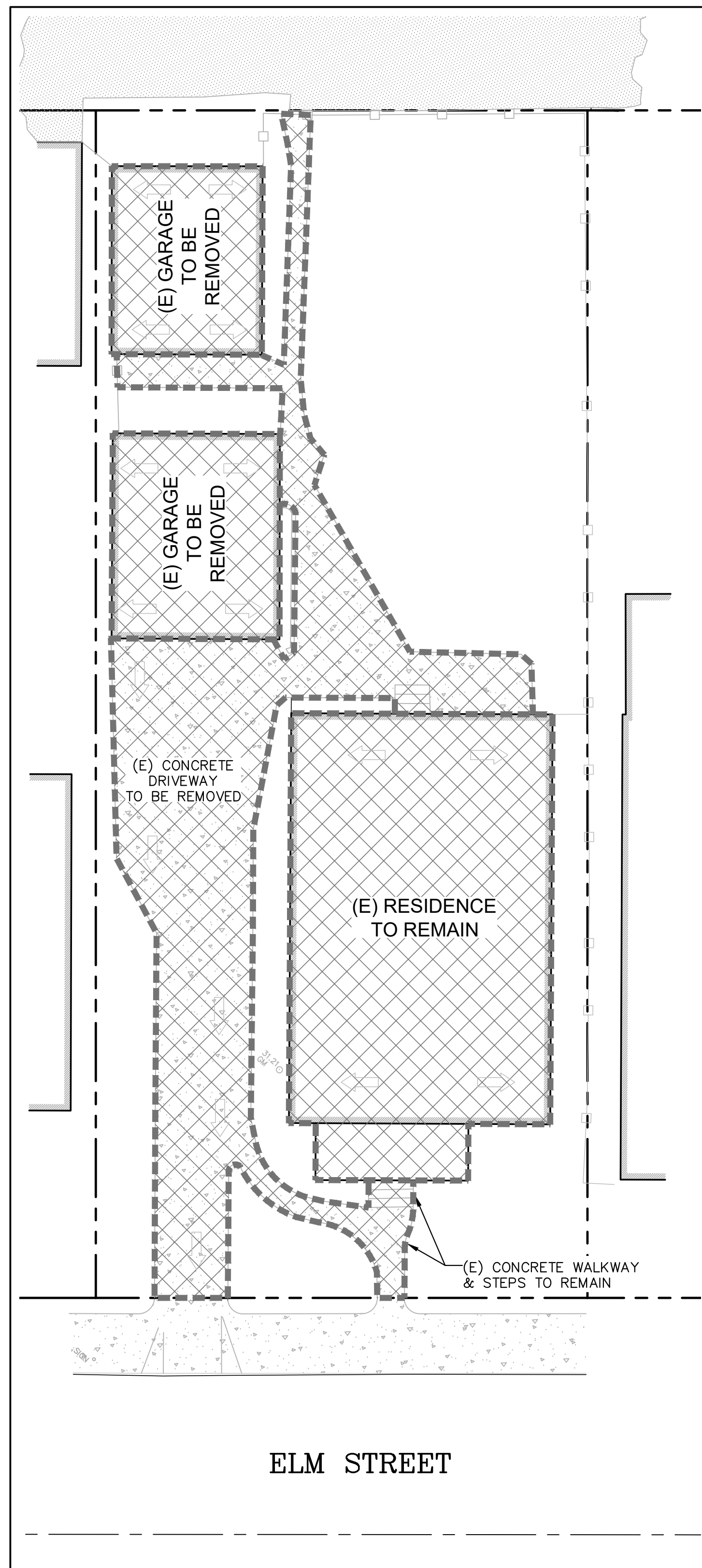
**PERMIT SET**

REVISIONS			
REV. NO.	DESCRIPTION	DATE	APPROVED



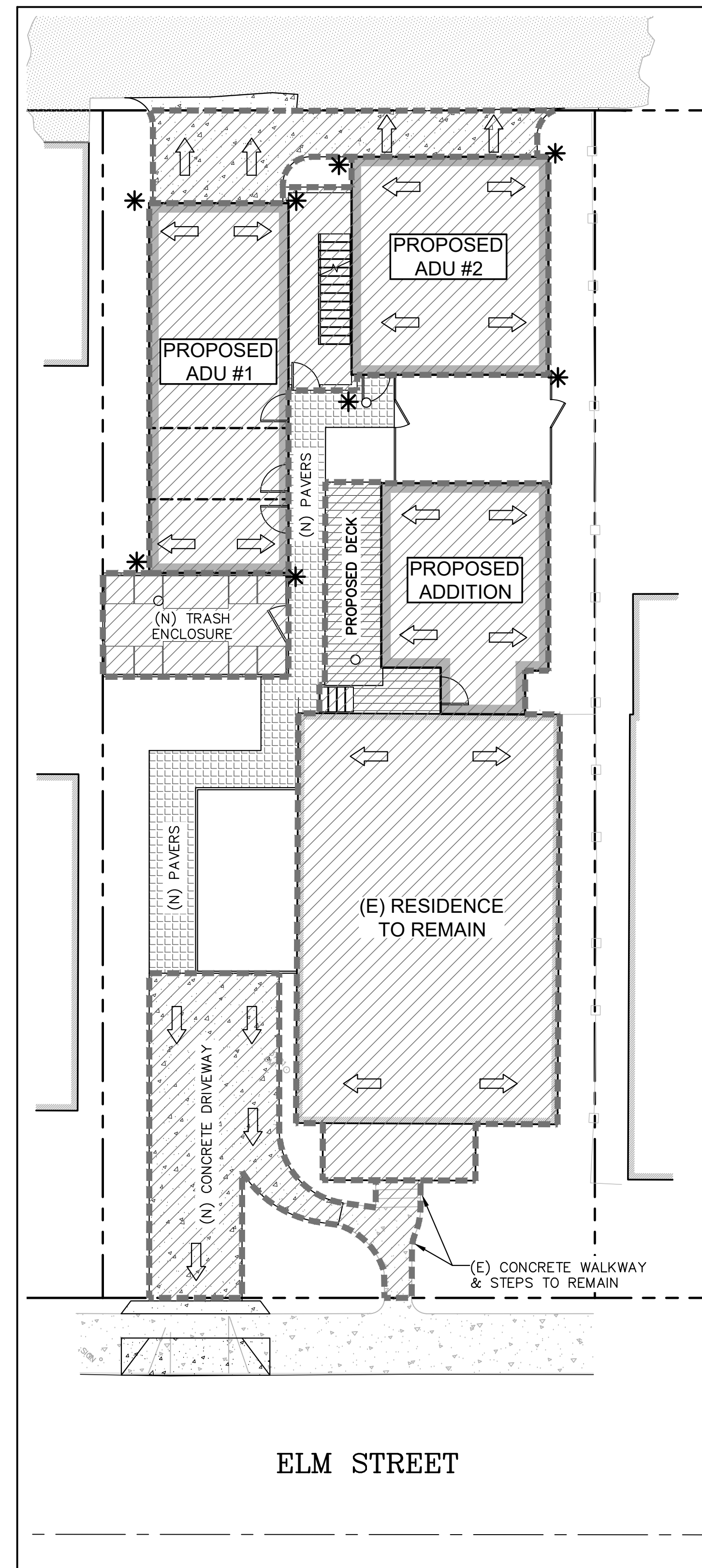
DATE: 6/3/2024  
**NEW ADDITION & ADUs**  
**225 ELM STREET**  
**WATSONVILLE, CA**  
**GRADING & EROSION CONTROL PLAN**

DESIGNED BY: AP  
 DRAWN BY: WZ  
 SURVEYED BY: WS  
 CHECKED BY: AP  
 SHEET NO.  
**2 OF 5**



**EXISTING IMPERVIOUS AREAS**

SCALE: 1" = 10'



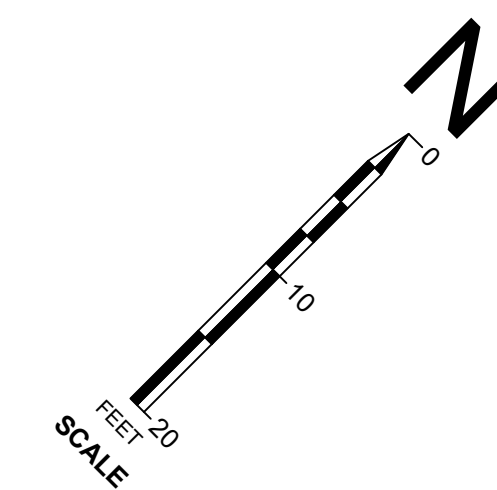
**PROPOSED IMPERVIOUS AREAS**

SCALE: 1" = 10'

**LEGEND**

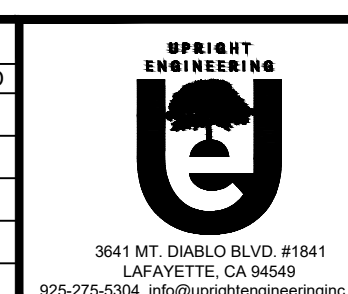
- PROPERTY LINE
- PROPOSED IMPERVIOUS AREA (ARROW INDICATES DRAINAGE PATTERN)
- EXISTING IMPERVIOUS AREA (ARROW INDICATES DRAINAGE PATTERN)
- \* PROPOSED DOWNSPOUT TO BE DIRECTED TOWARDS LANDSCAPING VIA SPLASHBLOCK

IMPERVIOUS AREAS TABLE		
ELEMENT	PROPOSED AREA (SF)	EXISTING AREA (SF)
STRUCTURES	3181	2074
EXTERIOR HARDSCAPE	1036	1406
<b>TOTAL</b>	<b>4217</b>	<b>3481</b>
NET INCREASE IN IMPERVIOUS AREA: 736 SF		



**PERMIT SET**

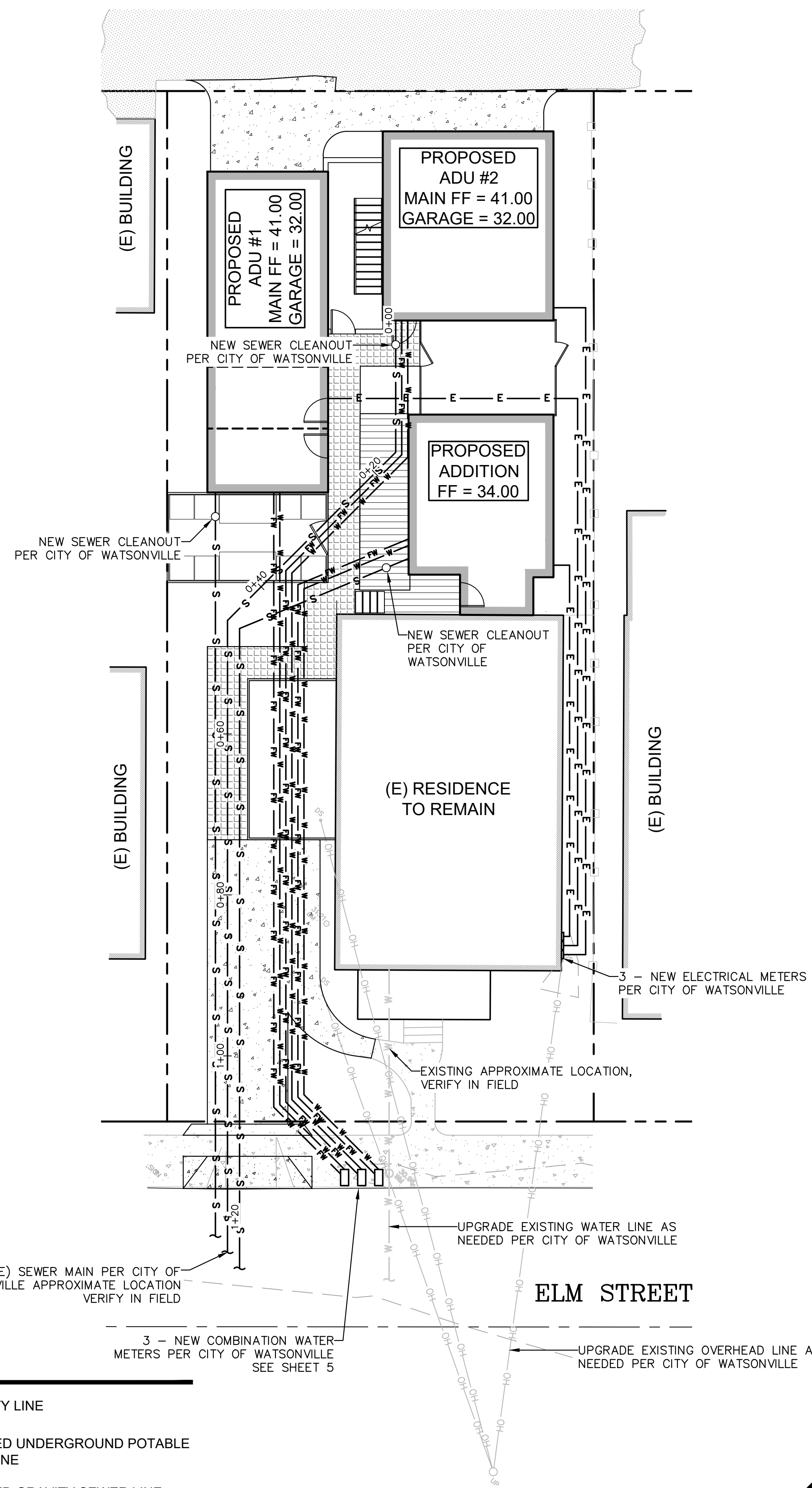
REVISIONS			
REV. NO.	DESCRIPTION	DATE	APPROVED



DATE: 6/3/2024  
**NEW ADDITION & ADUs**  
**225 ELM STREET**  
**WATSONVILLE, CA**  
**DRAINAGE PLAN**

DESIGNED BY: AP  
 DRAWN BY: WZ  
 SURVEYED BY: WS  
 CHECKED BY: AP  
 SHEET NO.  
**3 OF 5**





**LEGEND**

- PROPERTY LINE
- w-w- PROPOSED UNDERGROUND POTABLE WATER LINE
- s-s- PROPOSED GRAVITY SEWER LINE  
4" ABS SCH40, 2% MIN SLOPE
- E-E- PROPOSED ELECTRICAL CONNECTION
- FW- PROPOSED 1" FIRE LINE INSTALLED PER CITY OF WATSONVILLE

**GENERAL UTILITY NOTES:**

- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY ENCROACHMENT PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
- UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE FINALIZED BY THE CONTRACTOR IN THE FIELD.
- ALL UNDERGROUND AND ABOVEGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE, REGIONAL, AND LOCAL CODES AND REQUIREMENTS.
- MINIMUM BURIAL DEPTH SHALL BE 18" FOR ALL UTILITIES.
- ALL UTILITIES SHALL BE BURIED WITH DETECTABLE UNDERGROUND MARKING TAPE MEETING APWA STANDARDS. TAPE SHALL BE BURIED 12" ABOVE TOP OF UTILITY.
- PULL BOXES FOR ELECTRICAL AND COMMUNICATIONS UTILITIES SHALL BE SIZED AND SPACED PER CURRENT CALIFORNIA BUILDING CODE REQUIREMENTS.
- ELECTRICAL AND COMMUNICATION UTILITIES SHALL UTILIZE RACEWAYS WITH BENDS CONFORMING TO CURRENT CALIFORNIA BUILDING CODE REQUIREMENTS.
- UTILITIES SHALL MAINTAIN 3FT MIN CLEARANCE FROM ALL CONCRETE FOOTINGS, SLABS, AND BUILDING FOUNDATIONS.
- UTILITY TRENCH BACKFILL SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION, THE UTILITY COMPANY, AND AS FOLLOWS:
  - UTILITY TRENCH BACKFILL SHALL BE CLASS II AB COMPACTED TO 95% RELATIVE COMPACTION AT NEAR OPTIMUM MOISTURE CONTENT. BACKFILL SHALL BE PLACED IN 6" LIFTS, WETTED, AND COMPACTED USING A VIBRATING PLATE OR JUMPING JACK. CARE SHOULD BE TAKEN NOT TO HARM UTILITIES DURING PRELIMINARY BACKFILL.
- THE FOLLOWING APPLIES TO THE PROPOSED PRIVATE SEWER LATERAL (PSL):
  - ALL SEWER LINES AND ASSOCIATED STRUCTURES, CLEANOUTS, BACKFLOW DEVICES, OVERFLOW PROTECTION DEVICES AND POINT OF CONNECTION TO THE CITY MAIN SHALL COMPLY WITH CITY STANDARDS.
  - THE PSL SHALL BE KEPT FREE FROM ROOTS, GREASE DEPOSITS, AND OTHER SOLIDS WHICH MAY IMPEDE OR OBSTRUCT THE FLOW.
  - ALL JOINTS SHALL BE TIGHT AND ALL PIPES SHALL BE SOUNDS AND FREE FROM STRUCTURAL DEFECTS, CRACKS, BREAKS, OPENINGS, AND MISSING PORTIONS TO PREVENT EX-FILTRATION BY WASTE OR INFILTRATION BY GROUND WATER OR STORM WATER.
  - THE GRADE OF EVERY PSL SHALL BE UNIFORM WITHOUT SAGS OR OFFSETS.
  - THE PSL SHALL HAVE A TWO-WAY CLEANOUT LOCATED AT OR NEAR THE STRUCTURE. ALL CLEANOUTS SHALL BE SECURELY CAPPED AT ALL TIMES.
  - THE PSL SHALL BE EQUIPPED WITH A BACKFLOW DEVICE/OVERFLOW DEVICE.
  - IN CONJUNCTION WITH A PSL SERVING A STRUCTURE IN WHICH THERE ARE PLUMBING FIXTURES AT AN ELEVATION TOO LOW TO PERMIT DRAINAGE BY GRAVITY FROM THE FIXTURES TO THE SEWER MAIN, THE PROPERTY OWNER SHALL INSTALL AND MAINTAIN A PUMP OR OTHER APPROPRIATE DEVICE OR DEVICES TO LIFT THE CONTENTS OF THE PSL TO THE CITY'S SANITARY SEWER SYSTEM. SUCH DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE UNIFORM BUILDING AND PLUMBING CODES AND ALL APPLICABLE PROVISIONS OF THE CITY MUNICIPAL CODE, AND SHALL BE SUBJECT TO TESTING, REPAIR AND REPLACEMENT UNDER THE PROVISIONS OF THE CITY.
  - THERE SHALL BE NO NON-SANITARY SEWER CONNECTIONS TO THE PSL PLUMBING THAT CONNECTS THERETO.

**MINIMUM UTILITY SEPARATION REQUIREMENTS**

UTILITY	POTABLE WATER*	STORM WATER	SANITARY SEWER	GAS	ELECTRIC	COMM
POTABLE WATER	-	12"	12"	0"	12"	12"
STORM WATER	12"	-	12"	0"	24"	12"
SANITARY SEWER	12"	12"	-	0"	24"	12"
GAS	0"	0"	0"	-	24"	12"
ELECTRIC	12"	24"	24"	24"	-	12"
COMM	12"	12"	12"	12"	12"	-

\* WHEN POTABLE WATER SHARES A JOINT TRENCH OR CROSSES SEWER AND/OR STORMWATER, POTABLE WATER SHALL ALWAYS BE ABOVE.

Sewer Lateral Sizing Calcs  
225 Elm St, Watsonville, CA  
Per Chapter 7 of the 2016 California Plumbing Code  
Table 702.1 and 703.2

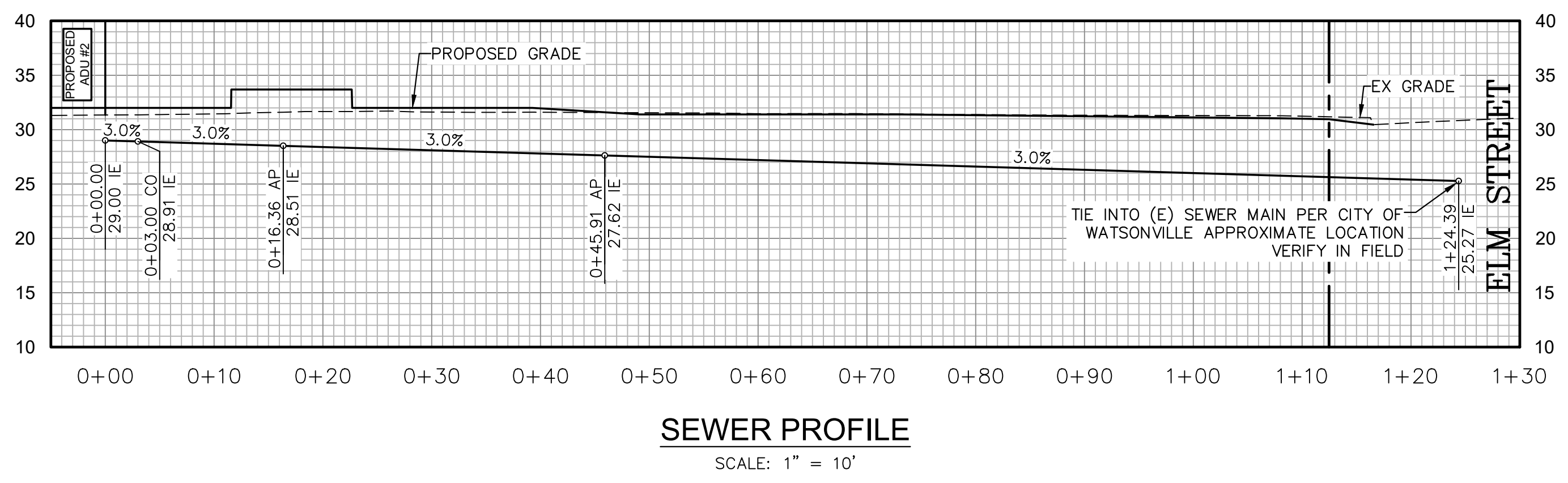
Fixture	Total #	DFU/Ea	DFU
Ex. Main House			
Toilet	1	3	3
Kitchen Sink	1	2	2
Lavatory	1	1	1
Bathtub	1	2	2
<b>TOTAL:</b>	<b>5</b>		<b>8</b>

Fixture	Total #	DFU/Ea	DFU
New Duplex			
Toilet	1	3	3
Kitchen Sink	1	2	2
Lavatory	1	1	1
Shower	1	2	2
Clotheswasher	1	3	3
<b>TOTAL:</b>	<b>5</b>		<b>11</b>

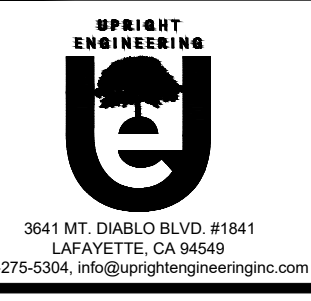
Fixture	Total #	DFU/Ea	DFU
New ADU 1			
Toilet	1	3	3
Kitchen Sink	1	2	2
Lavatory	1	1	1
Shower	1	2	2
Dishwasher	1	2	2
Clotheswasher	1	3	3
<b>TOTAL:</b>	<b>6</b>		<b>13</b>

Fixture	Total #	DFU/Ea	DFU
New ADU 2			
Toilet	1	3	3
Kitchen Sink	1	2	2
Lavatory	1	1	1
Shower	1	2	2
Dishwasher	1	2	2
Clotheswasher	1	3	3
<b>TOTAL:</b>	<b>6</b>		<b>13</b>

Fixture	Total #	DFU/Ea	DFU
Total			
Toilet	4	3	12
Kitchen Sink	4	2	8
Lavatory	4	1	4
Bathtub	1	2	2
Shower	3	2	6
Dishwasher	2	2	4
Clotheswasher	3	3	9
<b>TOTAL:</b>	<b>27</b>		<b>45</b>



REV. NO.	DESCRIPTION	DATE	APPROVED
1			
2			
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4			



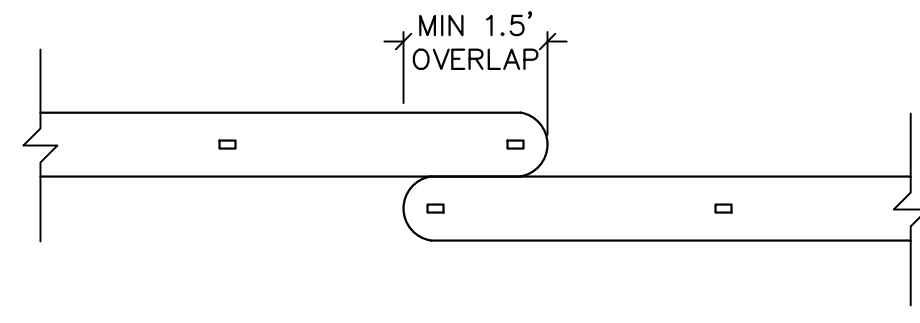
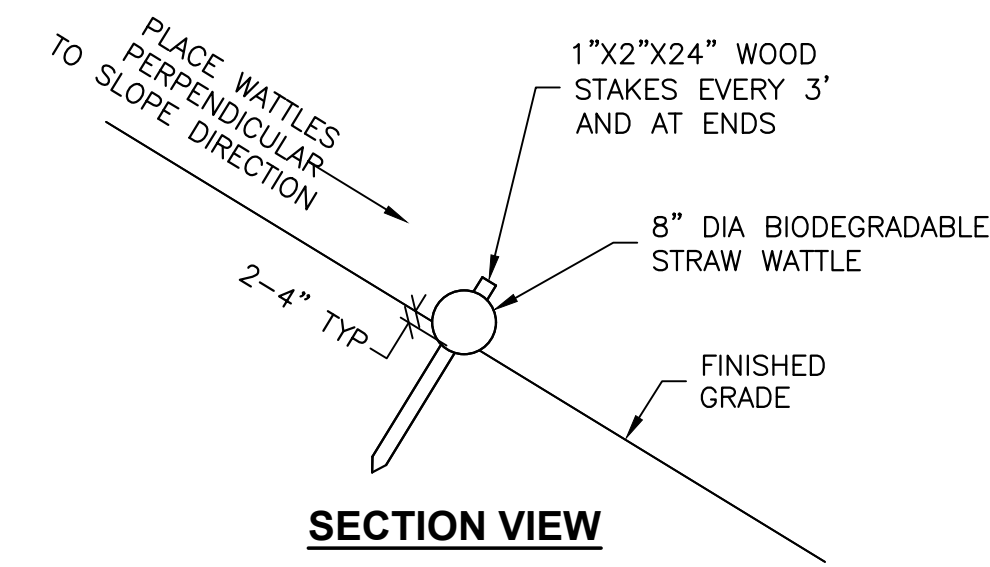
**PERMIT SET**

DATE: 6/3/2024

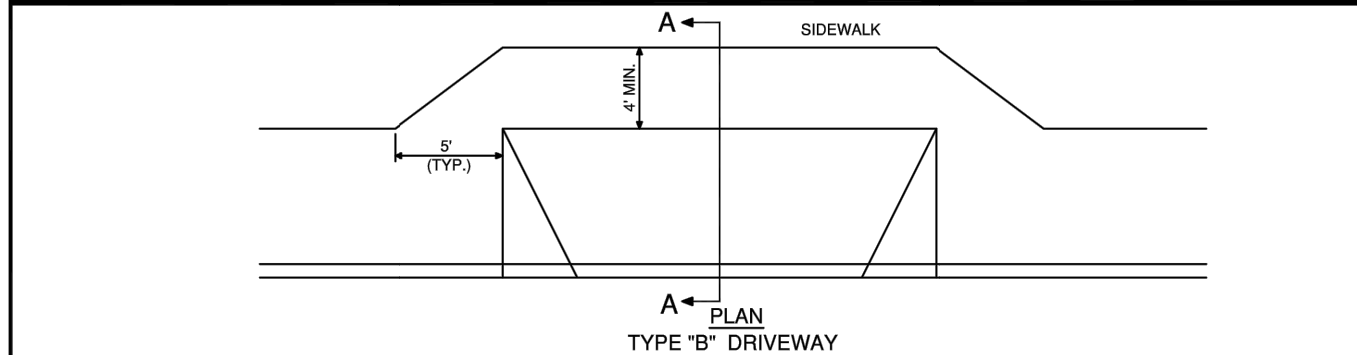
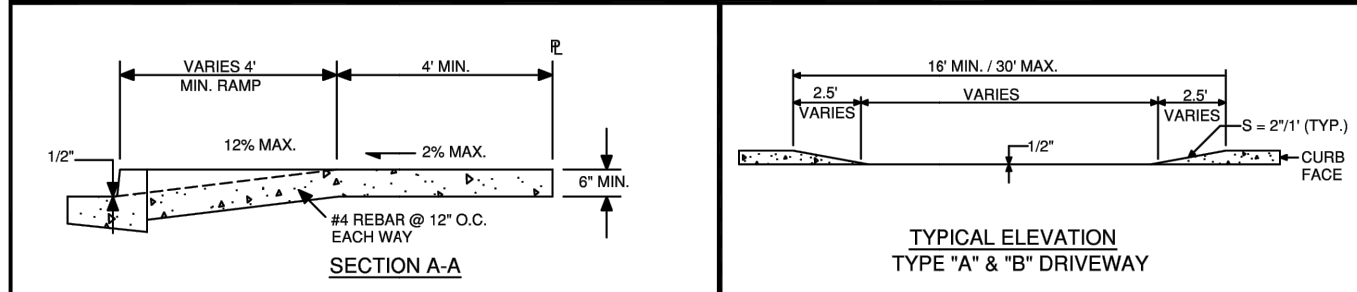
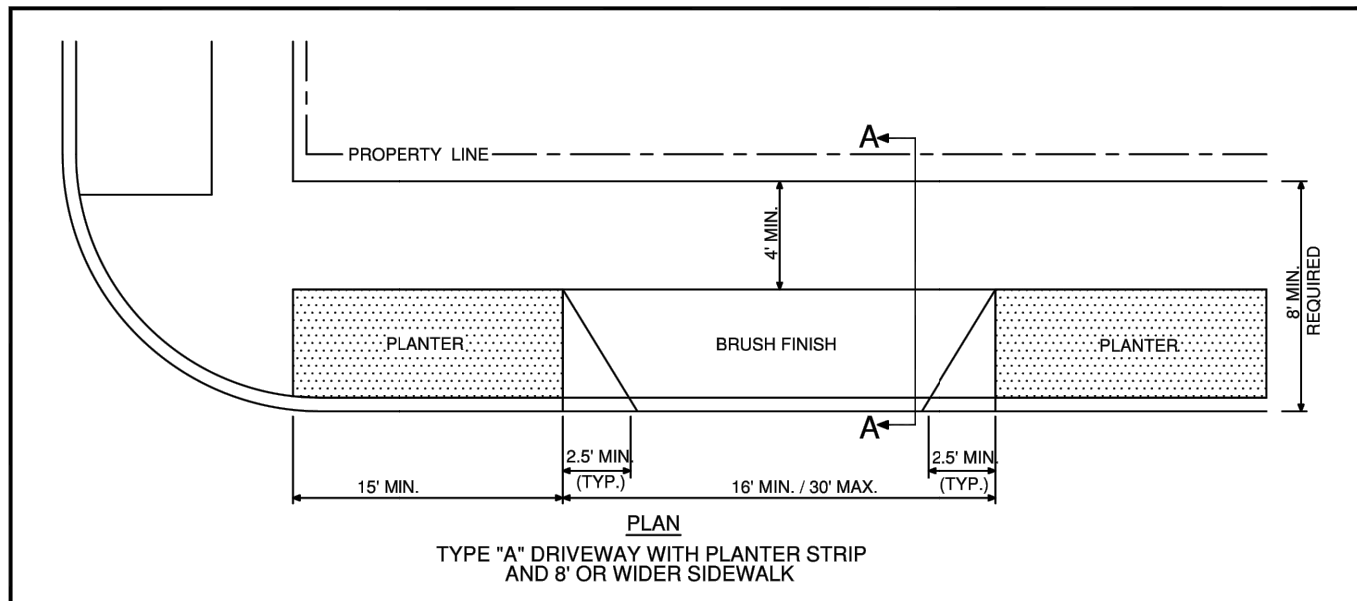
**NEW ADDITION & ADUS**  
225 ELM STREET  
WATSONVILLE, CA

DESIGNED BY: AP  
DRAWN BY: WZ  
SURVEYED BY: WS  
CHECKED BY: AP  
SHEET NO. **4 OF 5**

**UTILITY PLAN**

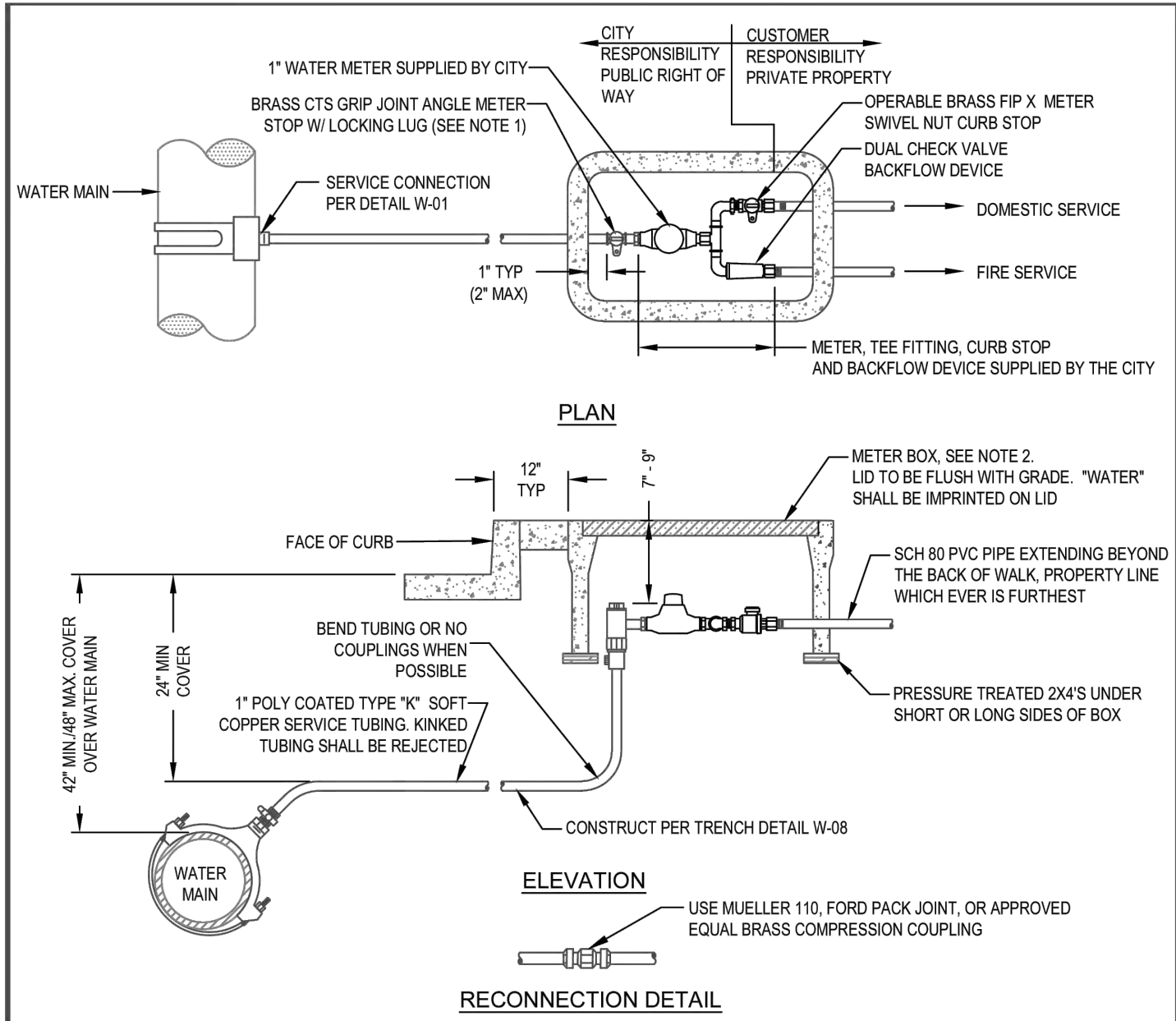


**1 STRAW WATTLE DETAILS**  
NOT TO SCALE



- NOTES:**
- 1) ALL CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE TO THE PROVISIONS OF SECTION 73, "CONCRETE CURBS AND SIDEWALKS" OF THE CALTRANS STANDARD SPECIFICATIONS.
  - 2) CURBS, GUTTERS AND SIDEWALK APPROACHES SHALL BE UNDERLAIN WITH 6" CLASS 2 AGGREGATE BASE.
  - 3) RELATIVE COMPACTION OF NOT LESS THAN 95% SHALL BE OBTAINED FOR SUBGRADE SOILS AND CLASS 2 AGGREGATE BASE BELOW CURBS, GUTTERS AND DRIVEWAY APPROACHES.
  - 4) THE DRIVEWAY APPROACH SHALL BE REINFORCED WITH #4 REBAR PLACED AT 12" ON CENTER EACH WAY.
  - 5) LIMITS OF REMOVAL OF ALL CURBS, GUTTERS, SIDEWALKS AND APPROACHES SHALL BE SAWS ALONG EXISTING JOINTS AND SCORELINES.
  - 6) CONCRETE WHICH HAS BEEN MARKED OR SCRATCHED SHALL BE REMOVED AND REPLACED.
  - 7) SEE PUBLIC IMPROVEMENT STANDARD S-101 FOR SCORING AND JOINTING REQUIREMENTS.

CITY OF WATSONVILLE PUBLIC WORKS & UTILITIES DEPARTMENT	
NOT TO SCALE	STANDARD DRAWING FOR DRIVEWAY APPROACH
DRAWN BY: P.A.C.	DRAWN: 8/11 REV.: 12/12
CHECKED BY: M.E.C.R.	RESOLUTION: 76-13 (CM) DRAWING No. S-105



- NOTES:**
1. BALL ANGLE CURB METER VALVES: MUELLER #110 COMPRESSION TYPE 3/4" B-24258, MUELLER #110 COMPRESSION TYPE 1" B-24258, FORD COMPRESSION TYPE "Q", OR CITY APPROVED EQUAL 3/4" BA-43-33WQ, 1" BA-43-44WQ
  2. METER BOX: CHRISTY B-36 W/ N38RP R-COMPOSITE LID NON TRAFFIC, B-1730 BOX W/ B1730-51GH STEEL CHECKER PLATE LID FOR TRAFFIC. ALL LIDS SHALL HAVE A PORT ACCEPTING THE WIRELESS METER READER.
  3. ALL CORPORATION STOPS, ANGLE METER STOPS, COUPLINGS AND CONNECTIONS SHALL BE MUELLER 110, OR FORD TYPE "Q" COMPRESSION TYPE FITTINGS WITH GC THREAD, OR CITY APPROVED EQUAL.
  4. ALL PRIVATE INSTALLATION SHALL COMPLY WITH CITY ORDINANCE NO. 503-80 AS AMENDED REGARDING "WATER SERVICES AND CHARGES". DOMESTIC AND FIRE SERVICE LINE SHALL BE SIZED PER CALIFORNIA PLUMBING AND FIRE CODES.
  5. THE CUSTOMER SHALL INSTALL SUITABLE CONTROL VALVES ON EACH PRIVATE SERVICE LINE ON THE RISER TO EACH BUILDING OR A MAXIMUM OF 50 FEET FROM THE METER. THE VALVES SHALL CONTROL THE ENTIRE WATER SUPPLY FROM THE SURFACE.

CITY OF WATSONVILLE PUBLIC WORKS & UTILITIES DEPARTMENT			
SCALE: NTS		WATER DIVISION STANDARD DRAWING	DRAWN: MAY 2018
DRAWN BY: STAFF		1-INCH COMBINATION METER	REV: MAY 2018
CHECKED BY: TC		RESOLUTION: 98-18 (CM)	DWG NO. W-02



**PERMIT SET**

REVISIONS				DATE	APPROVED
REV. NO.	DESCRIPTION				



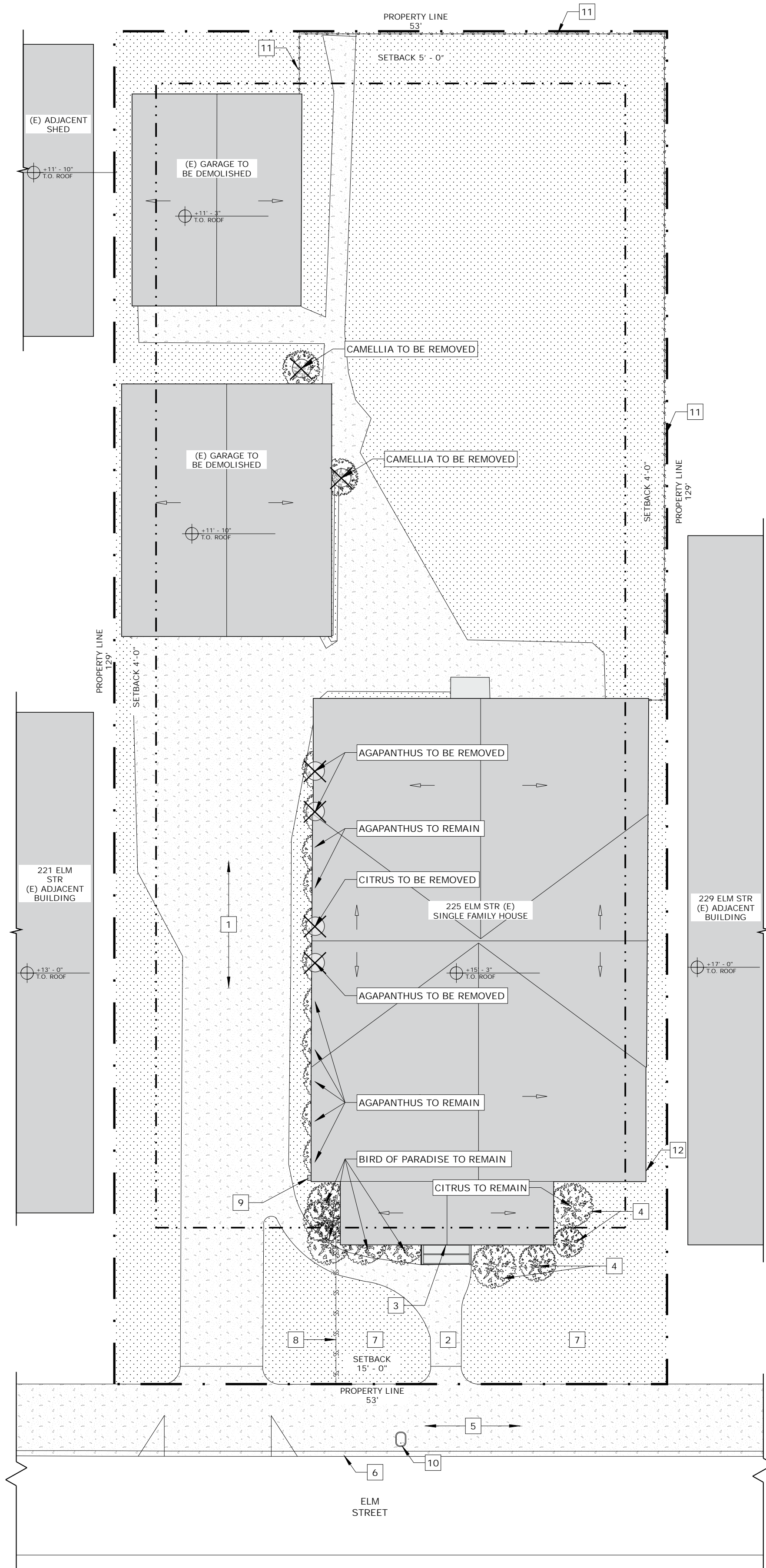
DATE: 6/3/2024	DESIGNED BY: AP
NEW ADDITION & ADUs 225 ELM STREET WATSONVILLE, CA	DRAWN BY: WZ
DETAILS	SURVEYED BY: WS
	CHECKED BY: AP
	SHEET NO. 5 OF 5

**SITE PLAN LEGEND:**

- (E) BUILDING
- PLANTING - EXPOSED SOIL & SEASONAL WEEDS
- CONCRETE PAVING
- (E) VEGETATION TO BE REMOVED
- SANITARY SEWER

**KEYNOTES:**

- 1 (E) CONCRETE DRIVEWAY TO REMAIN
- 2 (E) CONCRETE WALKWAY TO REMAIN
- 3 MAIN HOUSE ENTRY
- 4 (E) PLANTING TO REMAIN
- 5 CONCRETE SIDEWALK
- 6 STREET CURB
- 7 NO WORK TO (E) LANDSCAPE
- 8 4" SANITARY SEWER LATERAL
- 9 GAS METERS
- 10 WATER METER
- 11 WOOD FENCE
- 12 ELECTRICAL METER



**1 EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"



**SITE PLAN LEGEND:**

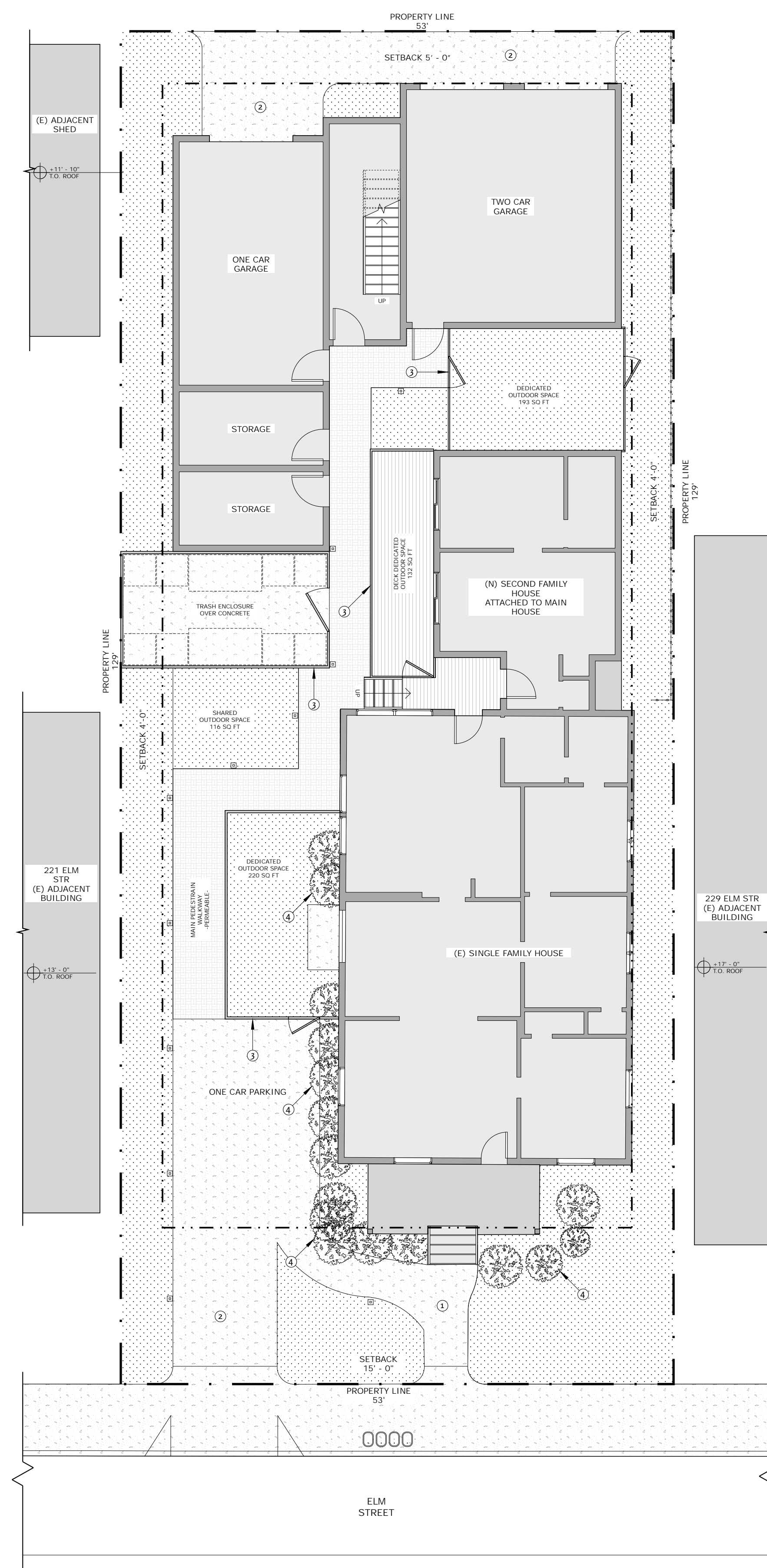
- (E) ADJACENT BUILDING
- NEW & (E) BUILDINGS IN PROPERTY
- NEW FENCES & GARDEN GATES
- COMPOSITE DECK
- PLANTING, MULCH &/or GRAVEL - SEE PLANTING PLAN
- CONCRETE PAVING
- PERMEABLE PAVERS
- OUTDOOR BOLLARD LIGHTING

**KEYNOTES:**

- 1 ENTRANCE PATHWAY
- 2 DRIVEWAY
- 3 FENCE
- 4 (E) PLANTING

**NOTES:**

- 1. TOTAL LANDSCAPE AREA (EXCLUDING DRIVEWAYS, PATHS & DECKS): 2268.5 SQ FT



**2 PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"



INSPIRED ADUS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
INSPIREDADUS.COM  
PROJECT ARCHITECT  
CARRIE SHORES DILLER



NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL  
PLANNING PERMIT SET / MARCH 2024

SUBMITTAL HISTORY & REVISIONS  
06/03/2024 PLANNING PLAN CHECK COMMENTS II

\* You may use these plans for the construction of use and only use house as depicted by the plans. This license is non-transferable.  
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\* Building codes are subject to various changes and interpretations. The purchaser is responsible for compliance with all local and national building codes, ordinances, site conditions, subdivision restrictions, and structural design. A licensed engineer should review your plans before you apply for a building permit and before construction begins.  
\* Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, sealing, caulking, insulating, flashing, roofing, waterproofing and many other small items and details not necessarily indicated on the plans, and over which Inspired ADUS and CARRIE SHORES DILLER has no control or responsibility. Inspired ADUS and CARRIE SHORES DILLER shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.  
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EXISTING AND PROPOSED SITE PLANS

L. 1

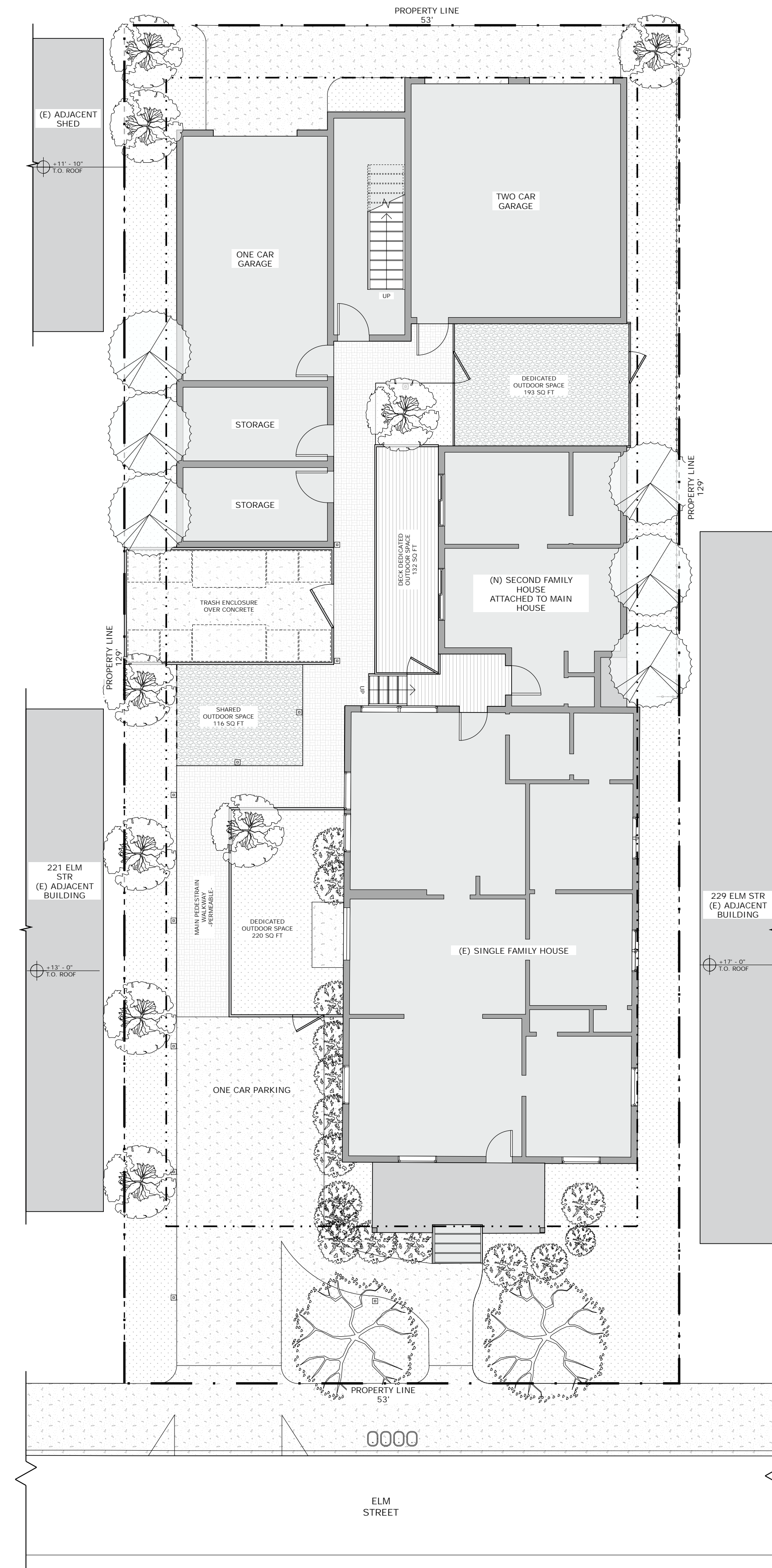
**SITE PLAN LEGEND:**

- (E) ADJACENT BUILDING
- NEW & (E) BUILDINGS IN PROPERTY
- NEW FENCES & GARDEN GATES
- COMPOSITE DECK
- CONCRETE PAVING
- PERMEABLE PAVERS
- OUTDOOR BOLLARD LIGHTING
- 4" LAYER OF MINI-MULCH
- 4" LAYER OF 3/8" PEA GRAVEL OVER WEED BARRIER
- LANDSCAPE EDGING (USE BETWEEN MINI-MULCH & PEA GRAVEL & BY ALL PROPERTY LINES)

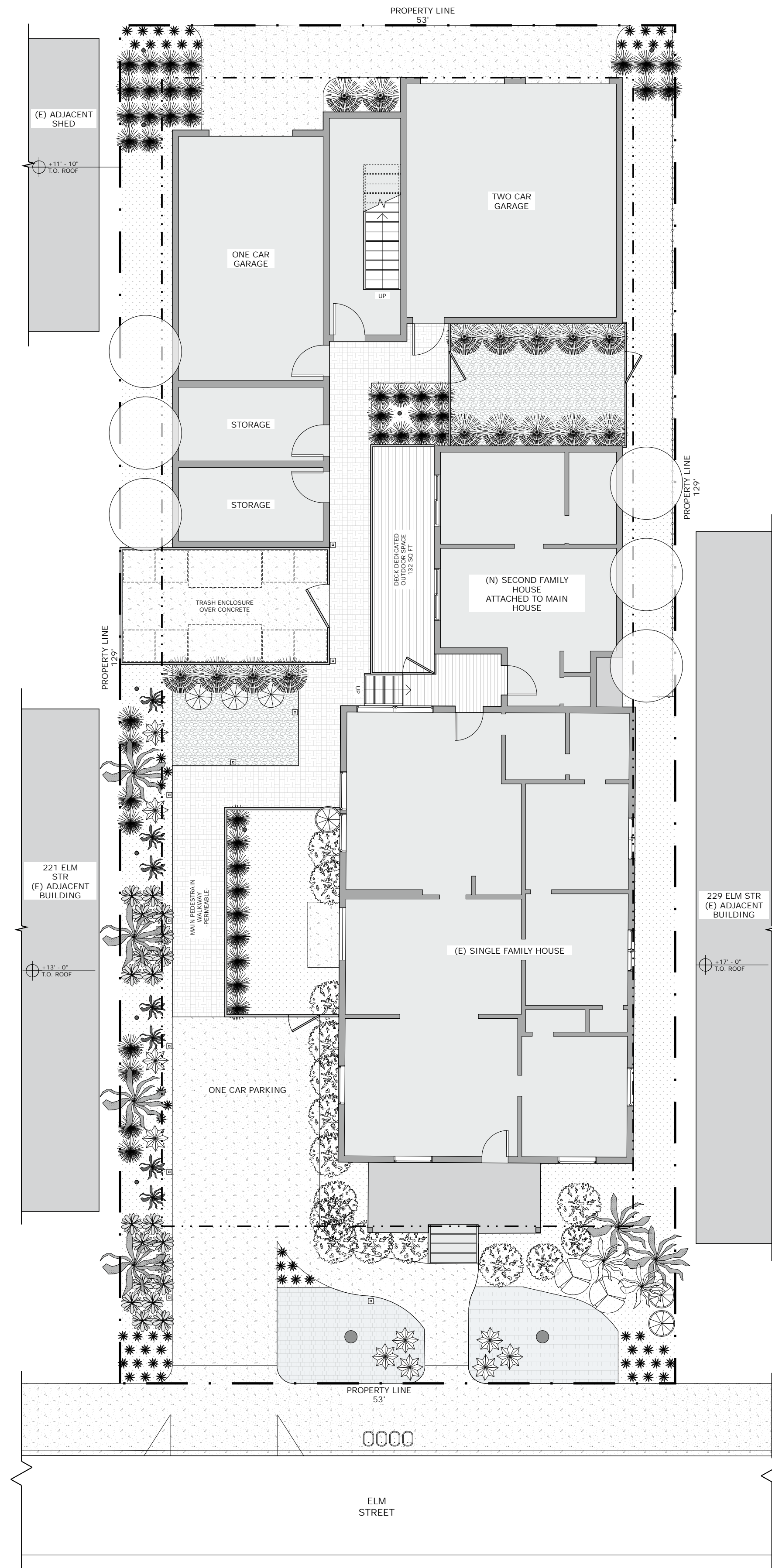
- NOTES:**
- TOTAL LANDSCAPE AREA (EXCLUDING DRIVEWAYS, PATHS & DECKS): 2268.5 SQ FT
  - TOTAL LANDSCAPE AREAS AS DEFINED BY THE CALIFORNIA CODE OF REGULATIONS MODEL WATER EFFICIENT LANDSCAPE ORDINANCE\*: 1535.7 SQ FT
- \* LANDSCAPE AREA MEANS ALL THE PLANTING AREAS, TURF AREAS, AND WATER FEATURES IN A LANDSCAPE DESIGN PLAN. THE LANDSCAPE AREA DOES NOT INCLUDE FOOTPRINTS OF BUILDINGS OR STRUCTURES, SIDEWALKS DRIVEWAYS, PARKING LOTS, DECKS, PATIOS, GRAVEL OR STONE WALKS, OTHER PERVIOUS OR NON-PERVIOUS HARDSCAPES, AND OTHER NON-IRRIGATED AREAS DESIGNED FOR NON-DEVELOPMENT

Type	Scientific Name	Common Name	Mature Size	Size	Qty	USDA	WUCOLS
Groundcover	<i>Dymondia margaretae</i>	Silver Carpet	2-3" H & 1-2" W	Mudflat	20	9-11	Low
Perennial/Ornamental Grass	<i>Libertia peregrinans</i>	Orange New Zealand Iris	1-2' H & 1' W	4"	55	8-10	Low
Groundcover/Succulent	<i>Senecio mandraliscae</i>	Blue Chalk Sticks	1-2' H & 2-3' W	1 gal	20	9-11	Low
Succulent/Perennial	Agave x 'Blue Glow'	Blue Glow Agave	1-2' H & 2-3' W	5 gal	10	9-11	Very Low
Perennial/Ornamental Grass	<i>Lomandra longifolia</i> 'Pum Pum'	Shorty Mat Rush	1-2' H & 2-3' W	1 gal	47	8-10	Low
Shrub	<i>Rosmarinus officinalis</i> 'Roman Beauty'	Roman Beauty Rosemary	2-3' H & W	5 gal	3	8-11	Low
Perennial	<i>Phormium 'Black Rage'</i>	Black Rage New Zealand Flax	2-3' H & W	5 gal	7	8-11	Low
Shrub	<i>Phlomis fruticosa</i>	Jerusalem Sage	3-4' H & W	1 gal	2	7-10	Low
Perennial	<i>Chondropetalum tectorum</i>	Cape Rush	3-4' H & W	5 gal	16	8-10	Low
Perennial	<i>Phormium 'Golden Ray'</i>	Golden Ray New Zealand Flax	4-5' H & W	5 gal	2	8-11	Low
Shrub	<i>Rosmarinus officinalis</i> 'Blue Spires'	Blue Spires Rosemary	4-6' H & 2-3' W	5 gal	3	8-11	Low
Perennial	<i>Phormium 'Sundowner'</i>	Sundowner New Zealand Flax	5-6' H & 6-7' W	5 gal	6	8-11	Low
Tree	<i>Lagerstroemia indica</i> x 'fauriei' 'Zuni multitrunk'	Multi-trunk Zuni Grape Myrtle	8-10' H & 6-8' W	24" Box	9	6-9	Low
Small Tree/Hedge	<i>Ligustrum ovalifolium</i>	California privet	8-15' H & 6-10' W	5 gal	6	5-9	Low
Tree	<i>Olea europaea</i> multi-trunk	Multi-trunk Olive Tree	Kept at 14' H & 12' W	24" Box	2	8-11	Very Low

WUCOLS IV CLASSIFICATION FOR WATSONVILLE  
 VL: VERY LOW  
 L: LOW  
 M: MODERATE  
 H: HIGH



**1 PROPOSED PLANTING PLAN - TALL VEGETATION ONLY (TREE & SMALL TREE/HEDGE)**  
 SCALE : 1/8" = 1'-0"



**2 PROPOSED PLANTING PLAN - MEDIUM & SHORT VEGETATION**  
 SCALE : 1/8" = 1'-0"

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 INSPIREDADUS.COM  
 PROJECT ARCHITECT  
 CARRIE SHORES DILLER



NEW DETACHED ACCESSORY DWELLING UNIT  
 225 ELM ST, WATSONVILLE  
 RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL  
 PLANNING PERMIT SET / MARCH 2024  
 SUBMITTAL HISTORY & REVISIONS  
 06/03/2024 PLANNING PLAN CHECK COMMENTS II

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PROPOSED PLANTING PLAN

L. 2



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PLANTING IMAGES & NOTES

L. 4

CAPE RUSH & ROSEMARY AGAINST THE FENCE TO CONCEAL IT & CREATE A COMMON OUTDOOR SPACE



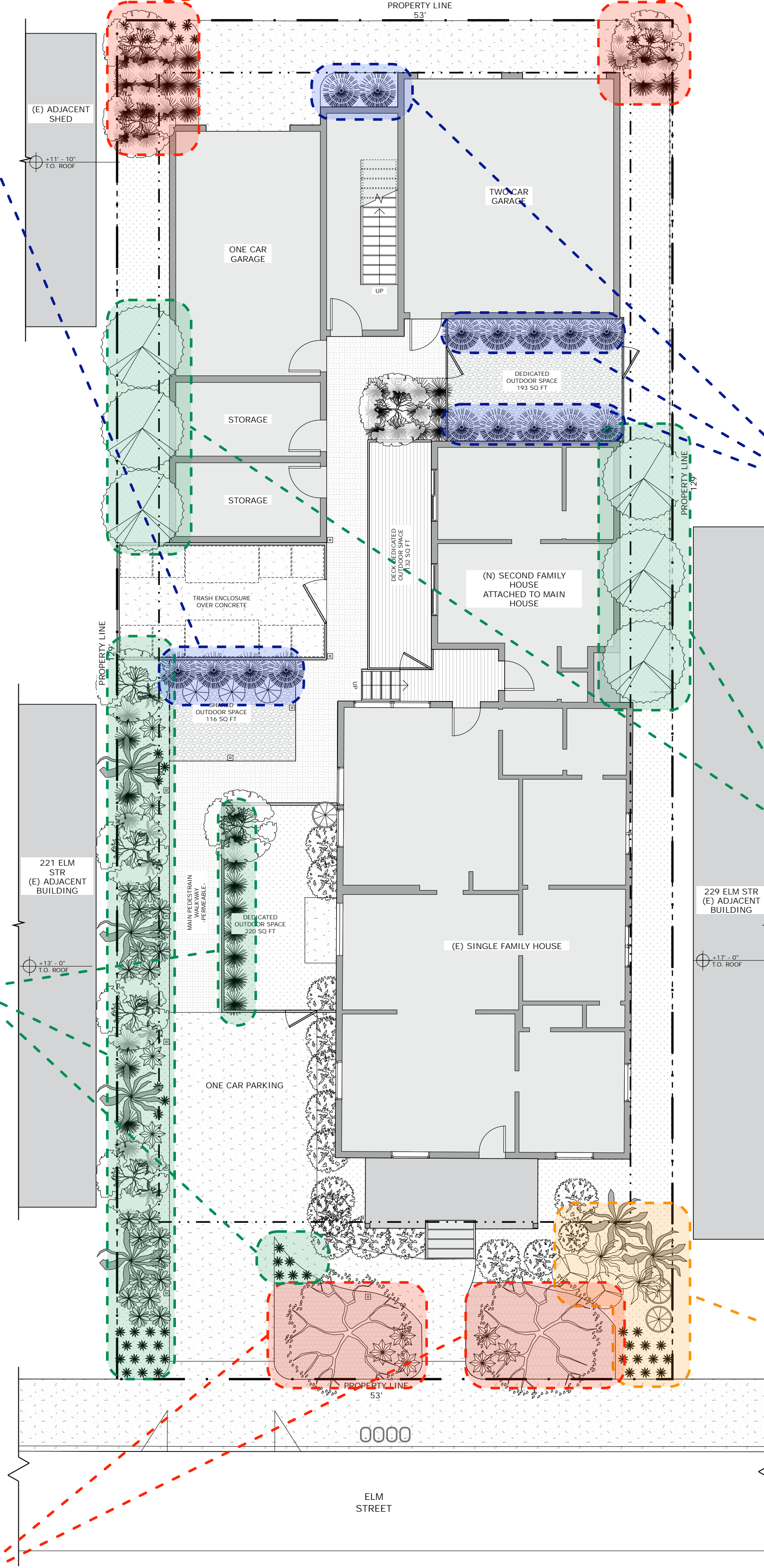
A COLORFUL PLANT COMBINATION WILL DELINEATE THE SIDE YARD & ADD PRIVACY



TWO OLIVE TREES WILL CREATE A WELCOMING APPROACH TO THE PROPERTY & BEAUTIFY ELM STREET

THE SILVER CARPET WILL KEEP THE SPACE OPEN & VISIBLE FROM THE STREET

THE SMALL AGAVE COMBINATION WILL BREAK THE HOMOGENEITY OF THE SILVER CARPET & FLANK THE MAIN PATHWAY



1 PLANTING IMAGES & NOTES  
SCALE: 1/8" = 1'-0"



CAPE MYRTLES FLANKING THE DRIVEWAY TO ADD SEASONAL INTEREST AND AN ANCHOR TO THE GARDENS. THE USE OF CAPE MYRTLES THROUGHOUT THE GARDEN WILL CREATE A CONNECTION BETWEEN THE DIFFERENT GARDEN AREAS

EVERGREEN MAT RUSH TO ADD MOVEMENT

EVERGREEN ORANGE NEW ZEALAND IRIS WILL ADD AN ALL-YEAR-ROUND POP OF COLOR



CAPE RUSH WILL SOFTEN THE WALLS FOR THE DEDICATED OUTDOOR SPACE



THE CALIFORNIA PRIVETS WILL MAKE THE NEW BUILDINGS LESS VISIBLE FOR THE NEIGHBORING PROPERTIES



A COLORFUL PLANT COMBINATION WILL CREATE AN END TO THE FRONT YARD THAT ADDS SEASONAL & ALL-YEAR-ROUND INTEREST

