

CONSTRUCTION TYPE: (E) VB - (N) VB **OCCUPANCY GROUP** (E) R-3 - (N) R-3 AH, BASE FLOOR ELEVATION 31' **FEMA FLOOD ZONE:**

ACCESSORY DWELLING UNIT DEVELOPMENT STANDARDS:

962 SQ FT 1000 SQ FT 21'-4" MAX HEIGHT 28'-0"MAX HEIGHT 5'-0" INTERIOR SIDE SETBACK 4'-0" INTERIOR SIDE SETBACK

5'-0" REAR SETBACK (FROM ALLEY WAY) 5'-0" REAR SETBACK (FROM ALLEY WAY)

PROJECT DESCRIPTION

JUAN ORTEGA 225 ELM ST WATSONVILLE CA 95076 TEL: 831.722.2606 EMAIL: arthurortega@msn.com

ARCHITECT: **CARRIE SHORES DILLER** LARSON SHORES ARCHITECTURE +INTERIORS **1940 UNION STREET #22**

OAKLAND, CA 94607 TEL: 510.444.9788; CELL: 510.725.9788

EMAIL: carrie@inspiredadus.com **ANTHONY B. SCHMID**

MCNEIL ENGINEERING 8610 SANDY PARKWAY, SUITE 200

STRUCTURAL ENGINEER:

SANDY, UT 84070 EMAIL: ANTHONY@MCNEILENG.COM TITLE 24 CONSULTANT: **ROY ASI**

TEL: 707.827.0233 x403 EMAIL: roy@deltatenergyconsulting.com

CIVIL ENGINEER: AUSTIN PAYNE UPRIGHT ENGINEERING TEL: 925-275-5304

PROJECT TEAM

COMPUTER

DOUGLAS FIR

CUBIC

DOUBLE

DIAMETER

DISPOSAL

DOWN

ABBREVIATIONS

DIMENSION

DISTRIBUTION

DIVIDED OR DIVISION

ALUM

ARCH

ASPH

AWG

BLDG

BLKG

CAR

CEC

CLO

CLG

CMU

C.O.

COAX

COL

COMM

CONC

CON

CONST

CONT

CPTR

CONTR

APPROX

EMAIL: info@uprightengineeringinc.com

DELTA T ENERGY CONSULTING

FOR TAX PURPOSES ONLY CITY OF WATSONVILLE Tax Area Code 2-072 2-078 Assessor's Map No. 17-20 City of Watsonville County of Santa Cruz, Calif.

ASSESSOR'S MAP NOT TO SCALE

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES. AND THE **CODES LISTED BELOW:**

2022 CALIFORNIA CODE

LANDSCAPE:

2022 CALIFORNIA BUILDING CODE

1 of 5 COVER SHEET

4 of 5 UTILITY PLAN

5 of 5 DETAILS

3 of 5 DRAINAGE PLAN

2 of 5 GRADING & EROSION CONTROL PLAN

L. 1 EXISTING AND PROPOSED SITE PLANS

L. 2 PROPOSED PLANTING PLAN

L. 4 PLANTING IMAGES & NOTES

L. 3 PROPOSED IRRIGATION PLAN

2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE

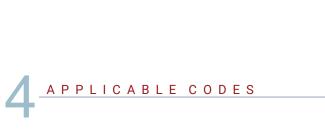
2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA EXISTING BUILDING CODE

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA FIRE CODE

CALGREEN RESIDENTIAL CHECKLIST, SEE A0.7 & A0.8

PROJECT NORTH

VICINITY MAP NOT TO SCALE



AND	DR	DOOR	INCL
ANGLE, LESS THAN	DSP	DOWNSPOUT	INSU
ANGLE, GREATER THAN	DW	DISHWASHER	INT
AT	DWG	DRAWING	JST
PER	DWR	DRAWER	JT
POUND OR NUMBER	EA	EACH	KD
ANCHOR BOLT	EB	EXPANSION BOLT	LAV
ABOVE	EF	EACH FACE	LB
AIR CONDITIONING	EJ	EXPANSION JOINT	LH
AREA DRAIN	ELECT	ELECTRIC	LP
ADJUSTABLE	ELEV	ELEVATION	LT
ABOVE FINISHED FLOOR	EN	EDGE NAIL	MAX
AMERICAN INSTITUTE OF ARCHITECTS	ENGR	ENGINEER	MB
ALTERNATE	EQ	EQUAL	MED
ALUMINUM	ES	EACH SIDE	MEM
APPROXIMATELY	EW	EACH WAY	MEZZ
ARCHITECTURAL	(E)	EXISTING	MFR
ASPHALT	EXP	EXPANSION	MIN
AMERICAN WIRE GAGE	EXT	EXTERIOR	MISC
BOARD	FB	FLAT BAR	MO
BETWEEN	FD	FLOOR DRAIN	MSRY
BUILDING	FDN	FOUNDATION	MTD
BLOCKING	FIN	FINISH	MTL
BEAM	FJ	FLOOR JOIST	(N)
BOTTOM OF FOOTING	FL. FLR	FLOOR	NIC
BOTTOM	FOC	FACE OF CONCRETE	NOM
BUILT-UP ROOF	FOF	FACE OF FINISH	NTS
CENTERLINE	FOS	FACE OF STUD	0
CABINET	FP	FIREPLACE OR FULL PENETRATION	0/
COLD AIR RETURN	FR	FLOOR REGISTER	OA
CATCH BASIN	FS	FAR SIDE	oc
CEMENT COATED	FT	FOOT OR FEET	OCE
CALIFORNIA ENERGY COMMISSION	FTG	FOOTING	OD
CASTIRON	FURR	FURRING	OF
CEILING JOIST	FUT	FUTURE	OFCI
CLOSET	G	GAS	
CEILING	GA	GAUGE	OH
CONCRETE MASONRY UNIT	GALV	GALVANIZED	OPPH
CLEANOUT	GB	GRADE BEAM	OPNO
COAXIAL CABLE	GEN	GENERAL	OVH
COLUMN	GFI	GROUND FAULT INTERRUPTOR	PL
COMMUNICATION	GI	GALVANIZED IRON	PLAN
CONCRETE	GL	GLAZING OR GLASS	PLF
CONNECTION	GR	GRADE	PLY
CONSTRUCTION	GSM	GALVANIZED SHEET METAL	PR
CONTINUOUS	GYP	GYPSUM	PRCS
CONTRACTOR	HB	HOSE BIBB	PSF

HOLLOW CORE

HORIZONTAL

HEADER

HEIGHT

HEATER

HOT WATER

HOT WATER HEATER

INSIDE DIAMETER

INSIDE FACE

HORIZ

HOT DIP GALVANIZED

INCLUDE INSULATION JOIST KILN-DRIED LAVATORY SCHED POUND LEFT HAND SECT LOW POINT SED LIGHT MAXIMUM **MACHINE BOLT** MEDIUM SLD MEMBRANE MEZZANINE SMD **MANUFACTURER** SPD MINIMUM SPEC MISCELLANEOUS SPKR MASONRY OPENING SQ MASONRY MOUNTED METAL SSD NFW STAGG'D NOT IN CONTRACT NOMINAL STL NOT TO SCALE STRL DIAMETER SUSP OVER OVERALL ON CENTER ON CENTER EACH WAY **OUTSIDE DIAMETER OUTSIDE FACE** OWNER FURNISH, TOB CONTRACTOR INSTALL TOC **OVERHANG** OPPOSITE HAND TOP OPENING TOS OVERHEAD TW, TOW PLASTIC LAMINATE POUNDS PER LINEAL FOOT UON PLYWOOD **PRECAST** POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED WITH **PRESERVATIVE** ROOF DRAIN WDW REINE REINFORCEMENT REQ REQUIRED **RESIL** RESILIENT REV REVISION OR REVISED RIGHT HAND **ROOF JOIST** ROOM

RING SHANK REDWOOD RAIN WATER LEADER SEE ARCHITECTURAL DRAWINGS SOLID CORE SCHEDULE **SMOKE DETECTOR** SECTION SEE ELECTRICAL DRAWINGS SEE LANDSCAPE DRAWINGS SHEET METAL SEE MECHANICAL DRAWINGS SEE PLUMBING DRAWINGS SPECIFICATION SPEAKER SQUARE STAINLESS STEEL OR SANITARY **SEWER** SEE STRUCTURAL DRAWINGS STAGGERED STANDARD STEEL STRUCTURAL SUSPEND (ED) SYMMETRICAL **TOP & BOTTOM** TOP OF CURB **TONGUE & GROOVE TEMPERED** THICK **TOP OF BEAM TOP OF CONCRETE TOP OF FOOTING** TOP OF PLATE TOP OF STEEL **TOILET PAPER HOLDER TOP OF WALL TYPICAL UNLESS OTHERWISE NOTED** VERTICAL **VERT. GRAIN DOUG. FIR** (10 RING/IN. MIN.) VERIFY IN FIELD **WATER CLOSET** WOOD

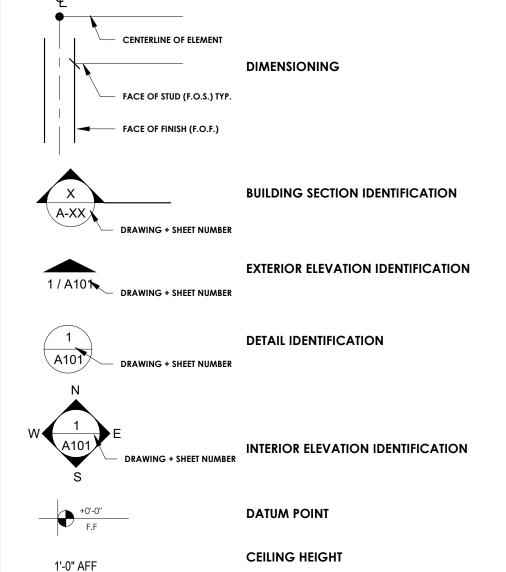
WINDOW

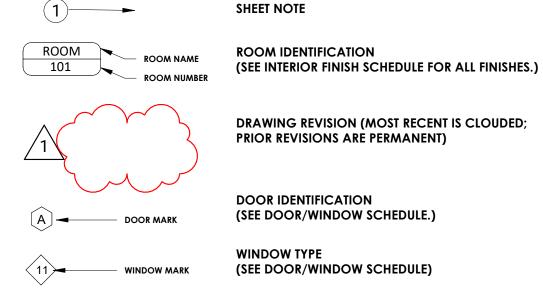
WATERPROOF

WATERPROOFING

WALL REGISTER

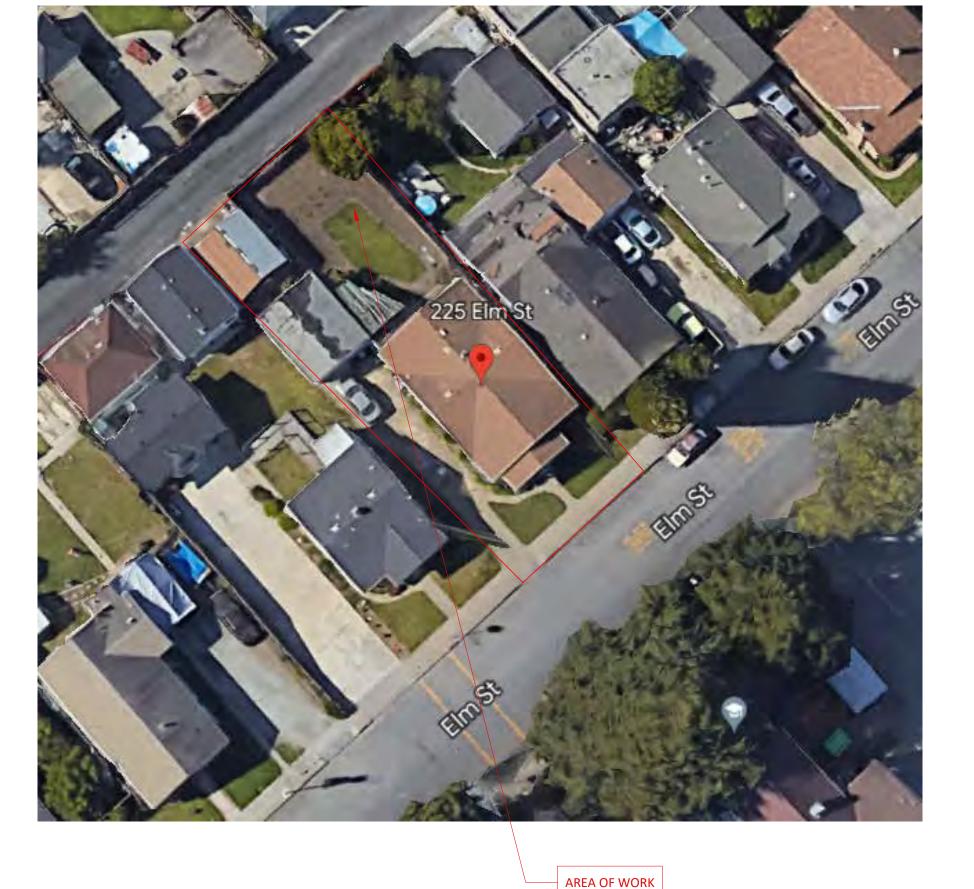
ROUGH OPENING OR ROLL OUT





WALL/PARTITION TYPE (SEE WALL DETAILS) APPLIANCES (SEE APPLIANCE SCHEDULE)





NOT TO SCALE



VERIFY LOCAL CODE AMENDMENTS ADOPTED BY AHJ RELATED TO ADU REQUIREMENTS

ALL EXISTING DIMENSIONS ARE BASED ON SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS: <u>DO NOT SCALE.</u>

ADU SHALL NOT BE PLACED ON TOP OF AN EXISTING EASEMENT.

SITE PLAN LAYOUT AND FIRE SEPARATION DISTANCE ASSUME ADU IS NOT EQUIPPED WITH A FIRE SPRINKLER SYSTEM.

FLOOR PLAN DIMENSIONS SHOWN ARE FACE OF FINISH AT NEW CONSTRUCTION. DIMENSIONS NOTED AS "CLEAR" ARE TO BE PRECISELY MAINTAINED.

BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.

BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING SITE CONDITIONS AND DETERMINE THE EXTENT OF THE EXISTING FINISHES, SPECIALTIES, AND THER ITEMS WHICH MUST BE REMOVED AND INSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. COORDINATE AND MAKE THIS INSPECTION WITH THE OWNER.

THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH WORK IS ALSO PART OF THIS CONTRACT.

DO NOT DRILL OR CUT JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.

WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, APPROPRIATE TO THE NOTE, SHALL MATCH TO THE SATISFACTION OF THE ARCHITECT.

13. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

"TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.

"SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT

FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

BLOCKING TO BE PROVIDED BEHIND ALL WALL-MOUNTED ACCESSORIES.

AN ENGINEERING PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. THE ENGINEERING PERMIT CAN BE ISSUED AFTER THE BUILDING PERMIT IS APPROVED AND ISSUED. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY.

INSPIRED ADUS ELEVATING BACKYARD LIVING

INSPIRED ADUS **1940 UNION STREET #22**

OAKLAND, CA 94607 PHONE/FAX: 510-444-9788 INSPIREDADUS.COM

PROJECT ARCHITECT CARRIE SHORES DILLER

> NEW DETACHED ACCESSORY D W E L L I N G U N I T

IORES DILLER

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL

BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS

2 03/28/2024 Planning Plan Check Comments I

* You may use these plans for the construction of one and only one house as depicted by the plans. This license is non-transferable.

the modified design and plans.

* You may change or modify the plans. By changing or modifying the plans, you relieve Inspired ADUs and CARRIE SHORES-DILLER of all liability associated with

* Building codes are subject to various changes and interpretations. The purchaser is responsible for compliance with all local and national building codes, ordinances, site conditions, subdivision restrictions, and structural design. A licensed engineer should review your plans before you apply for a building permit and before

* Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, nailing, gluing, caulking, insulating, flashing, roofing, weatherproofing and many other small items and details not necessarily indicated on the plans, and over which Inspired ADUs and CARRIE SHORES-DILLER has no control or responsibility. Inspired ADUs and CARRIE SHORES-DILLER shall not be held liable for any errors, omissions, or

contractors for the sole purpose of the construction of your house. You agree to retrieve all loaned copies of the plans after construction is completed. Mortgage

companies and building officials may retain plans for their records. * CARRIE SHORES-DILLER retains copyright ownership of the original plans and

use of the plans does not transfer any right, title, or interest in the plans.

* Unauthorized use or copying of the plans, or the design they depict, infringes upon rights under the copyright act. Copyright infringement carries penalties of up to

deficiencies in any form by any party whatsoever.

PROJECT INFORMATION

GENERAL AND ACCESSIBILITY NOTES

Attachment 1: Page 1 of 22

208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

ocation shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

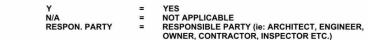
protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

overcurrent protective device.

accordance with the California Electrical Code.

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)



CHAPTER 3 installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. .106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **GREEN BUILDING** 4.304 OUTDOOR WATER USE When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest **SECTION 301 GENERAL** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. space shall count as at least one standard automobile parking space only for the purpose of complying with any **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 4.106.4.2.5 Electric Vehicle Ready Space Signage. the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code, Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are than 20 sleeping units or guest rooms. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to available at: https://www.water.ca.gov/ The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE building's conditioned area, volume, or size. The requirements shall apply only to and/or within the When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.106.4.3 for application 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in EVs at all required EV spaces at a minimum of 40 amperes. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. DIVISION 4.2 ENERGY EFFICIENCY **4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate percent of the non-hazardous construction and demolition waste in accordance with either Section 1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy other important enactment dates. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable Commission will continue to adopt mandatory standards spaces, the number of EV capable spaces required may be reduced by a number equal to the number of 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 1. Excavated soil and land-clearing debris. individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential 2. Alternate waste reduction methods developed by working with local agencies if diversion or 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, high-rise buildings, no banner will be used. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or **SECTION 302 MIXED OCCUPANCY BUILDINGS** Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving I.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan EV chargers are installed for use. plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as **302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil necessary and shall be available during construction for examination by the enforcing agency. 2.EV Readv. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power shall comply with the specific green building measures applicable to each specific occupancy. Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. comply with Chapter 4 and Appendix A4, as applicable. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or Exception: Areas of parking facilities served by parking lifts. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Specification for Tank-type Toilets. 3. Identify diversion facilities where the construction and demolition waste material collected will be 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Chapter 4 and Appendix A4, as applicable. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste DIVISION 4.1 PLANNING AND DESIGN The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to of two reduced flushes and one full flush. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated **ABBREVIATION DEFINITIONS:** 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. by weight or volume, but not by both. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission **4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical Division of the State Architect, Structural Safety 4.303.1.3 Showerheads. enforcing agency, which can provide verifiable documentation that the percentage of construction and system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all OSHPD Office of Statewide Health Planning and Development demolition waste material diverted from the landfill complies with Section 4.408.1. EVs at all required EV spaces at a minimum of 40 amperes. Low Rise 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 High Rise gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations WaterSense Specification for Showerheads. materials will be diverted by a waste management company. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. **4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one .408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of CHAPTER 4 showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in **RESIDENTIAL MANDATORY MEASURES** reduced by a number equal to the number of EV chargers installed over the five (5) percent required. allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds SECTION 4.102 DEFINITIONS a. Construction documents shall show locations of future EV spaces. 4.303.1.4 Faucets. per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 The following terms are defined in Chapter 2 (and are included here for reference) b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar compliance with Section 4.408.2, items 1 through 5. Section 4.408.3 or Section 4.408.4... not be less than 0.8 gallons per minute at 20 psi. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory **NATTLES.** Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. 1. Sample forms found in "A Guide to the California Green Building Standards Code Exception: Areas of parking facilities served by parking lifts. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in **4.303.1.4.3 Metering Faucets.** Metering faucets when installed in residential buildings shall not deliver documenting compliance with this section. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. more than 0.2 gallons per cycle. 2. Mixed construction and demolition debris (C & D) processors can be located at the California 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking Department of Resources Recycling and Recovery (CalRecycle). and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, area and shall be available for use by all residents or guests. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. 4.410 BUILDING MAINTENANCE AND OPERATION per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required. to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less an automatic load management system (ALMS) may be used to reduce the maximum required electrical disc, web-based reference or other media acceptable to the enforcing agency which includes all of the than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers following shall be placed in the building: or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) Note: Where complying faucets are unavailable, aerators or other means may be used to achieve during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall 1. Directions to the owner or occupant that the manual shall remain with the building throughout the property, prevent erosion and retain soil runoff on the site. have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical life cycle of the structure. capacity to the required EV capable spaces. 4.303.1.4.5 Pre-rinse spray valves. 2. Operation and maintenance instructions for the following: Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance a. Equipment and appliances, including water-saving devices and systems, HVAC systems, 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 photovoltaic systems, electric vehicle chargers, water-heating systems and other major Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 disposal method, water shall be filtered by use of a barrier system, wattle or other method approved (d)(7) and shall be equipped with an integral automatic shutoff. b. Roof and yard drainage, including gutters and downspouts. 3. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels FOR REFERENCE ONLY: The following table and code section have been reprinted from the California c. Space conditioning systems, including condensers and air filters. shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section Landscape irrigation systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or 1605.3 (h)(4)(A). e. Water reuse systems. are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) EVCS shall comply with at least one of the following options: TABLE H-2 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent **4.106.3 GRADING AND PAVING.** Construction plans shall indicate how the site grading or drainage system will 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of and what methods an occupant may use to maintain the relative humidity level in that range. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY 6. Information about water-conserving landscape and irrigation design and controllers which conserve water include, but are not limited to, the following: VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 2. The charging space shall be located on an accessible route, as defined in the California Building Code, 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 2. Water collection and disposal systems PRODUCT CLASS 8. Information on required routine maintenance measures, including, but not limited to, caulking, MAXIMUM FLOW RATE (gpm) Exception: Electric vehicle charging stations designed and constructed in compliance with the California 3. French drains [spray force in ounce force (ozf)] painting, grading around the building, etc. Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section Water retention gardens 9. Information about state solar energy and incentive programs available 5. Other water measures which keep surface water away from buildings and aid in groundwater 10. A copy of all special inspections verifications required by the enforcing agency or this code. Product Class 1 (≤ 5.0 ozf) 1.00 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. space around residential structures. **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: Product Class 2 (> 5.0 ozf and \leq 8.0 ozf) 1.20 12. Information and/or drawings identifying the location of grab bar reinforcements. Product Class 3 (> 8.0 ozf) **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 1. The minimum length of each EV space shall be 18 feet (5486 mm). **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial ordinance, if more restrictive 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional **1.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in local utility infrastructure design requirements, directly related to the implementation of Section accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.106.4, may adversely impact the construction cost of the project. 4.106.4.2.2.1.3 Accessible EV spaces 1701.1 of the California Plumbing Code. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional **DIVISION 4.5 ENVIRONMENTAL QUALITY** comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready parking facilities. spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section **SECTION 4.501 GENERAL** THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall **FIXTURE TYPE** FLOW RATE **SECTION 4.502 DEFINITIONS** originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or 5.102.1 DEFINITIONS concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the

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PROJECT ARCHITECT CARRIE SHORES DILLER

CARRIE SHORES DILLER C-29312 RENEWAL

NEW DETACHED ACCESSORY D W E L L I N G U N I T

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL

BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS

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CALGREEN RESIDENTIAL CHECKLIST

raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall

have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is

installed in close proximity to the location or the proposed location of the EV space, at the time of original

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

construction in accordance with the California Electrical Code.

concealed areas and spaces shall be installed at the time of original construction.

SHOWER HEADS (RESIDENTIAL)

LAVATORY FAUCETS (RESIDENTIAL)

USE AREAS

KITCHEN FAUCETS

METERING FAUCETS

WATER CLOSET

LAVATORY FAUCETS IN COMMON & PUBLIC

1.8 GMP @ 80 PSI

MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20

0.5 GPM @ 60 PSI

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

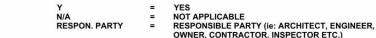
medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood,

cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)





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Table 4.504.3 shall apply.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed

woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the

Manufacturer's product specification. 2. Field verification of on-site product containers.

(Less Water and Less Exempt Compounds in Grams p	er Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

Less Water and Less Exempt Compounds in Gr	ams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
IARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2,3

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

AVAILABLE FROM THE AIR RESOURCES BOARD.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS

	TABLE 4.504.5 - FORMALDEHYDE L	IMITS ₁		
	MAXIMUM FORMALDEHYDE EMISSIONS IN PAR	RTS PER MILLION		
	PRODUCT	CURRENT LIMIT		
	HARDWOOD PLYWOOD VENEER CORE	0.05		
	HARDWOOD PLYWOOD COMPOSITE CORE	0.05		
	PARTICLE BOARD	0.09		
	MEDIUM DENSITY FIBERBOARD	0.11		
	THIN MEDIUM DENSITY FIBERBOARD2 1. VALUES IN THIS TABLE ARE DERIVED FROM	0.13		
	BY THE CALIF. AIR RESOURCES BOARD, AIR T MEASURE FOR COMPOSITE WOOD AS TESTEI WITH ASTM E 1333. FOR ADDITIONAL INFORM CODE OF REGULATIONS, TITLE 17, SECTIONS	TOXICS CONTROL D IN ACCORDANCE MATION, SEE CALIF.		
	93120.12. 2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF 5/16" (8 MM).	A MAXIMUM		
f C	DIVISION 4.5 ENVIRONMENTAL QUA 1.504.3 CARPET SYSTEMS. All carpet installed in the building interior Department of Public Health, "Standard Method for the Testing and Evrom Indoor Sources Using Environmental Chambers," Version 1.2, Ja California Specification 01350) See California Department of Public Health's website for certification p	or shall meet the requirement of valuation of Volatile Organic anuary 2017 (Emission testing conference and testing labs.	nts of the California Chemical Emissions	
r	nttps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Page	es/VOC.aspx.		
	4.504.3.1 Carpet cushion. All carpet cushion installed in the bu California Department of Public Health, "Standard Method for th Chemical Emissions from Indoor Sources Using Environmental (Emission testing method for California Specification 01350)	ne Testing and Evaluation of	f Volatile Organic	
	See California Department of Public Health's website for certification		labs.	
	https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IA0	Q/Pages/VOC.aspx.		
	4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the	requirements of Table 4.504	4.1.	
r	I.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring esilient flooring shall meet the requirements of the California Departm Testing and Evaluation of Volatile Organic Chemical Emissions from Inversion 1.2, January 2017 (Emission testing method for California Spe	nent of Public Health, "Stand Indoor Sources Using Enviro	dard Method for the	
	See California Department of Public Health's website for certification p	*		
	https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pag	ues/VOC.aspx.		
f b	1.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, partic composite wood products used on the interior or exterior of the building ormaldehyde as specified in ARB's Air Toxics Control Measure for Co by or before the dates specified in those sections, as shown in Table 4	gs shall meet the requirement omposite Wood (17 CCR 93	ents for	
	4.504.5.1 Documentation. Verification of compliance with this by the enforcing agency. Documentation shall include at least or		s requested	
	 Product certifications and specifications. Chain of custody certifications. Product labeled and invoiced as meeting the Compos CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 Wood Association, the Australian AS/NZS 2269, Euro 0121, CSA 0151, CSA 0153 and CSA 0325 standards Other methods acceptable to the enforcing agency. 	or PS-2 standards of the Enopean 636 3S standards, ar	ngineered	
	1.505 INTERIOR MOISTURE CONTROL 1.505.1 General. Buildings shall meet or exceed the provisions of the	California Building Standa	rds Code.	
	I.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundation California Building Code, Chapter 19, or concrete slab-on-ground floor California Residential Code, Chapter 5, shall also comply with this sec	rs required to have a vapor		
	4.505.2.1 Capillary break. A capillary break shall be installed in following:	n compliance with at least c	one of the	
	 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) of a vapor barrier in direct contact with concrete and a construct shrinkage, and curling, shall be used. For additional in ACI 302.2R-06. Other equivalent methods approved by the enforcing 3. A slab design specified by a licensed design profession. 	concrete mix design, which winformation, see American (agency.	will address bleeding,	
S	I.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building thall not be installed. Wall and floor framing shall not be enclosed whe	g materials with visible signater the framing members exc		
	Moisture content shall be verified in compliance with Moisture content shall be determined with either a probe-typ moisture verification methods may be approved by the enformation.	h the following: be or contact-type moisture	meter.Equivalent	
	found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) of each piece verified. 3. At least three random moisture readings shall be performed	on wall and floor framing w	vith documentation	
6	acceptable to the enforcing agency provided at the time of a negligible products which are visibly wet or have a high moisture contended in wall or floor cavities. Wet-applied insulation products shared	ent shall be replaced or allo	wed to dry prior to	
	ecommendations prior to enclosure. 1.506 INDOOR AIR QUALITY AND EXHAUST 1.506.1 Bathroom exhaust fans. Each bathroom shall be mechanica	ally ventilated and shall cor	noly with the	
	ollowing: 1. Fans shall be ENERGY STAR compliant and be ducted to te 2. Unless functioning as a component of a whole house ventila	erminate outside the building	g.	
	humidity control.			
	 a. Humidity controls shall be capable of adjustment betweequal to 50% to a maximum of 80%. A humidity contradjustment. b. A humidity control may be a separate component to the integral (i.e., built-in) 	rol may utilize manual or au	utomatic means of	
	Notes:			
	 For the purposes of this section, a bathroom is a room tub/shower combination. Lighting integral to bathroom exhaust fans shall comp 			

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

Exception: Use of alternate design temperatures necessary to ensure the system functions are

4.507 ENVIRONMENTAL COMFORT

acceptable.

sized, designed and have their equipment selected using the following methods:

ASHRAE handbooks or other equivalent design software or methods.

Equipment Selection), or other equivalent design software or methods.

CHAPTER 7	
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS	
702 QUALIFICATIONS	

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher.
- 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the

- project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).
- [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

703 VERIFICATIONS

the appropriate section or identified applicable checklist.

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

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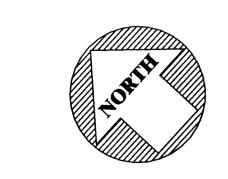
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CALGREEN RESIDENTIAL CHECKLIST

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIAB

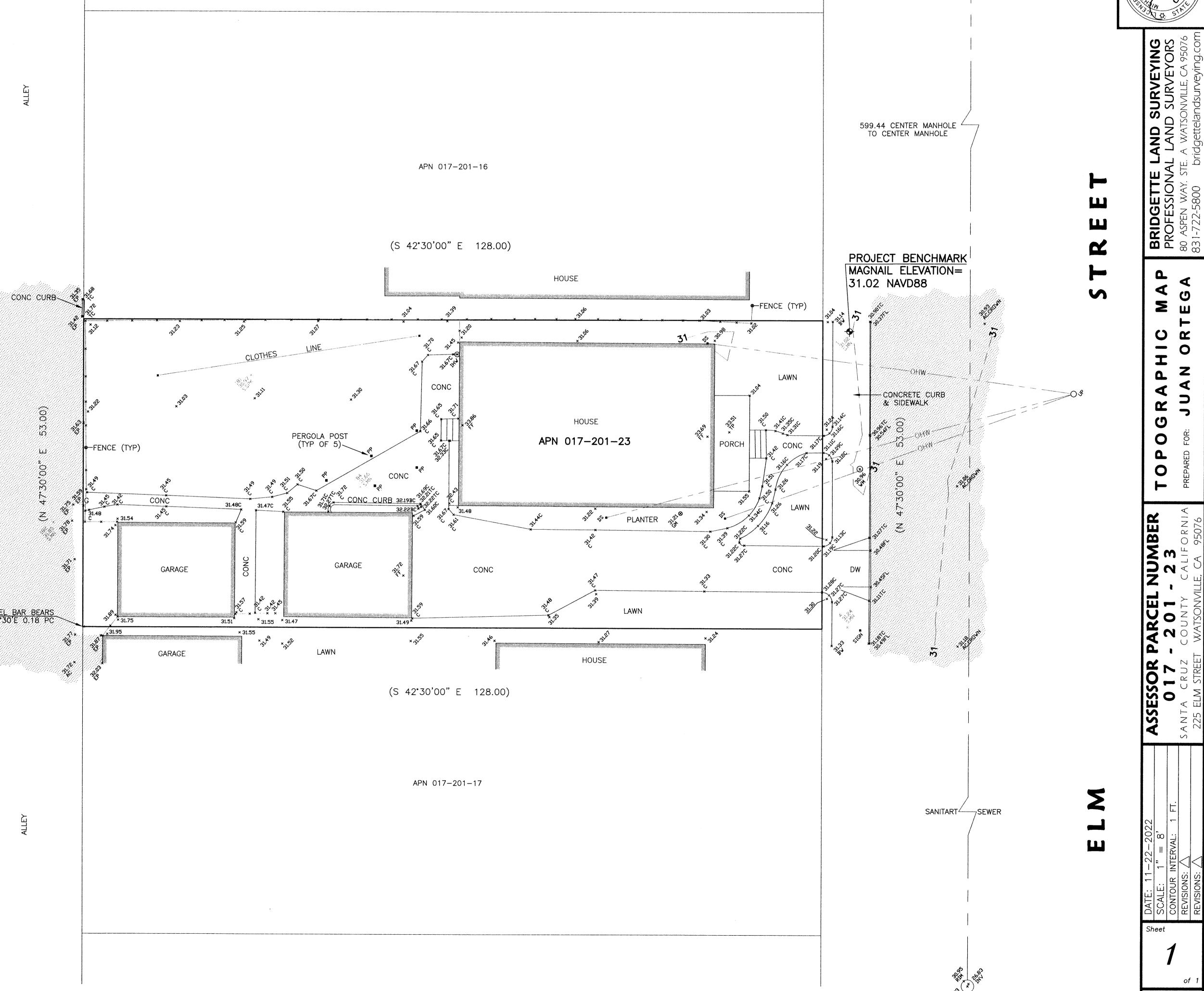
35th (*) 35th Notes 139' to FIRE HYDRANT 1. DISTANCES ARE IN FEET AND DECIMALS THEREOF. 2. BOUNDARY LINES SHOWN HEREON ARE COMPILED FROM THE COUNTY RECORDS. THE FOUR CORNER MONUMENTS WERE NOT FOUND. A COMPLETE BOUNDARY SURVEY TO SET THE MISSING MONUMENTS AND RECORD THE SURVEY AT THE COUNTY IS RECOMMENDED. 3. NOT ALL EASEMENTS OR RIGHT OF WAYS MAY BE SHOWN. A TITLE REPORT WAS NOT PROVIDED. 4. ALL DATA POINTS REPRESENT GROUND ELEVATIONS UNLESS OTHERWISE LABELLED. 5. BUILDING LINES SHOWN ARE TRIM LINES (FOUNDATION MAY 599.44 CENTER MANHOLE TO CENTER MANHOLE BE DIFFERENT) APN 017-201-16 **Base Flood Elevation:** (S 42°30'00" E 128.00) PROJECT BENCHMARK MAGNAIL ELEVATION= 33 FEET NAVD88 HOUSE 31.02 NAVD88 CONC CURB FENCE (TYP) Legend AC ASPHALTIC CONCRETE - CONCRETE CURB & SIDEWALK BACK OF CURB HOUSE BACK OF WALK PERGOLA POST (TYP OF 5) APN 017-201-23 C CONCRETE FENCE (TYP) CONC CONCRETE DS DROP SERVICE DW DRIVEWAY SIZ S PLANTER SIZE SIZE EP EDGE OF PAVEMENT FF FINISH FLOOR GARAGE FL FLOW LINE GM GAS METER IHW INSTANT HOT WATER (WALL MOUNT) × 31.55 × 31.47 INV INVERT PC PRELIMINARY CALCULATION GARAGE HOUSE SSMH SANITARY SEWER MANHOLE TC TOP OF CURB (S 42°30'00" E 128.00) TP TOP OF PORCH UP UTILITY POLE



WM WATER METER

. ASPHALTIC CONCRETE

Scale: 1'' = 8'Contour Interval: 1 FT.



22 - 51

SITE PLAN NOTES:

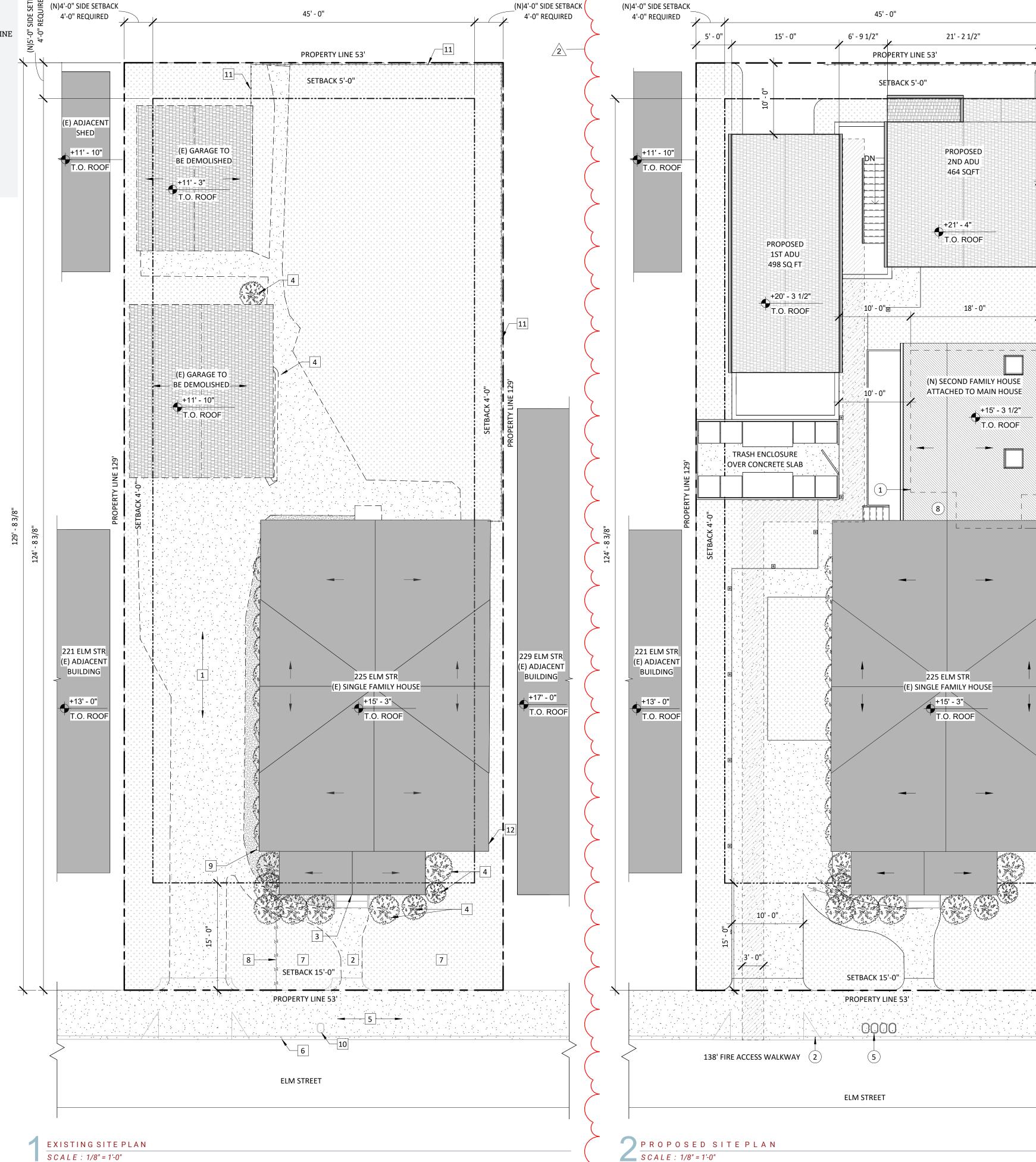
- 1. RAINWATER SHALL NOT BE PERMITTED TO FLOW INTO PUBLIC PROPERTY OR TO ADJOINING PROPERTIES. ALL ROOF DRAINS SHALL DISCHARGE AND DRAIN AWAY FROM THE BUILDING FOUNDATION TO AN UNPAVED AREA AT LEAST 10 FEET FROM ANY PROPERTY LINE WHEREVER PRACTICAL.
- 2. THE GROUND IMMEDIATELY ADJACENT TO THE ADU FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 6" (5% SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPE A MINIMUM OF 2% AWAY FROM BUILDING PER R401.1.
- 3. APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR NEW BUILDINGS IN SUCH A POSITION AS TO BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. THE ADDRESS IDENTIFICATION SIGNS SHALL BE ILLUMINATED DURING ALL HOURS OF DARKNESS TO FACILITATE EMERGENCY RESPONDERS IDENTIFY THE BUILDING IN AN EVENT OF EMERGENCY. LETTERS OR NUMBERS SHALL BE A MINIMUM 4 INCHES IN HEIGHT AND STROKE OF MINIMUM 0.5 INCH OF A CONTRASTING COLOR TO THE BACKGROUND ITSELF PER R319.1
- 4. ADDRESS ASSIGNMENT IS REQUIRED PRIOR TO FINAL INSPECTION OF THE BUILDING PERMIT
- 5. PRIOR TO FOUNDATION INSPECTION AND POURING OF CONCRETE, PROVIDE A LETTER PREPARED BY A CALIFORNIA LICENSED LAND SURVEYOR STATING THAT "... THE NEW STRUCTURE IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS"
- 6. ALL EXTERIOR LUMINAIRES TO BE HIGH EFFICACY AND MEET REQUIREMENTS OF CALIFORNIA ENERGY CODE 150.0(K)(3).
- 7. CONTRACTOR TO VERIFY THAT THE SANITARY SEWER SERVING THE ADU WILL HAVE A MINIMUM SLOPE OF 2% FROM THE LOWEST PART OF THE SYSTEM IN THE ADU TO THE POINT IT CONNECTS TO THE SEWER SYSTEM OF THE MAIN HOUSE. IF EXISTING SLOPE IS LESS THAN 2%, A PUMP MAY BE USED.
- 8. PROVIDE 1" PVC CONDUIT WITH PULL STRING IN SAME TRENCH AS

ELECTRICAL FOR FUTURE CABLE TV INSTALLATION.

OUTDOOR BOLLARD LIHGTING SHOULD BE WITH ZERO DEGREE TILT
AND/OR SHIELDING. ENSURE THE FOOTCANDLES DO NOT SPILL OVER
ACROSS THE PROPERTY LINES. ALL LIGHTING SHALL NOT EXCEED 2.0
FOOTCANDLE THROUGHOUT THE RESIDENTIAL DEVELOPMENT AND
SHALL NOT EXCEED 0.5 FOOTCANDLES AT ANY PROPERTY LINE

(E) BUILDING — — — TO BE DEMOLISHED (N) ADU -ss--ss- sanitary sewer PLANTING E—E—E— ELECTRICAL LINE CONCRETE PAVING OHE—OHE OVERHEAD ELECTRICAL LINE AC PAVING -w---w- WATER LINE 36" WIDE UNOBSTRUCTED ----- WOOD FENCE FIRE ACCESS WALKWAY DRAINAGE AREA ×-×-×-- CHAIN LINK FENCE ELECTRICAL METER ----- CLEANOUT OR PANEL FIRE HYDRANT COND. CONDENSER OUTDOOR BOLLARD LIGHTING

SITE PLAN LEGEND:



EXISTING SITE PLAN KEYNOTES: 1 (E) CONCRETE DRIVEWAY TO REMAIN

2 CONCRETE WALKWAY TO RMAIN

4 (E) PLANTING TO BE REMOVED

5 CONCRETE SIDEWALK

3 MAIN HOUSE ENTRY

7 NO MODE TO (E) I AN

6 STREET CURB

7 NO WORK TO (E) LANDSCAPE

8 4" SANITARY SEWER LATERAL

9 GAS METERS

10 WATER METER

11 WOOD FENCE

12 ELECTRICAL METER

PROPOSED SITE PLAN KEYNOTES:

(1) (N) ADDRESS LOCATION, SEE SITE PLAN NOTES #3 AND #4

2 REQUIRED 36" WIDE MINIMUM FIRE ACCESS WALKWAY TO REMAIN

FREE AND UNOBSTRUCTED AT ALL TIMES

(N) CONDENSER UNIT

(A) (N) SEWER CLEANOUT

(6) (N) ELECTRICAL METERS

(N) WATER METER

(7) (N) SEWER TO TIE INTO EXISTING SEWER LATERAL

8 MAIN ENTRANCE

INSPIRED ADUS

ELEVATING BACKYARD LIVING

CARRIE

SHORES DILLER

C-29312

(N)4'-0" SIDE SETBACK

4'-0" REQUIRED

NSPIRED ADUS

OAKLAND, CA 94607

INSPIREDADUS.COM

SUBMITTAL

BUILDING PERMIT SET / MAY 2023

03/28/2024 Planning Plan Check Comments I

S B M I T T A L H I S T O R Y & R E V I S I O N S

icted by the plans. This license is non-transferable.

Niciencies in any form by any party whatsoever.

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EXISTING AND PROPOSED SITE PLANS

se of the plans does not transfer any right, title, or interest in the plans.

229 ELM STR

(E) ADJACENT

BUILDING

T.O. ROOF

340 UNION STREET #22

PHONE/FAX: 510-444-9788

ROJECT ARCHITECT

RRIE SHORES DILLER

NEW DETACHED ACCESSORY

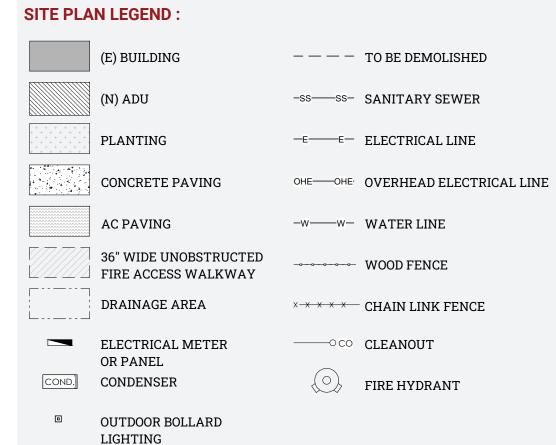
DWELLING UNIT

225 ELM ST, WATSONVILLE

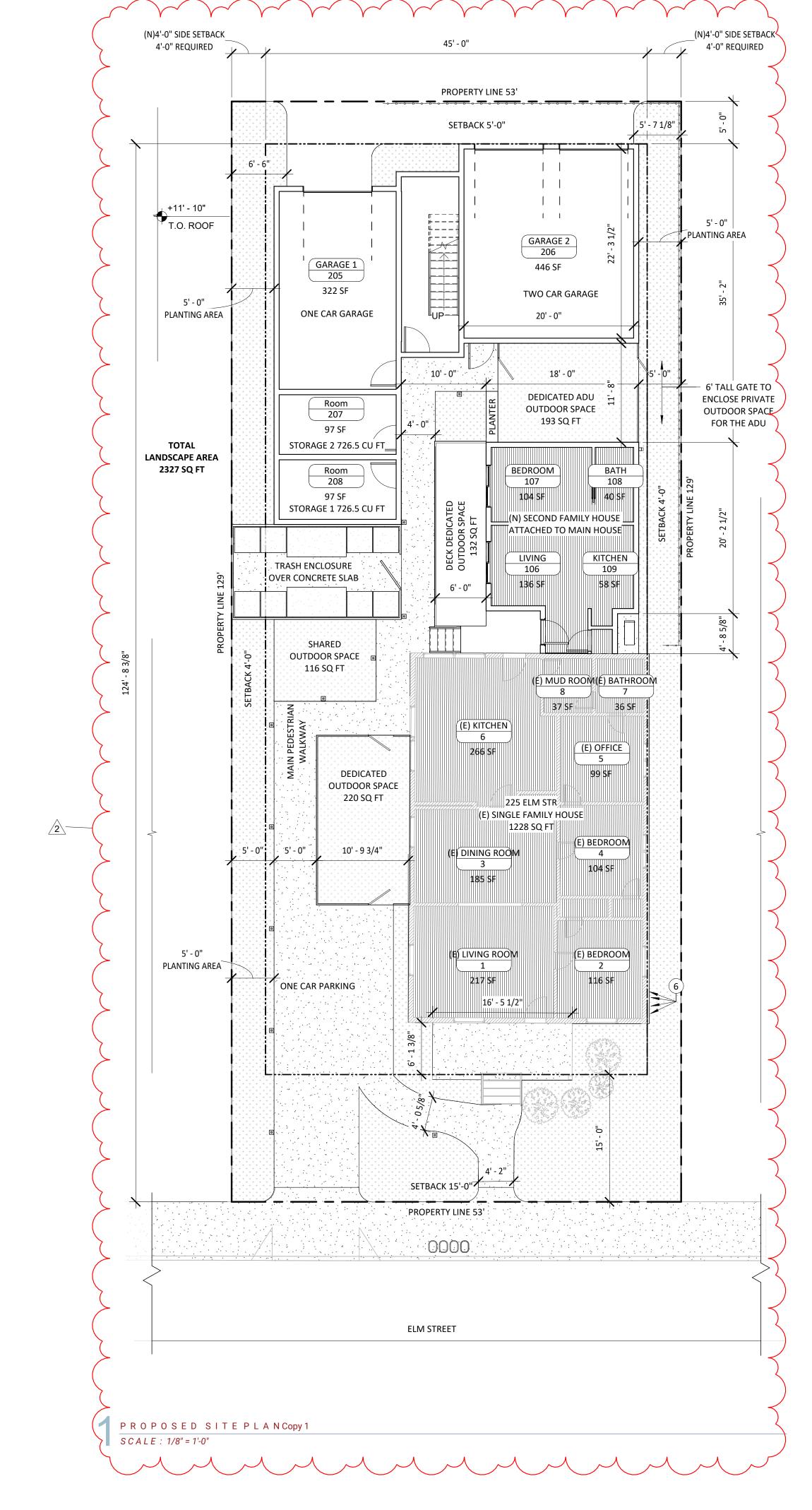
RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

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RM-3 DUPLEX DEVELOPMENT	STANDARDS:
REQUIRED	PROPOSED
4 FEET WALKWAY	PROVIDED
20% (1359 SQ FT) LANDSCAPED	2274 SQ FT LANDSCAPED
5 FEET PLANTING BETWEEN PARKING SPACES AND PROPERTY LINES	PROVIDED
DECK OR PATIO ADJOINING EACH UNIT	PROVIDED
STORAGE UNIT FOR EACH UNIT	PROVIDED
TWO PARKING SPACES FOR EACH UNIT	PROVIDED





INSPIRED ADUS **1940 UNION STREET #22**

OAKLAND, CA 94607 PHONE/FAX: 510-444-9788

INSPIREDADUS.COM PROJECT ARCHITECT

C-29312 CARRIE SHORES DILLER

CARRIE

SHORES DILLER

NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

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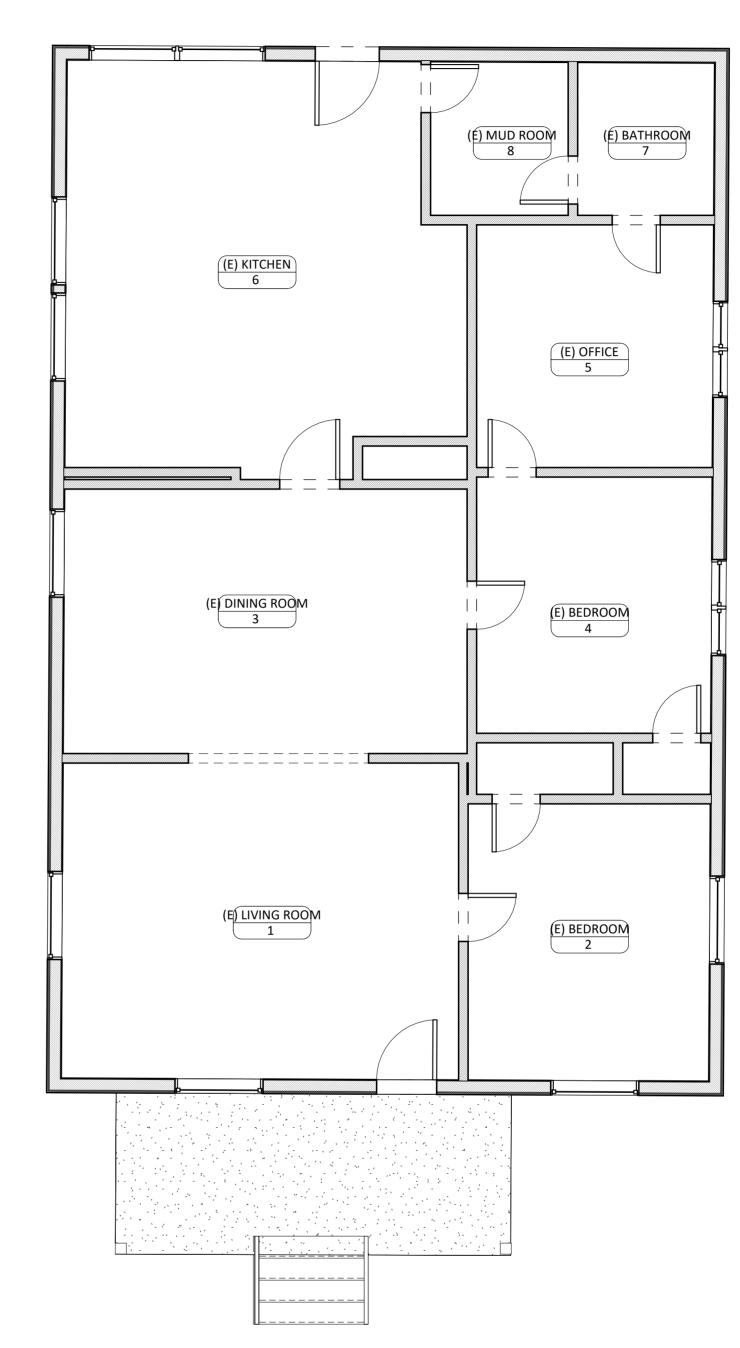
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PROPOSED PLANNING SITE PLAN





Attachment 1: Page 6 of 22



PROPOSED FLOR PLAN SCALE: 1/4" = 1'-0"



INSPIRED ADUS

OAKLAND, CA 94607

PHONE/FAX: 510-444-9788

INSPIREDADUS.COM

CARRIE SHORES DILLER



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EXISTING MAIN HOUSE FLOOR PLAN

Attachment 1: Page 7 of 22

FLOOR PLAN:

1. CONCRETE SLABS BELOW CONDITIONED SPACES SHALL BE SEPARATED FROM EARTH BY A MINIMUM 6-MIL VAPOR RETARDER, WITH EDGES LAPPED A MINIMUM OF 6".

PLAN LEGEND:

EXISTING WALL



ASPHALTIC SHINGLE ROOF



WALL TYPE TAG

ASSEMBLY WALL

RADIANT HEAT MAT

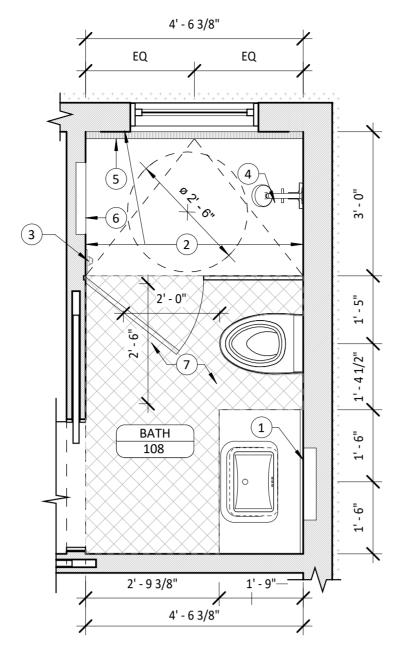


DOOR TAG



ENLARGED BATHROOM PLAN KEYNOTES:

- (1) MEDICINE CABINET
- 2 NON-ABSORBENT SURFACE AT SHOWER UP TO 72" MINIMUM PER CRC
- 3 SHOWER CONTROLS
- 4 SHOWER HEAD
- 5 LINEAR DRAIN
- 6 SHOWER NICHE
- 7 ELECTRIC HEAT MAT BELOW TILE FLOORING



ENLARGED BATHROOM PLAN SCALE: 1/2" = 1'-0"

SECOND RESIDENCE FIRST FLOOR PLAN

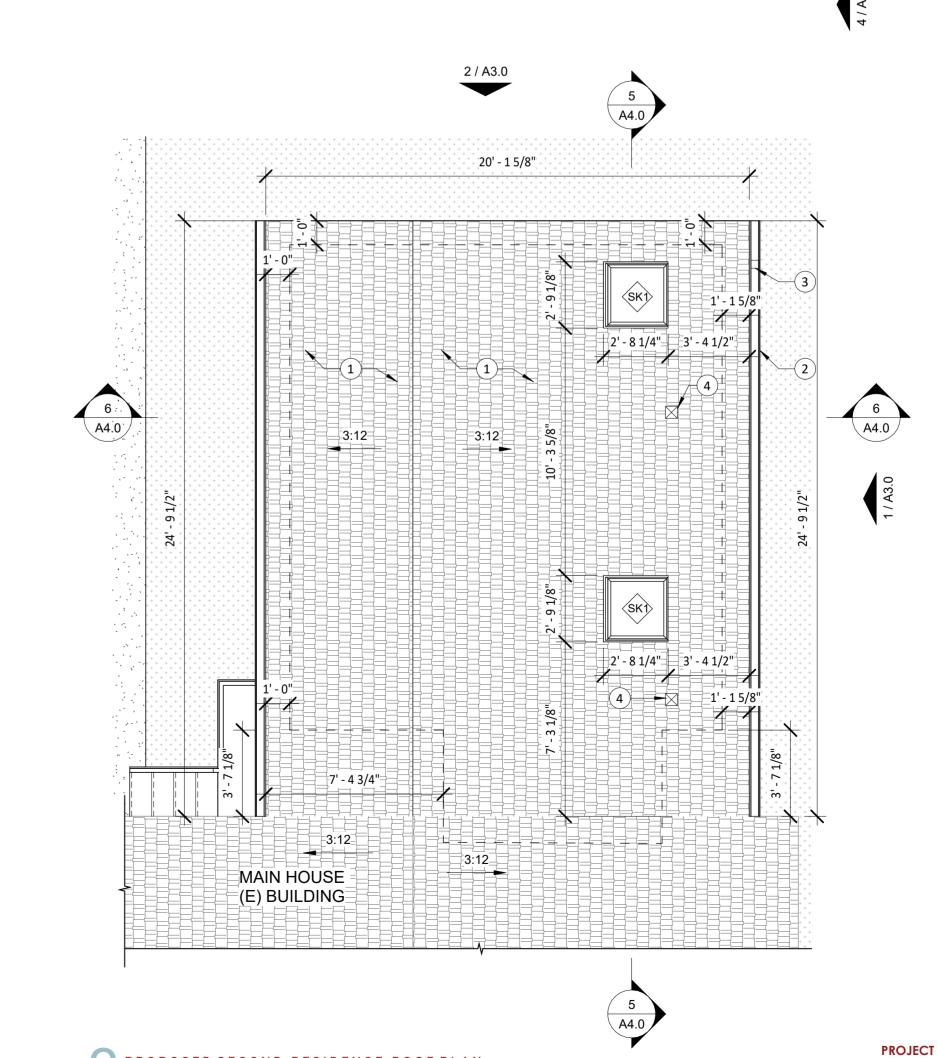
(1) EGRESS DOOR MIN. 32" CLEAR. 1/2" MAX THRESHOLD

- (N) ELECTRIC TANKLESS WATER HEATER
- (N) CONDENSER UNIT
- (A) (N) ELECTRICAL PANEL
- (5) MINI-SPLIT ABOVE
- (6) WOOD LANDING

SECOND RESIDENCE ROOF PLAN KEYNOTES:

- ASPHALT SHINGLE ROOF
- 2 4" GUTTER
- 3 DOWNSPOUT
- 4 EXTERIOR VENT TERMINATION

7' - 0" 4' - 6 3/8" 4' - 10 3/8" KITCHEN CLOSET MAIN HOUSE 110 (E) BUILDING



SCALE: 1/4" = 1'-0"

INSPIRED ADUS **1940 UNION STREET #22** OAKLAND, CA 94607 HORES DILLER PHONE/FAX: 510-444-9788

PROJECT ARCHITECT CARRIE SHORES DILLER

INSPIREDADUS.COM

NEW DETACHED ACCESSORY DWELLING UNIT 225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL

BUILDING PERMIT SET / MAY 2023

SUBMITTAL HISTORY & REVISIONS

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> PROPOSED SECOND RESIDENCE FLOOR PLAN & ROOF PLAN

NORTH

PROPOSED SECOND RESIDENCE ROOF PLAN

PROPOSED SECOND RESIDENCE FLOOR PLAN SCALE: 1/4" = 1'-0"

Attachment 1: Page 8 of 22

MECHANICAL:

- 1. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER. PROVIDE SEISMIC STRAPPING OR ANCHORAGE RESISTING OVERTURNING OF WATER HEATER. STRAPPING SHALL BE AT THE POINTS WITHIN THE UPPER ONE THIRD AND LOWER ONE THIRD OF THE WATER HEATER. A MINIMUM DISTANCE OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING AT THE LOWER POINT.
- 2. PROVIDE BACKFLOW PREVENTERS ON ALL HOSE BIBS.
- 3. ALL ENVIRONMENTAL AIR DUCT EXHAUSTS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINES OR OPENINGS INTO BUILDINGS.
- 4. AUTOMATIC GAS SHUT-OFF VALVE REQUIRED.
- 5. CLOTHES DRYER EXHAUST DUCTS ARE NOT TO EXCEED A TOTAL COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14 FEET.

ELECTRICAL:

- 1. KITCHENS, DINING, LAUNDRY AND GARAGE AREAS MUST HAVE A MINIMUM OF 20 AMP CIRCUITS.
- 2. BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND
- CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE.

 3. ALL 120-VOLT 15 AND 20 AMP CIRCUITS IN DWELLING UNITS EXCEPT THOSE IN BATHROOMS, UNFINISHED BASEMENTS, GARAGES AND
- OUTDOORS SHALL HAVE AFCI PROTECTION.

 4. BATH RECEPTACLE OUTLETS TO BE SUPPLIED BY DEDICATED 20 AMP BRANCH CIRCUIT PER CEC 210.11(C)(3). THIS CIRCUIT CANNOT SUPPLY
- ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

 5. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS OR DEVICES INSTALLED IN LOCATIONS LISTED UNDER 210.12(A) SHALL BE PROTECTED BY ANY MEANS PER 210.12(A) (1) THROUGH (6).
- 6. ALL EXTERIOR OUTLETS SHALL BE IN WATERPROOF ENCLOSURES.
- 7. INSTALL 120V-POWERED SMOKE ALARM IN THE FOLLOWING
- LOCATIONS:

 A. IN EVERY SLEEPING ROOM
- B. OUTSIDE EACH SLEEPING ROOM
- C. ON EVERY STORY INCLUDING BASEMENTS AND HABITABLE
- ATTICS.

 8. INSTALL CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:

 A. IN EVERY SLEEPING ROOM WITHIN WHICH FUEL-BURNING

 APPLIANCES ARE INSTALLED
- B. OUTSIDE OF EACH SLEEPING AREA
- C. ON EACH OCCUPIABLE LEVEL
- D. CARBON MONOXIDE ALARMS ARE NOT REQUIRED IN DWELLINGS WHERE THERE IS NO FUEL-FIRED APPLIANCE OR ATTACHED GARAGE.
- E. WHEN MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE
- ALARM

 F. IS REQUIRED THE ALARM DEVICES SHALL BE INTERCONNECTED.
- G. ALARMS MUST BE HARD-WIRED AND INCORPORATED WITH A
 BATTERY
- H. BACK-UP IN THE EVENT OF A POWER FAILURE PER CRC R314 & R315.

 9. ALL INDOOR AND OUTDOOR LIGHTING MUST BE HIGH EFFICACY.
- ALL LAMPS OR LUMINAIRES MUST BE CONTROLLED BY A DIMMER SWITCH OR VACANCY SENSOR, WITH THE EXCEPTION OF THOSE
- INSTALLED IN CLOSETS LESS THAN 70 SQ. FT. OR ALONG HALLWAYS.

 11. ALL EXTERIOR OUTLETS TO BE IN WATERPROOF ENCLOSURES.

PLUMBING

- 1. PLUMBING FIXTURE FLOW-RATE REQUIREMENTS:
- A. WATER CLOSETS: ≤1.28 GAL/FLUSH.B. SINGLE SHOWERHEADS: ≤1.8 GPM @ 80 PSI.
- C. MULTIPLE SHOWERHEADS: ≤1.8 GPM (@ 80 PS).
- C. MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
- D. RESIDENTIAL LAVATORY FAUCETS: <1.2 GPM @ 60 PSI AND ≥0.8 GPM @ 20 PSI.
- E. KITCHEN FAUCETS: ≤1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM @ 60 PSI.
- 2. SHOWER & TUB COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THE THERMOSTATIC OR COMBINATION MIXING VALVE TYPE PER CPC 408.3.

SYMBOLS LEGEND:

- TAMPER-RESISTANT DUPLEX OUTLET, ARC FAULT CIRCUIT INTERRUPTER, +15" A.F.F. OR AS INDICATED

 WET LOCATION DUPLEX OUTLET, +15" A.F.F. OR AS INDICATED
- WET LOCATION DUPLEX OUTLET, WATER-PROOF, +15"
 A.F.F. OR AS INDICATED
- TAMPER-RESISTANT DUPLEX FLOOR-MOUNT
- OUTLET

 WET LOCATION DUPLEX OUTLET FOR ON-DEMAND H20
- ₩ HEATER 120V/60HZ
- OUTLET

 \$ SWITCH, +48" A.F.F. OR AS INDICATED
- \$3 3-WAY SWITCH, +48" A.F.F. OR AS
- INDICATED
 \$SO VACANCY SENSOR SWITCH, +48" A.F.F. OR AS INDICATED
- \$50 VACANCY SENSOR SWI
- WALL MOUNTED LIGHT
- FIXTURE
 COVE LIGHT / UNDER CABINET
 LIGHT
 RECESSED LED CEILING LIGHT, SINGLE LAMP
- •
- ©_w RECESSED LED CEILING LIGHT, SINGLE LAMP WET OR DAMP LOCATION
- J JUNCTION BOX, FIXTURE BY
- SURFACE MOUNTED FLUORESCENT, SINGLE LAMP
- F FAN, FAN HEAT, OR FAN HEAT LIGHT, 50 CFM MINIMUM
- SMOKE & CARBON MONOXIDE ALARM
- THERMOSTA
- RANGE HOOD W/POWER
- GAS LINE
- w₊ water
- WATER
 LINE

HOSE BIB

SECOND RESIDENCE MEP LEVEL 1 KEYNOTES:

- 1 SUBPANEL: MIN. 100 AMPERES, 3-WIRE PER CEC 230.79 (C).
- 2 TANKED WATER HEATER
- (3) CONDENSER UNIT

PLAN LEGEND:

NEW WALL

___ • • __ 1 HR RATED ASSEMBLY WALL

GYPSUM BOARD CEILING

- (4) MINI SPLIT
- 5 WALL-MOUNTED MINI SPLIT, +/- 7'-6" AFF

DEDICATED FOR MINI SPLIT

Wyp

Wyp

Gracera

WAIN HOUSE

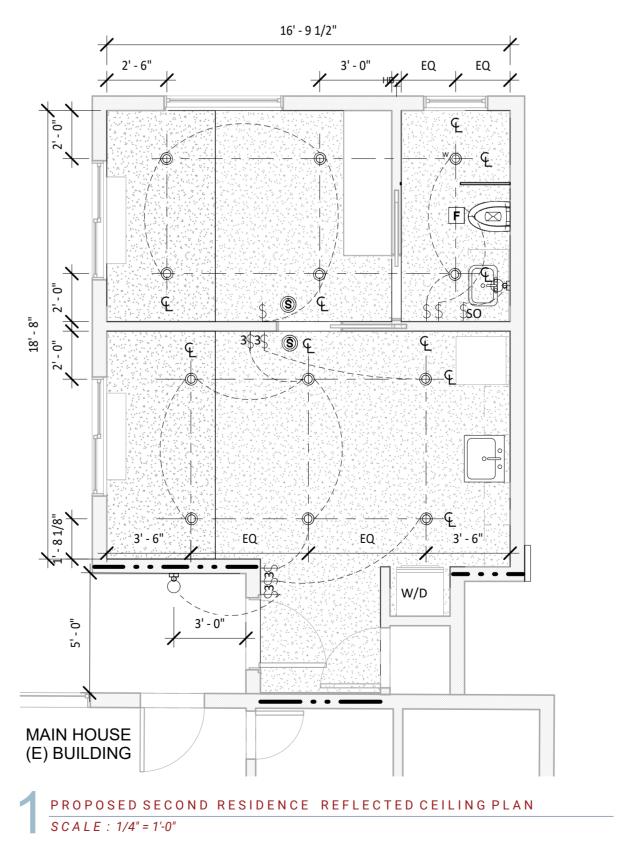
(E) BUILDING

DEDICATED FOR BIDET

DEDICATED FOR MINI SPLIT

PROPOSED SECOND RESIDENCE MECHANICAL, ELECTRICAL, & PLUMBING FLOOR PLAN

SCALE: 1/4" = 1'-0"





INSPIRED ADUS

1940 UNION STREET #22

OAKLAND, CA 94607

PHONE/FAX: 510-444-9788
INSPIREDADUS.COM

PROJECT ARCHITECT

CARRIE SHORES DILLER

CARRIE
SHORES DILLER

C-29312

02-28-2025
RENEWAL
DATE
OF CALIFORNIA

NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL

BUILDING PERMIT SET / MAY 2023

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PROPOSED SECOND RESIDENCE REFLECTED CEILING PLAN & MEP PLAN



A2.1

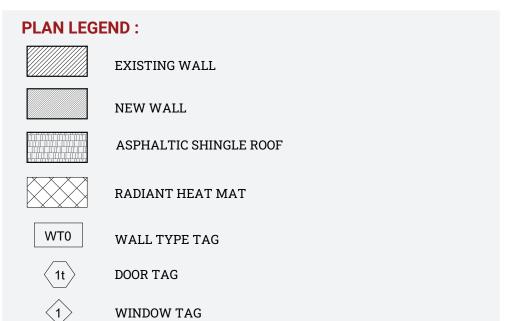
Attachment 1: Page 9 of 22

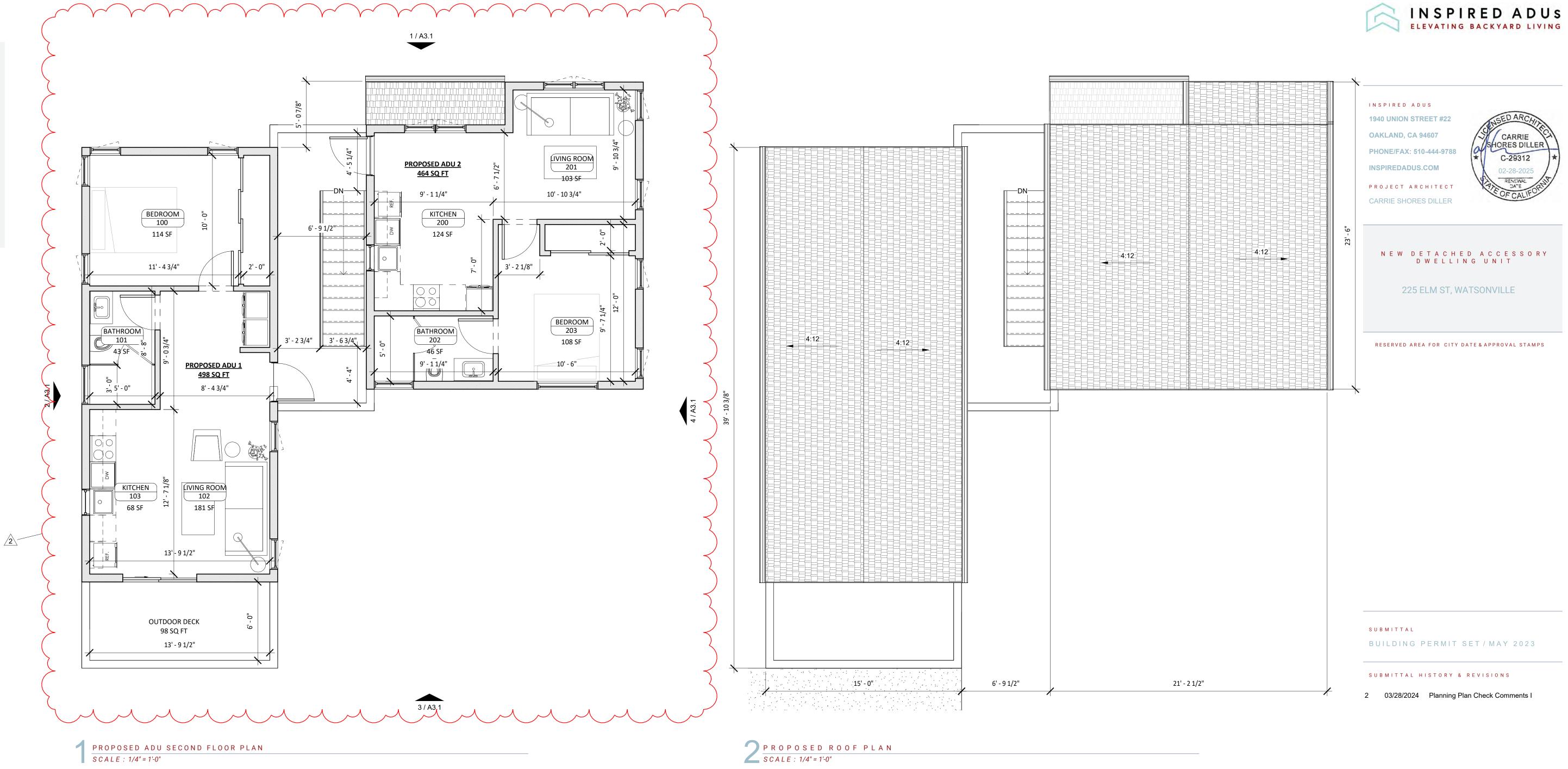
FLOOR PLAN:

___ • • ___ 1 HR RATED

ASSEMBLY WALL

 CONCRETE SLABS BELOW CONDITIONED SPACES SHALL BE SEPARATED FROM EARTH BY A MINIMUM 6-MIL VAPOR RETARDER, WITH EDGES LAPPED A MINIMUM OF 6".





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PROPOSED ADU FLOOR & ROOF PLANS



A2.2

DOOR AND WINDOW NOTES:

- 1. ALL EXTERIOR WINDOWS AND DOORS TO BE THERMALLY-BROKEN ALUMINUM FRAME BY MARVIN WINDOWS AND DOORS.
- 2. WINDOW SIZES ARE ACTUAL. CONTRACTOR TO VERIFY ROUGH-IN DIMENSIONS IN FIELD AND WITH MANUFACTURER PRIOR TO
- 3. GLAZING SHALL BE SAFETY GLASS AT HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
- A. GLASS DOORS AND WINDOWS WITHIN 18" OF FINISHED FLOOR; B. WITHIN 24" OF OPERABLE DOORS;
- C. WINDOWS LESS THAN 60" ABOVE STANDING SURFACE OR DRAIN INLET OF TUB, SHOWER, AND OTHER BATHING ENCLOSURES. U-VALUES TO BE PER TITLE 24 REPORT.
- 4. WINDOW & DOOR DIMENSIONS ARE FRAME SIZE. CONTRACTOR TO CALCULATE ROUGH OPENING.
- 5. COMBINED WINDOWS SHOWN AS ONE UNIT, CONTRACTOR TO VERIFY OPERATION PER ELEVATION.
- 6. GLAZING SHALL BE LABELED ACCORDING TO LOCAL CODES.

PROPOSED SECOND RESIDENCE ELEVATION KEYNOTES:

(1) GUTTER

(2) HOSE BIB

(3) DOWNSPOUT

(4) 'ARTISAN' CEMENT BOARD SIDING

(5) EGRESS WINDOW, 5.7 SQ FT MIN. OPENING SIZE, 24" MIN. CLEAR HEIGHT X 20" MIN. CLEAR WIDTH PER CRC R310.2

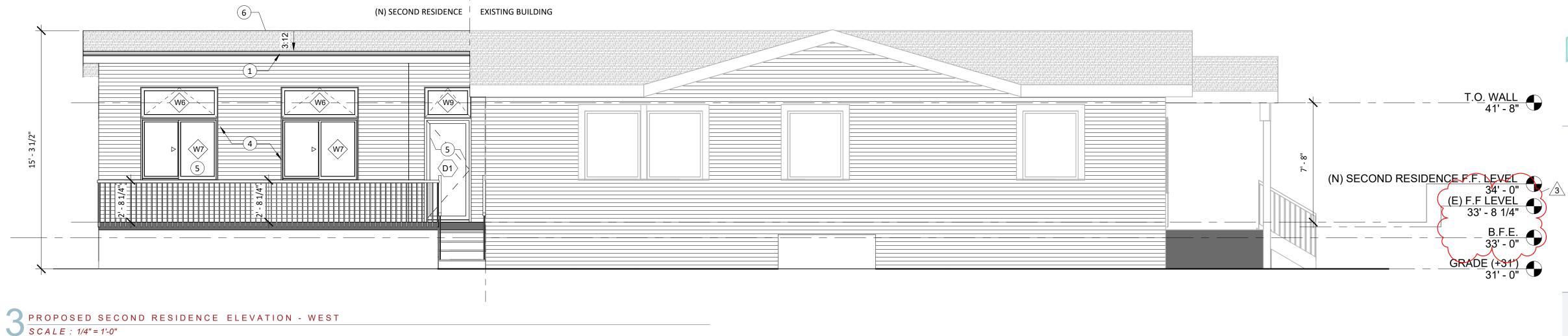
(6) (N) ASPHALTIC SHINGLE ROOF

7 SKYLIGHT

PROPOSED SECOND RESIDENCE ELEVATION

LEGEND: $\langle 1t \rangle$ (N) DOOR TAG

(N) WINDOW TAG





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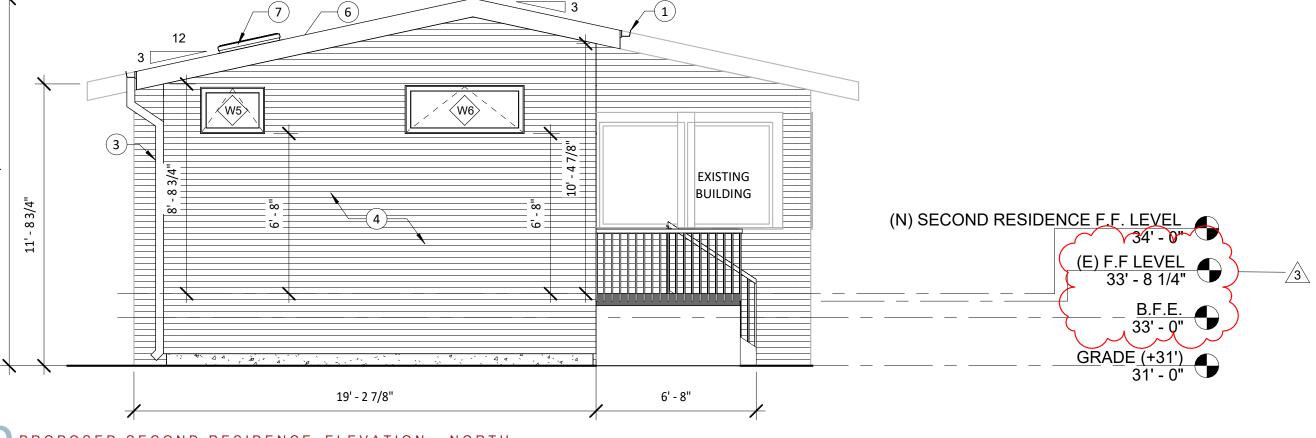
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CARRIE SHORES DILLER

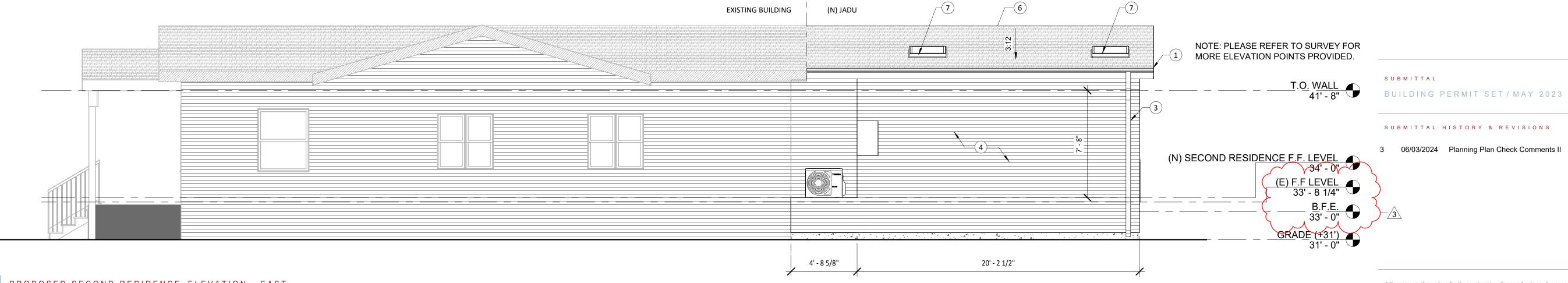
NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STA



PROPOSED SECOND RESIDENCE ELEVATION - NORTH S C A L E : 1/4" = 1'-0"



PROPOSED SECOND REDIDENCE ELEVATION - EAST

S C A L E : 1/4" = 1'-0"

WINDOW 8	WINDOW & SKYLIGHT SCHEDULE ATTACHED UNIT											
TAG	ROOM	MANUFACTURER	WIDTH	HEIGHT	QNTY	OPERATION	TEMPERED	SILL HEIGHT	INSECT SCREEN	EXTERIOR FINISH	INTERIOR FINISH	REMARKS
SK1	BATH 107, KITCHEN 108	VELUX	2' - 7 1/2"	2' - 7 1/2"	2	SKYLIGHT						
W5	BATH 107	MARVIN	2' - 8"	1' - 11 1/8"	1	AWNING		6' - 8"				
W6	BEDROOM 106, LIVING 105	MARVIN	4' - 11 1/2"	2' - 0"	3	AWNING		6' - 8"				
W7	LIVING 105, BEDROOM 106	MARVIN	4' - 11 1/2"	3' - 11 3/4"	2	CASEMENT		2' - 8 1/4"				
W9	LIVING 105	MARVIN	3' - 0"	2' - 0"	1	AWNING		6' - 8"				

EXTERIO	PR DOOR SCHEDULE ATTACHED UNIT											
TAG	ROOM	MANUFACTURER	WIDTH	HEIGHT	QNTY	OPERATION	HARDWARE	TEMPERED	D-EXTERIOR FINISH	D-INTERIOR FINISH	REMARK	FUNCTION
D1	LIVING 106	MARVIN	3' - 0"	6' - 8"	1	SWING					3678 DOOR	Exterior

INTERIOR D	INTERIOR DOOR SCHEDULE ATTACHED UNIT											
TAG	ROOM	WIDTH	HEIGHT	QNTY	OPERATION	HARDWARE	EXTERIOR FINISH	EXTERIOR TRIM	INTERIOR FINISH	REMARK		
D1	LIVING 106	3' - 0"	6' - 8"	1	SWING					3678 DOOR		
D2	BEDROOM 107, BATH 108	2' - 8"	6' - 8"	2	SINGLE POCKET					INTERIOR POCKET DOOR		
D3	LIVING 106	2' - 6"	6' - 8"	1	SWING							

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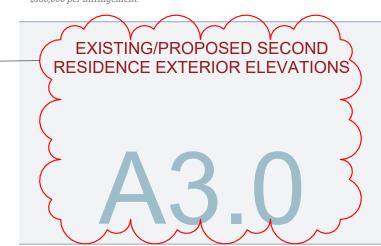
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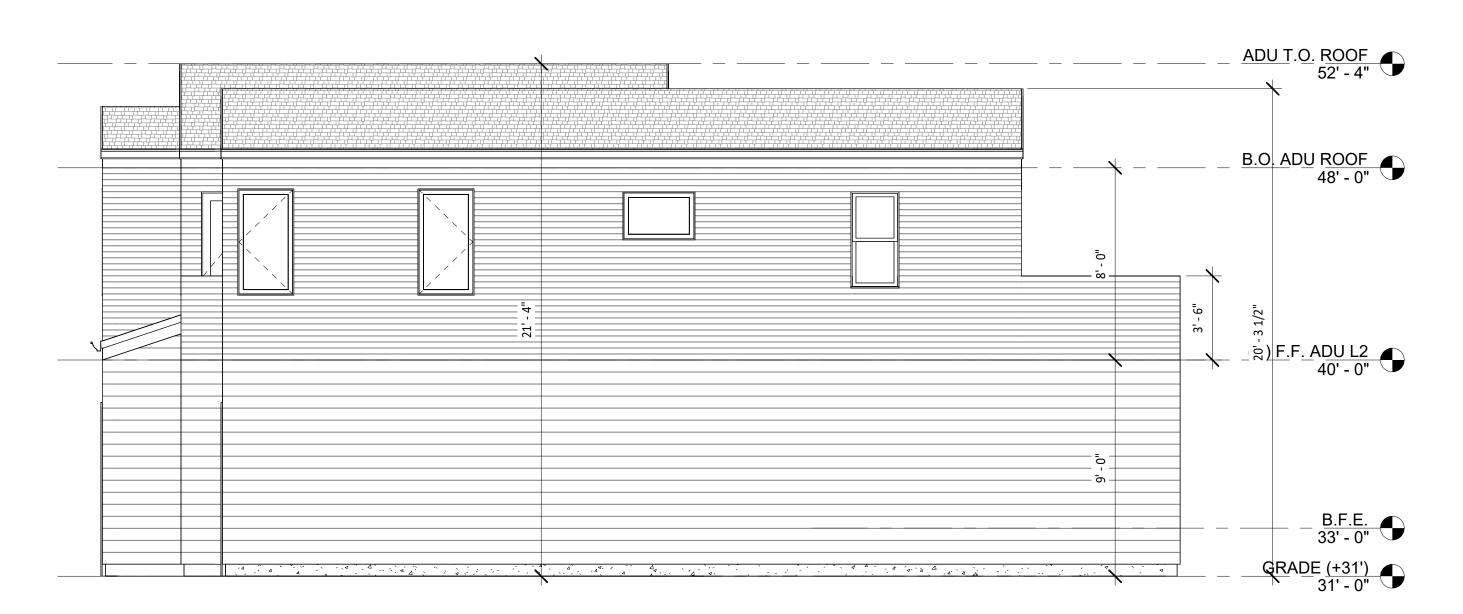
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INSPIRED ADUS

RESERVED AREA FOR CITY DATE & APPROVAL STA

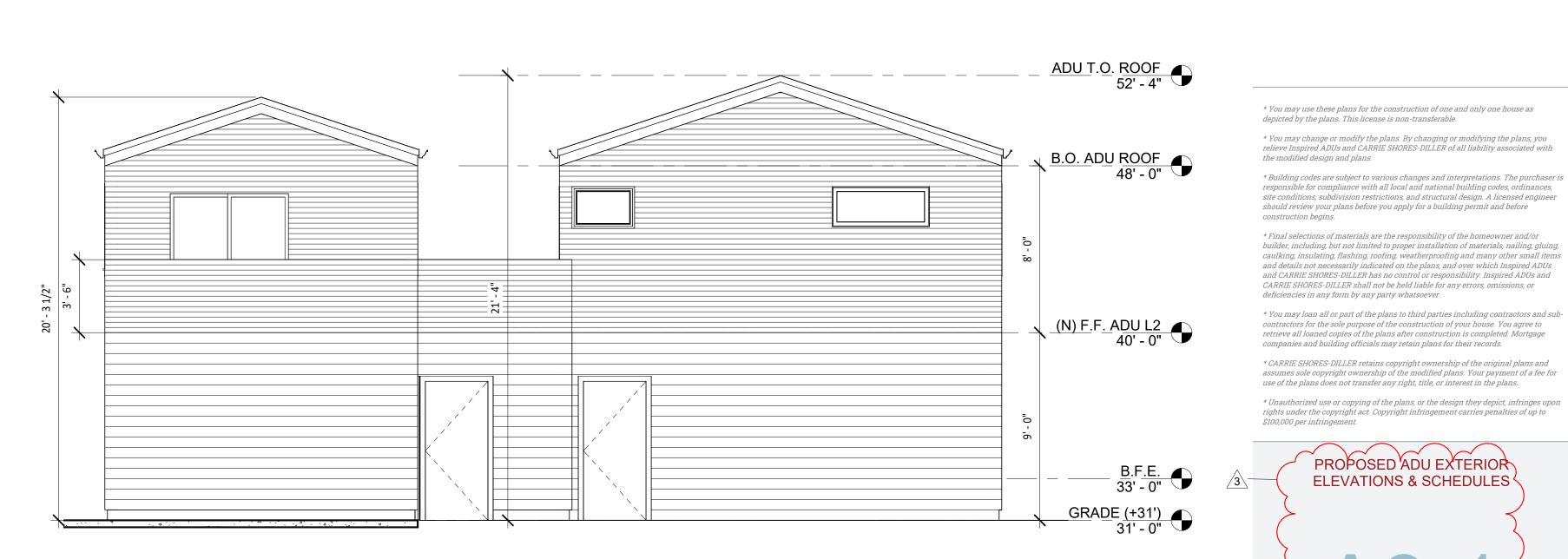
SUBMITTAL BUILDING PERMIT SET / MAY 2023

3 06/03/2024 Planning Plan Check Comments II

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PROPOSED ADU EXTERIOR ELEVATIONS & SCHEDULES

SUBMITTAL HISTORY & REVISIONS



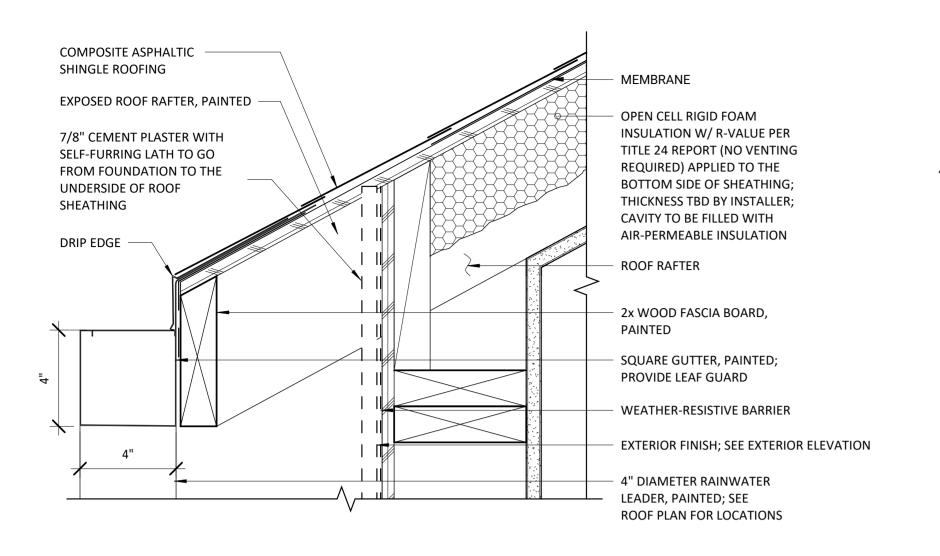
PROPOSED ADU ELEVATION - SOUTH

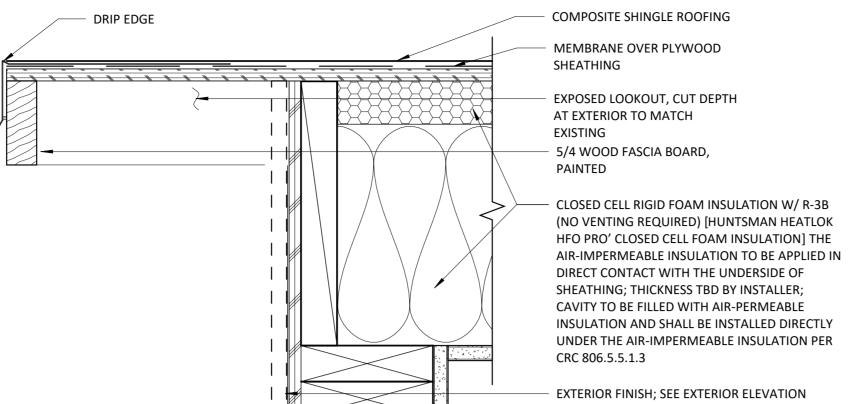
SCALE: 1/4" = 1'-0"



PROPOSED ADU ELEVATION - NORTH S C A L E : 1/4" = 1'-0"

PROPOSED ADU ELEVATION - WEST SCALE: 1/4" = 1'-0"

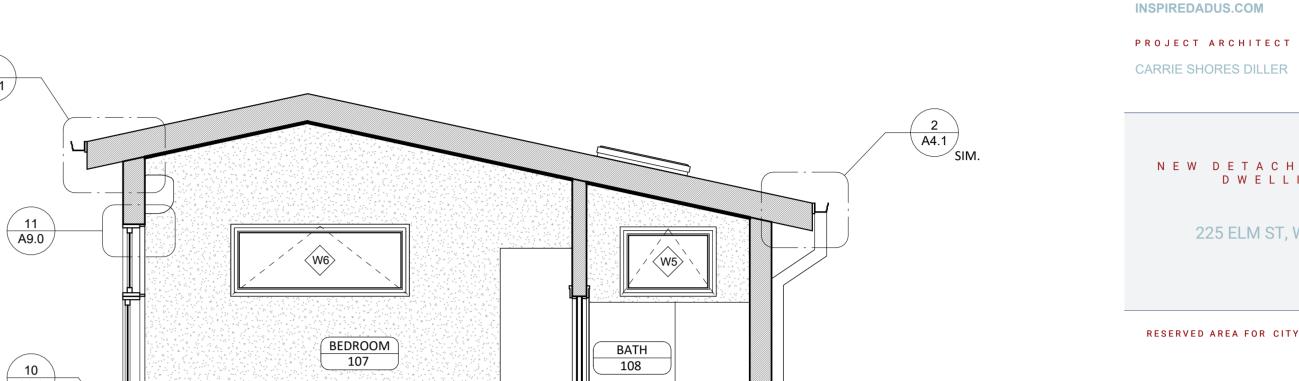




WEATHER-RESISTIVE BARRIER

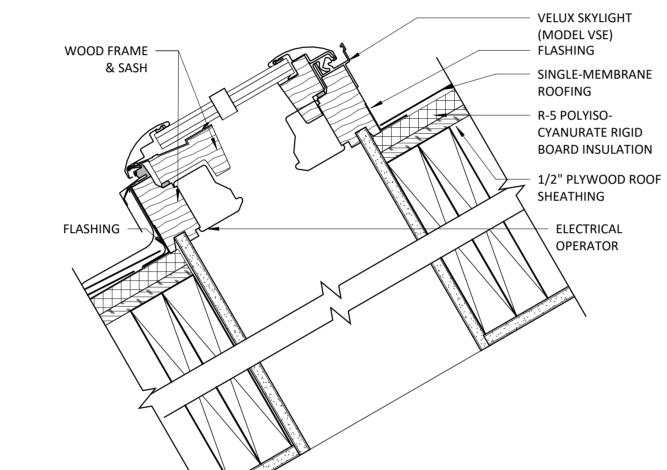
SECOND RESIDENCE LONGITUDINAL SECTION

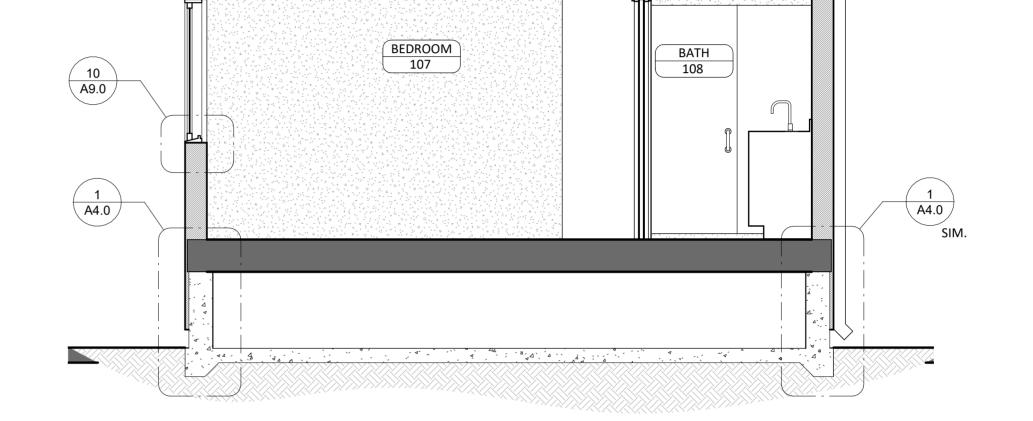
SCALE: 3/8" = 1'-0"



 $\frac{\text{EAVE AND GUTTER}}{\text{SCALE}: 3" = 1'-0"}$

FOUNDATION SCALE: 3" = 1'-0"



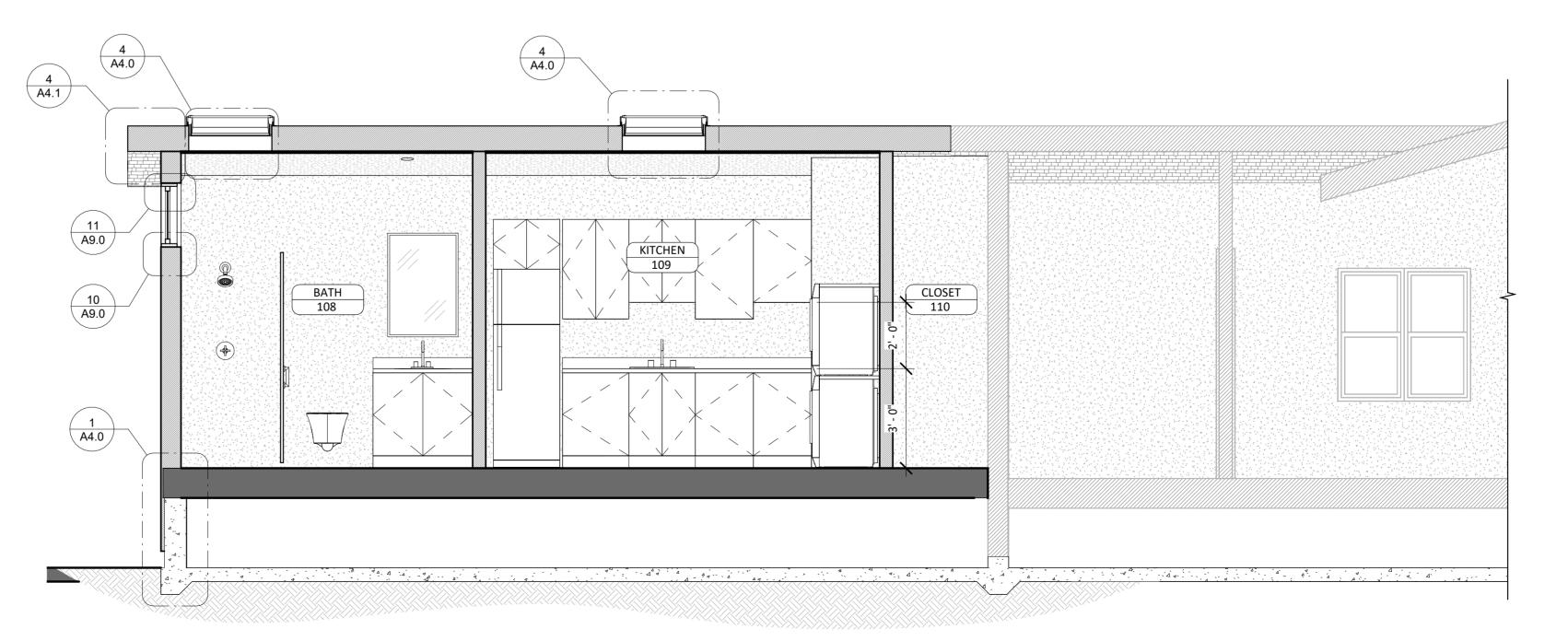


SECOND RESIDENCE CROSS SECTION SCALE: 3/8" = 1'-0"

PRESSURE-TREATED SILL PLATE IF LESS THAN 6" FROM GRADE EXTERIOR FINISH; **RE:E EXTERIOR ELEVATIONS** 1X WOOD BASE, PAINTED WEATHER-RESISTIVE BARRIER FLOOR FINISH PER PLANS MIN. 15/32" THICK, 4' WIDE PLYWOOD SHEATHING APPLIED VERTICALLY, WITH VERTICAL JOINTS CENTERED OVER STUDS, S.S.D. STRUCTURAL JOIST, S.S.D. **BATT INSULATION** BACKER ROD & SEALANT 1/4" PER FOOT **SLOPE AWAY** FROM **FOUNDATION** BELOW GRADE BITUTHENE WATERPROOFING MEMBRANE - DRAIN BOARD GRADE BEAM VARIES, S.S.D. CLASS 2 FILTER MATERIAL OR DRAIN ROCK WRAPPED WITH FILTER FABRIC _4" PERFORATED DRAIN PIPE (ABS___ ${\widetilde{\otimes}}$ OR PVC) TO CONFORM WITH ${\preceq}$ GEOTECHNICAL REQUIREMENTS. PIPE SHALL BE PLACED WITH PERFORATIONS FACE DOWN. BASE TOF PIPE TO BE A MIN. OF 12" BELOW THE BOTTOM OF THE ADJACENT FOOTING OR VAPOR BARRIER SECTION

DECK-MTD. SKYLIGHT @ PITCHED ROOF SCALE: 3" = 1'-0"

 $\frac{\text{RAKE AT GABLED END}}{\text{SCALE: 3" = 1'-0"}}$



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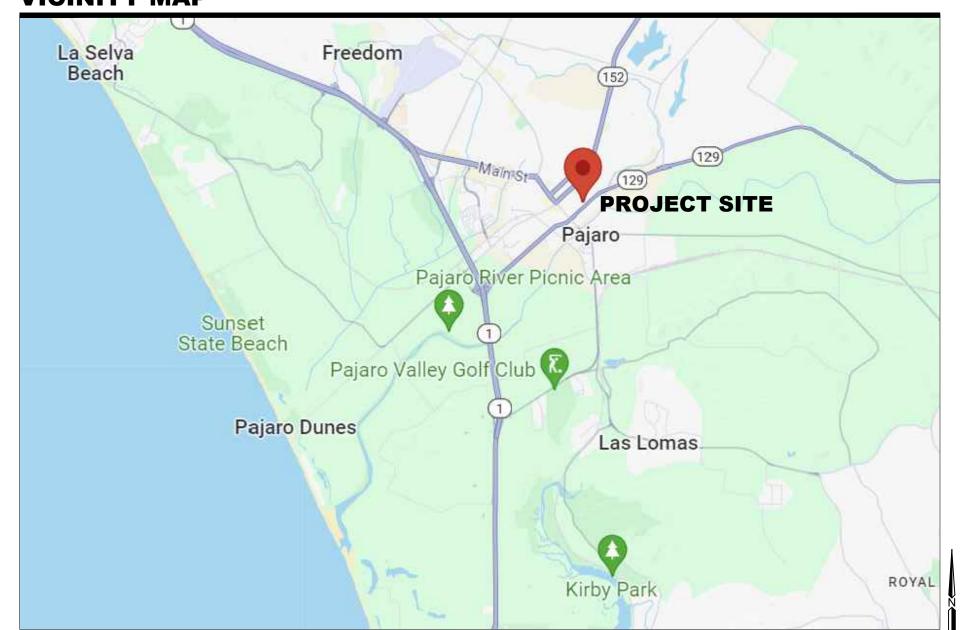
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PROPOSED SECOND RESIDENCE **BUILDING SECTIONS**

Attachment 1: Page 13 of 22

NEW ADDITION & ADUS 225 ELM STREET WATSONVILLE, CA GRADING & DRAINAGE PLANS

VICINITY MAP



SURVEY DATUM

Topographic Survey provided by Bridgette Land Surveying dated 11/22/2022.

MAP DATA

Aerial Photo: None

Contour Interval: 1 Foot

SHEET INDEX

- 1 COVER SHEET
- 2 GRADING & EROSION CONTROL PLAN
- 3 DRAINAGE PLAN4 UTILITY PLAN
- 5 DETAILS

NOT TO SCALE

GENERAL NOTES

- THESE ENGINEERING DRAWINGS ARE BASED ON CONDITIONS AT THE TIME OF DESIGN AND FROM INFORMATION PROVIDED BY THE OWNER. FUTURE MODIFICATIONS TO GRADING AND SITE DEVELOPMENT COULD CAUSE EROSION AND SLOPE FAILURE.
- 2. ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL AND/OR THE PROJECT SOIL ENGINEER.
- 3. OBSERVATION OF THE CONSTRUCTION BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO COMPLETE THE CONSTRUCTION IN CONFORMANCE WITH THE PROJECT DOCUMENTS AND GENERALLY ACCEPTED STANDARDS OF PRACTICE. THE PURPOSE OF THE ENGINEERS VISITS WILL BE TO BECOME GENERALLY FAMILIAR WITH THE PROGRESS AND QUALITY OF THE CONTRACTOR'S WORK AND DETERMINE IF THE WORK IS PROGRESSING IN GENERAL CONFORMANCE WITH OUR DESIGN INTENT.
- 4. LOCATIONS OF CUTS AND FILLS ARE APPROXIMATE. CONTRACTOR TO VERIFY GRADING EXTENTS IN THE FIELD.

GENERAL STORMWATER NOTES

- 1. STOCKPILES: ALL STOCKPILES ASSOCIATED WITH THE PROJECT SHALL BE COVERED WITH PLASTIC SHEETING PRIOR TO ANY PRECIPITATION EVENT TO PREVENT RUNOFF OF SEDIMENT. SHEETING SHALL BE FIRMLY HELD IN PLACE WITH SANDBAGS OR OTHER WEIGHTS PLACED NO MORE THAN 10FT APART. SEAMS SHALL BE TAPED OR WEIGHTED DOWN THEIR ENTIRE LENGTH AND THERE SHALL BE AT LEAST A 12 INCH OVERLAP.
- 2. <u>DUST CONTROL</u>: BEST MANAGEMENT PRACTICES SHALL BE USED THROUGHOUT ALL PHASES OF CONSTRUCTION. THIS INCLUDES ANY SUSPENSION OF WORK, ALLEVIATION OR PREVENTION OF ANY FUGITIVE DUST NUISANCE AND THE DISCHARGE OF SMOKE OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE ANY REGIONAL AIR POLLUTION CONTROL RULES, REGULATIONS, ORDINANCES, OR STATUTES. WATER SHALL BE APPLIED AS REQUIRED. DUST NUISANCE SHALL ALSO BE ABATED BY CLEANING, VACUUMING AND SWEEPING OR OTHER MEANS AS NECESSARY.
- 3. INTERIM EROSION AND SEDIMENT CONTROL: THIS PLAN INCLUDES INTERIM EROSION AND SEDIMENTATION CONTROL MEASURES TO BE TAKEN DURING WET SEASONS UNTIL PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES CAN ADEQUATELY MINIMIZE EROSION, EXCESSIVE STORM WATER RUNOFF AND SEDIMENTATION. THIS PLAN INCLUDES THE MINIMUM NECESSARY MEASURES TO BE TAKEN TO PREVENT EXCESSIVE STORM WATER RUNOFF OR CARRYING BY STORM WATER RUNOFF OF SOLID MATERIALS ON TO LANDS OF ADJACENT PROPERTY OWNERS, PUBLIC STREETS, OR TO WATERCOURSES AS A RESULT OF CONDITIONS CREATED BY GRADING OPERATIONS. ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED BY THE CONTRACTOR, THE CITY, THE COUNTY, OR THE ENGINEER AS CHANGING CONDITIONS OCCUR. GRADING SHALL NOT TAKE PLACE DURING THE RAINY SEASON WITHOUT THE IMPLEMENTATION OF ADDITIONAL BMP'S TO PREVENT EROSION AND RUNOFF.
- 4. PERMANENT EROSION AND SEDIMENT CONTROL: PERMENANT EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED BY LANDSCAPING OF DISTURBED AREAS OF THE PROJECT SITE. LANDSCAPING SHALL CONSIST OF SOME OR AL THE FOLLOWING: SPREADING OF MULCH, SEEDING, AND PLANTING OF CONTAINER PLANTS. ANTICIPATED TIME UNTIL ESTABLISHMENT FOR THESE 3 LANDSCAPING METHODS IS AS FOLLOWS: IMMEDIATE, 3 MONTHS, 1 MONTH (RESPECTIVELY, ASSUMING APPROPRIATE IRRIGATION IS PROVIDED. DOWNSPOUTS SHALL BE DIRECTED INTO THE UNDERGROUND DRAINAGE SYSTEM AS INDICATED ON THE DRAINAGE PLAN OR AWAY FROM STRUCTURES.
- 5. THIS PROJECT WILL DISPERSE ALL RUNOFF FROM ROOFS AND HARDSCAPE AREAS TO APPROPRIATE LOCATIONS AND AS SHOWN ON THE PLANS.
- 6. STORMWATER DISCHARGE ADJACENT TO FOUNDATIONS AND OTHER STRUCTURES IS <u>NOT</u> PERMITTED.
- 7. WASH OUT CONCRETE EQUIPMENT/TRUCKS OFF-SITE OR INTO CONTAINED WASHOUT AREAS THAT WILL NOT ALLOW DISCHARGE OF WASH WATER ONTO THE UNDERLYING SOIL OR ONTO THE SURROUNDING AREAS.



PERMIT SET

	REVISIONS			#PRIGHT ENGINEERING	DATE: 6/3/2024	DESIGNED BY: A
REV. NO.	DESCRIPTION	DATE	APPROVED		NEW ADDITION & ADUs	DRAWN BY: W
4					225 ELM STREET	SURVEYED BY: W
3					WATSONVILLE, CA	CHECKED BY: A
				3641 MT. DIABLO BLVD. #1841	COVER SHEET	SHEET NO.
<u>1</u>				LAFAYETTE, CA 94549 925-275-5304, info@uprightengineeringinc.com	OOVER OHEET	1 OF 5

GRADING NOTES

- 1. LOCATION OF CUTS AND FILLS ARE APPROXIMATE. CONTRACTOR TO VERIFY GRADING EXTENTS IN THE
- 2. ALL GRADING SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE GEOTECHNICAL STUDY AND STRUCTURAL DRAWINGS.
- 3. CONTRACTOR SHALL CONSTRUCT DRAINAGE IMPROVEMENTS PRIOR TO GRADING TO PREVENT RUN-ON TO WORK AREA. IF IT IS NOT FEASIBLE TO CONSTRUCT DRAINAGE PRIOR TO GRADING, TEMPORARY DRAINAGE FACILITIES SHALL BE PROVIDED BY THE CONTRACTOR.
- 4. MAXIMUM FILL SLOPE SHALL BE 2:1 (HORIZ: VERT) 5. MAXIMUM CUT SLOPE SHALL BE 1.5:1
- (HORIZ: VERTICAL) 6. FILL SHALL BE PLACED IN MAXIMUM 6" LIFTS. MOISTURE CONDITIONED TO WITHIN 3% OF OPTIMUM, AND COMPACTED USING SHEEPS FOOT ROLLER OR SIMILAR EQUIPMENT TO 95% RELATIVE COMPACTION AS MEASURED USING THE MODIFIED PROCTOR METHOD.

LEGEND

PROPERTY LINE PROPOSED STRAW WATTLE

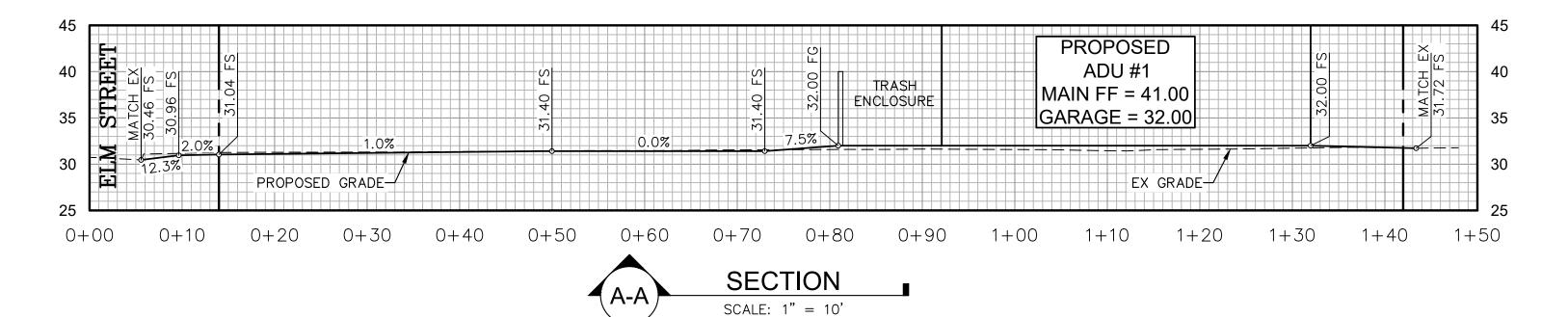
SEE DETAIL 1 ON SHEET 5 **EXISTING**

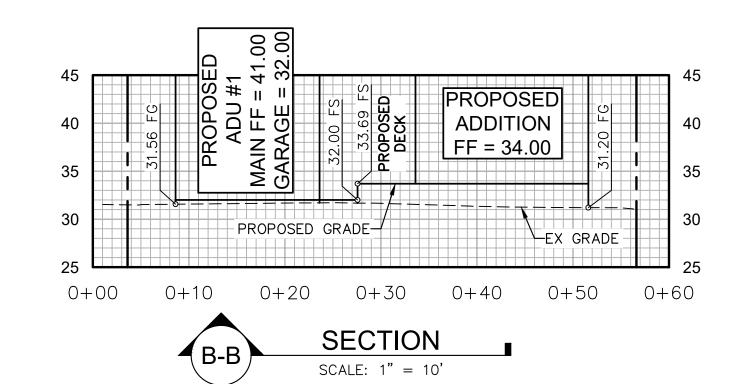
PROPOSED

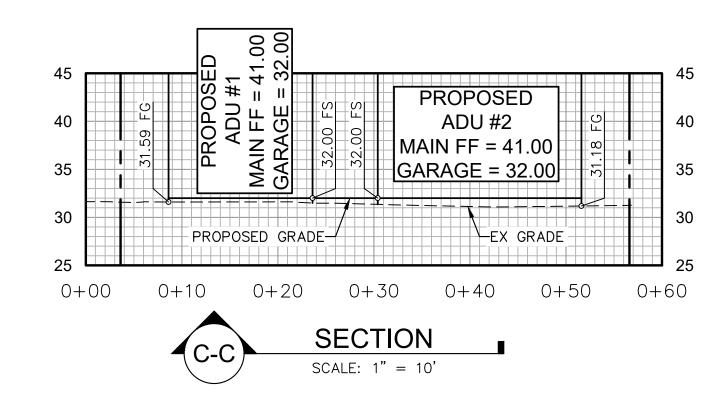
FS FINISH SURFACE

CUT/FILL TABLE FILL (CY) CUT (CY) NET (CY) ELEMENT GRADING 30

TOTAL DISTURBED AREA: 3,300 SQFT









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	DATE	APPROVED	ENGINEERING	NE
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	REVISIONS			
REV. NO.	DESCRIPTION	DATE	APPROVED	1,
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4				
<u>3</u>				· ·
2				3641 [
<u>1</u>				LA 925-275-5304

ENGINEERING	
3641 MT. DIABLO BLVD. #1841	
LAFAYETTE, CA 94549	
75 E204 info@unrightongingoringing.com	

DATE: **6/3/2024 EW ADDITION & ADUS** 225 ELM STREET WATSONVILLE, CA

DESIGNED BY: DRAWN BY: SURVEYED BY: WS CHECKED BY: GRADING & EROSION CONTROL PLAN 2 OF 5

PERMIT SET

FS 4 20' 4 -2 (N) 1.55' SF MIN FLOOD OPENING PROPOSED BOTTOM AT 1' MAX ABOVE (E) GRADE × PER FEMA TECHNICAL BULLETÍN 1 ADU #2 MAIN FF = 41.00 GARAGE = 32.00 2 (N) 1.12' SF MIN FLOOD OPENING BOTTOM AT 1' MAX ABOVE (E) GRADE PER FEMA TECHNICAL BULLETIN 1 2 (N) 0.50' SF MIN FLOOD OPENING BOTTOM AT 1' MAX ABOVE (E) GRADE PER FEMA TECHNICAL BULLÈTÍN 1 STORAGE 2 (N) 0.34' SF MIN FLOOD OPENING * AREA BOTTOM AT 1' MAX ABOVE (E) GRADE PER FEMA TECHNICAL BULLETIN 1 STORAGE AREA 2 (N) 0.34' SF MIN FLOOD OPENING PROPOSED BOTTOM AT 1' MAX ABOVE (E) GRADE ADDITION PER FEMA TECHNICAL BULLETIN 1 FF = 34.00 (N) TRASH € NCLOSURE 31.56 FS 31.54 FS (N) PAVERS-(N) OUTDOOR SPACE (E) RESIDENCE TO REMAIN (E) 31.34 FS (E) CONCRETE WALKWAY (N) DRIVEWAY-PER CITY OF WATSONVILLE SEE SHEET 5 DRAINAGE INLET PROTECT——ON NEAREST DOWNSTREAM DI ELM STREET

(N) CONCRETE DRIVEWAY

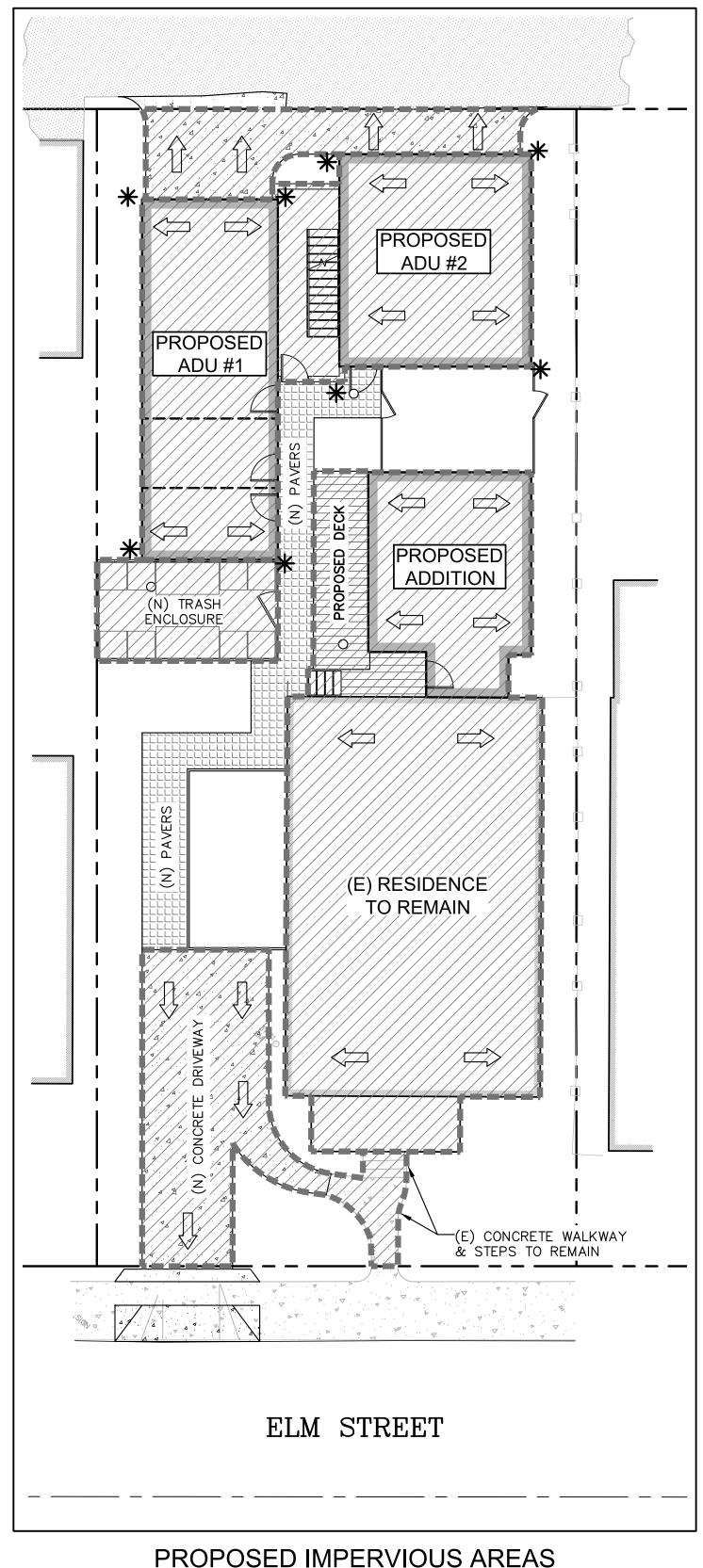
___x ___x ___x ___x ___x ___x

(N) CONCRETE DRIVEWAY

GRADING & EROSION CONTROL PLAN

SCALE: 1" = 10'

(E) CONCRETE DRIVEWAY TO BE REMOVED (E) RESIDENCE TO REMAIN -(E) CONCRETE WALKWAY & STEPS TO REMAIN ELM STREET **EXISTING IMPERVIOUS AREAS**



PROPOSED IMPERVIOUS AREAS SCALE: 1" = 10'

LEGEND

PROPERTY LINE

PROPOSED IMPERVIOUS AREA (ARROW INDICATES DRAINAGE PATTERN)



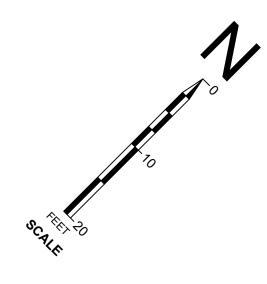
EXISTING IMPERVIOUS AREA (ARROW INDICATES DRAINAGE PATTERN)



PROPOSED DOWNSPOUT TO BE DIRECTED TOWARDS LANDSCAPING VIA SPLASHBLOCK

IMPERV	IOUS AREAS TABLE	
ELEMENT	PROPOSED AREA (SF)	EXISTING AREA (SF)
STRUCTURES	3181	2074
EXTERIOR HARDSCAPE	1036	1406
TOTAL	4217	3481



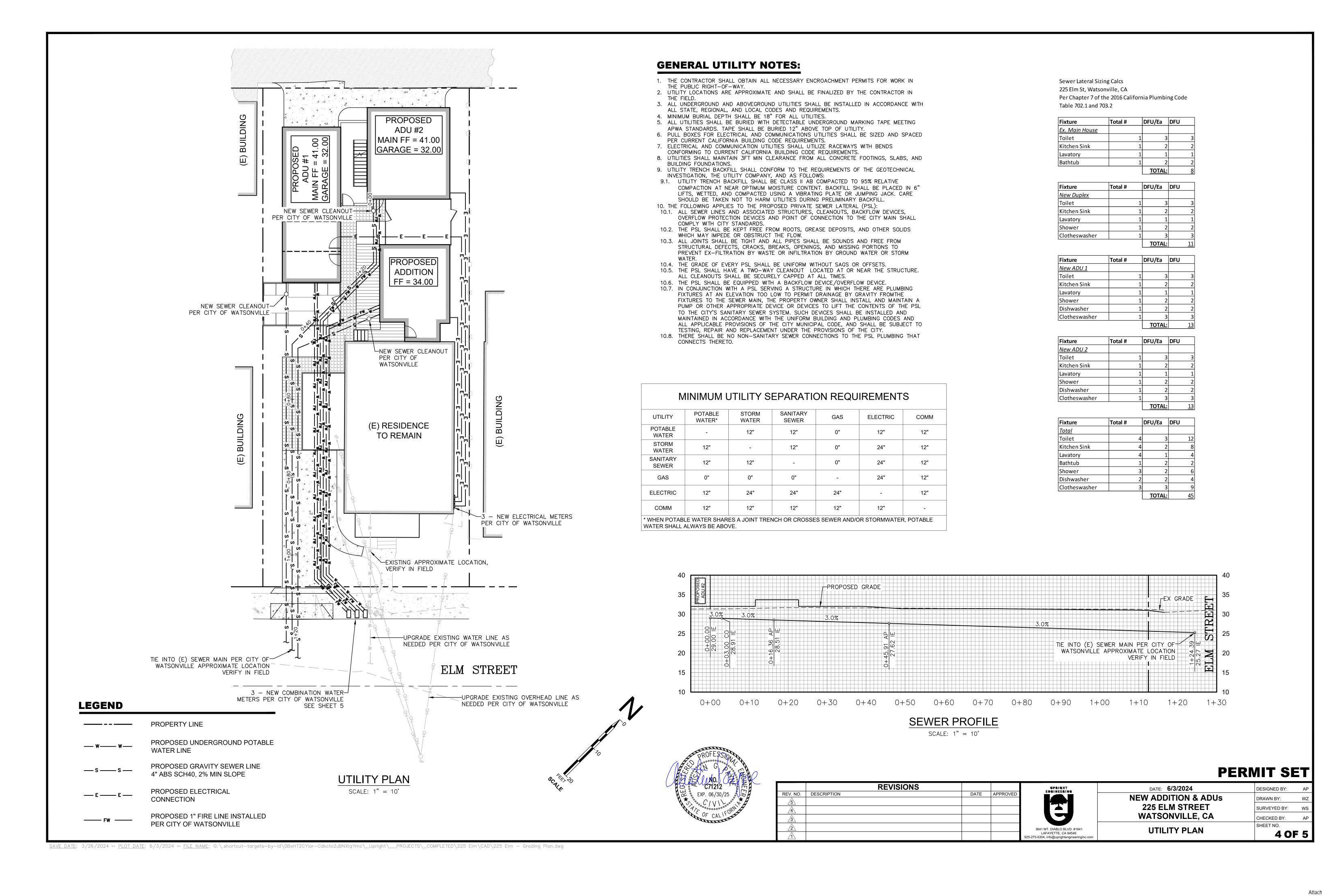


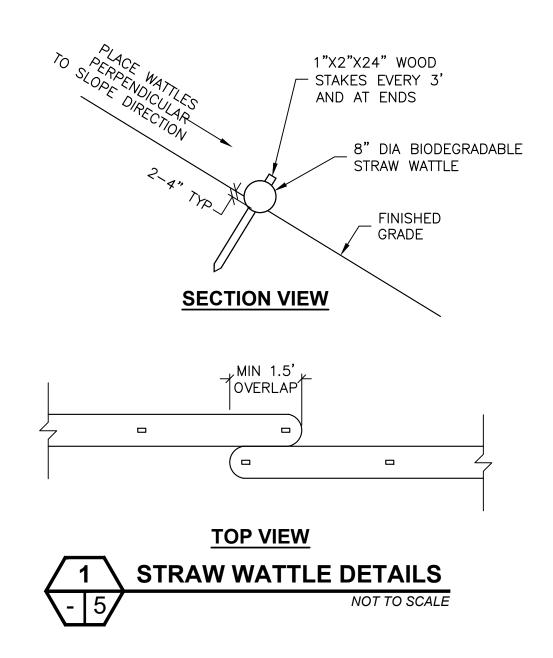


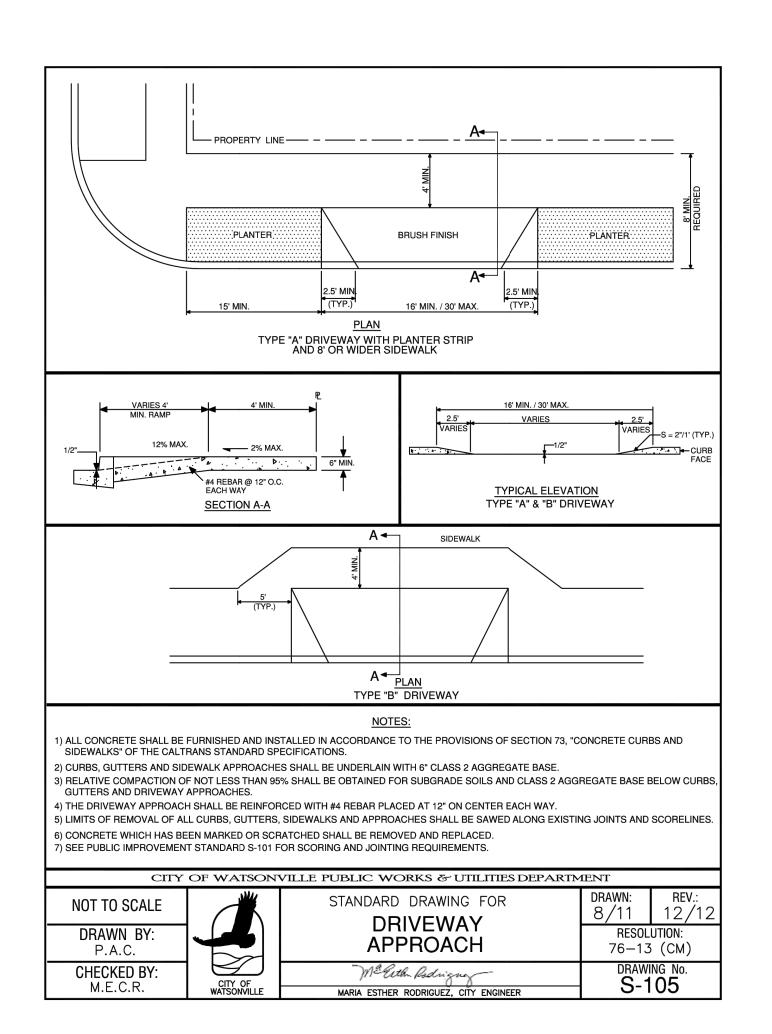
PERMIT SET

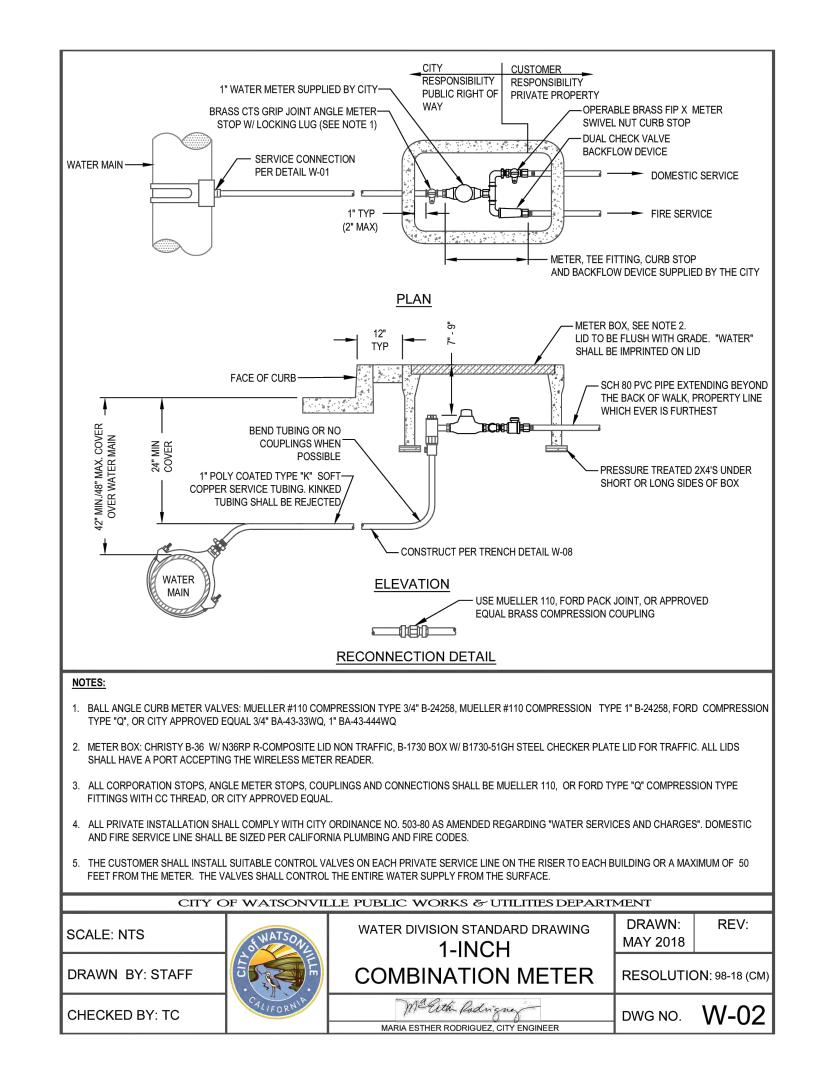
' 		• • •					
AF	DESIGNED BY:	DATE: 6/3/2024	おりま! 色HT E N 会 I N E E 表 I N 会			REVISIONS	
W	DRAWN BY:	NEW ADDITION & ADUs	ENGINEERING	APPROVED	DATE	DESCRIPTION	REV. NO.
WS	SURVEYED BY:	225 ELM STREET					<u>/5\</u> /4\
AF	CHECKED BY:	WATSONVILLE, CA					3
	SHEET NO.	DRAINAGE PLAN	3641 MT. DIABLO BLVD. #1841				2
)F 5	30	DRAINAGE PLAN	LAFAYETTE, CA 94549				1

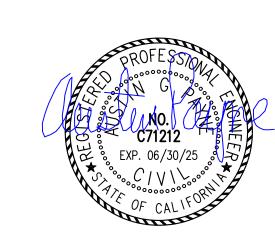
SCALE: 1" = 10'











PERMIT SET

	REVISIONS			#PRIGHT ENGINEERING	DATE: 6/3/2024	DESIGNED BY:	AP
REV. NO.	DESCRIPTION	DATE APP	PROVED	ENGLINEERING	NEW ADDITION & ADUs	DRAWN BY:	WZ
<u>/5\</u>					225 ELM STREET		
4						SURVEYED BY:	WS
<u>/3</u>					WATSONVILLE, CA	CHECKED BY:	AP
/2\				3641 MT. DIABLO BLVD. #1841	DETAILS	SHEET NO.	
1			92	LAFAYETTE, CA 94549 25-275-5304, info@uprightengineeringinc.com	DETAILS	5 O F	F 5



KEYNOTES:

1 (E) CONCRETE DRIVEWAY TO REMAIN

2 (E) CONCRETE WALKWAY TO REMAIN

3 MAIN HOUSE ENTRY

4 (E) PLANTING TO REMAIN

5 CONCRETE SIDEWALK

6 STREET CURB

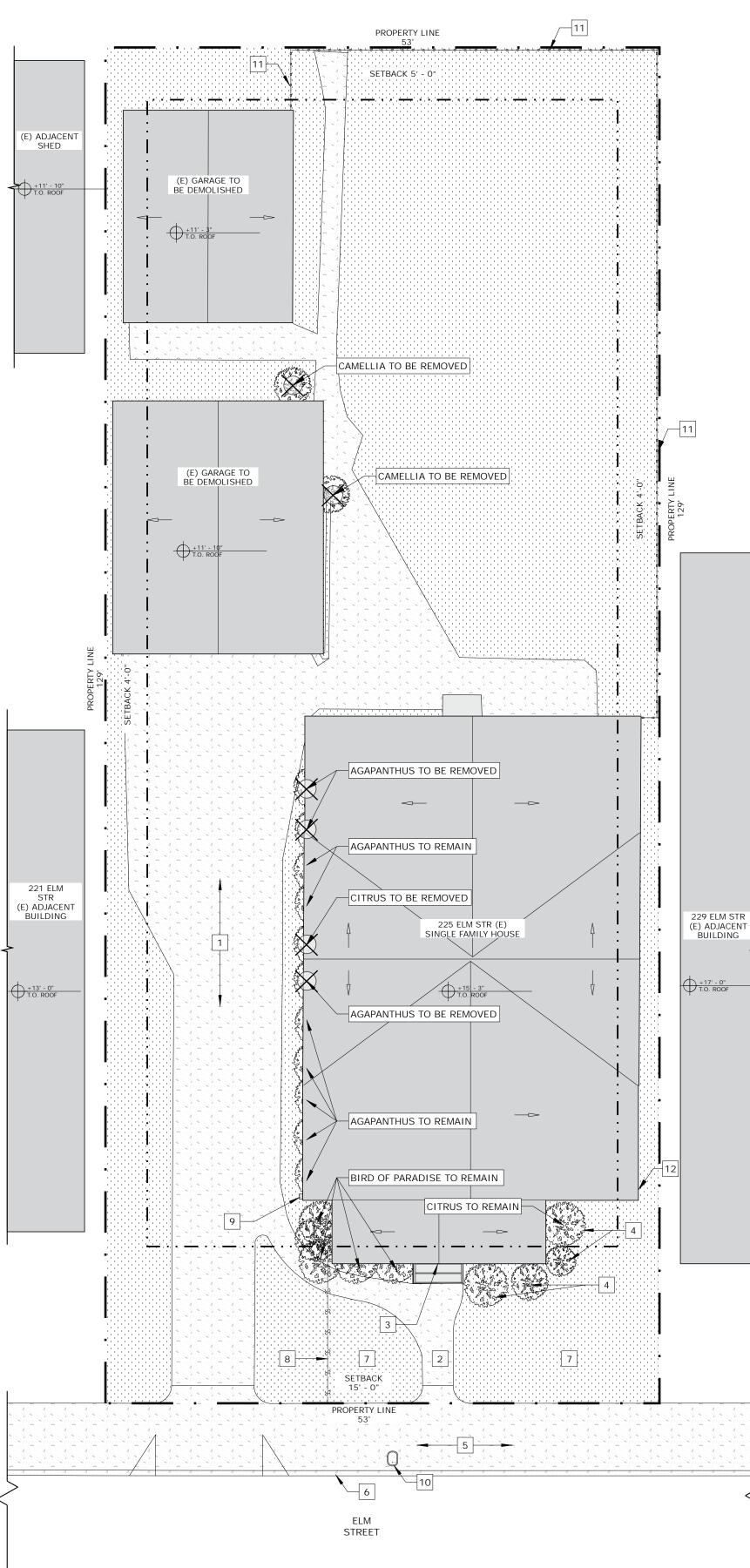
7 NO WORK TO (E) LANDSCAPE

8 4" SANITARY SEWER LATERAL

9 GAS METERS 10 WATER METER

11 WOOD FENCE

12 ELECTRICAL METER



EXISTING SITE PLAN SCALE : 1/8" = 1'-0"





SITE PLAN LEGEND:

(E) ADJACENT BUILDING

COMPOSITE DECK

CONCRETE PAVING

PERMEABLE PAVERS

KEYNOTES:

② DRIVEWAY

(E) PLANTING

3 FENCE

NOTES:

① ENTRANCE PATHWAY

OUTDOOR BOLLARD LIGHTING

1. TOTAL LANDSCAPE AREA (EXCLUDING DRIVEWAYS, PATHS & DECKS):

NEW & (E) BUILDINGS IN PROPERTY

NEW FENCES & GARDEN GATES



PROPOSED SITE PLAN SCALE: 1/8" = 1'-0"



INSPIRED ADUS

1940 UNION STREET #22 OAKLAND, CA 94607

PHONE/FAX: 510-444-9788 INSPIREDADUS.COM

PROJECT ARCHITECT

CARRIE SHORES DILLER

NEW DETACHED ACCESSORY

DWELLING UNIT

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL

PLANNING PERMIT SET / MARCH 2024

SUBMITTAL HISTORY & REVISIONS 3\ 06/03/2024 PLANNING PLAN CHECK COMMENTS II

* You may use these plans for the construction of one and only one house as depicted by the plans. This license is non-transferable.

* You may change or modify the plans. By changing or modifying the plans, you

the modified design and plans.

\$100,000 per infringement.

PROJECT NORTH

* Building codes are subject to various changes and interpretations. The purchaser is responsible for compliance with all local and national building codes, ordinances, site conditions, subdivision restrictions, and structural design. A licensed engineer should review your plans before you apply for a building permit and before construction begins.

* Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, nailing, gluing, caulking, insulating, flashing, roofing, weatherproofing and many other small items and details not necessarily indicated on the plans, and over which Inspired ADUs and CARRIE SHORES-DILLER has no control or responsibility. Inspired ADUs and CARRIE SHORES-DILLER shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.

* You may loan all or part of the plans to third parties including contractors and subcontractors for the sole purpose of the construction of your house. You agree to retrieve all loaned copies of the plans after construction is completed. Mortgage companies and building officials may retain plans for their records.

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EXISTING AND PROPOSED SITE PLANS

Attachment 1: Page 19 of 22

SITE PLAN LEGEND: (E) ADJACENT BUILDING NEW & (E) BUILDINGS IN PROPERTY NEW FENCES & GARDEN GATES COMPOSITE DECK CONCRETE PAVING PERMEABLE PAVERS OUTDOOR BOLLARD LIGHTING 4" LAYER OF MINI-MULCH 4" LAYER OF 3/8" PEA GRAVEL OVER WEED BARRIER

LANDSCAPE EDGING (USE BETWEEN MINI-MULCH & PEA GRAVEL & BY ALL PROPERTY LINES)

NOTES:

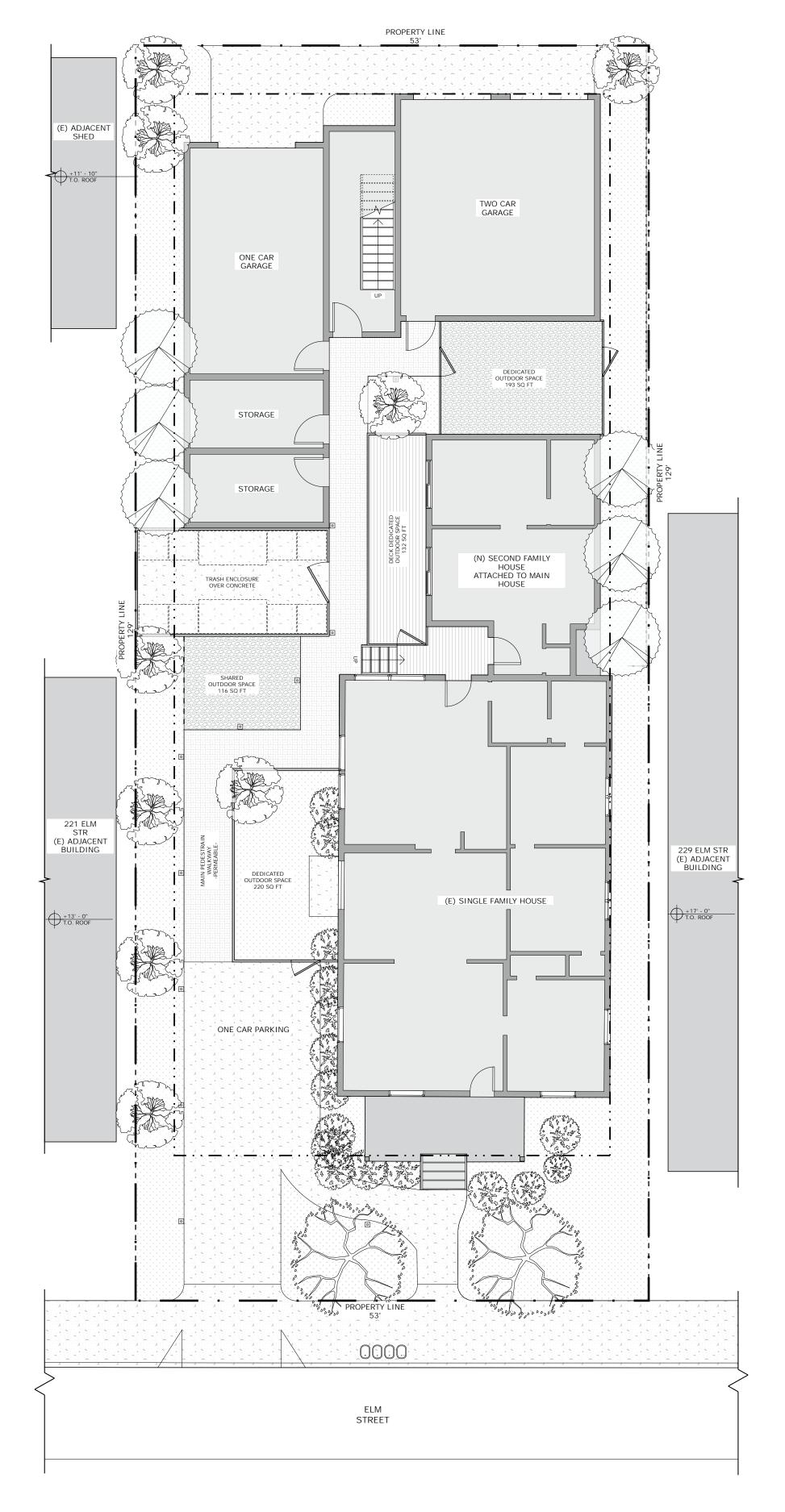
- 1. TOTAL LANDSCAPE AREA (EXCLUDING DRIVEWAYS, PATHS & DECKS):
- 2. TOTAL LANDSCAPE AREAS AS DEFINED BY THE CALIFORNIA CODE OF REGULATIONS MODEL WATER EFFICIENT LANDSCAPE ORDINANCE*: 1535.7 SQ FT

* 'LANDSCAPE AREA' MEANS ALL THE PLANTING AREAS, TURF AREAS, AND WATER FEATURES IN A LANDSCAPE DESIGN PLAN. THE LANDSCAPE AREA DOES NOT INCLUDE FOOTPRINTS OF BUILDINGS

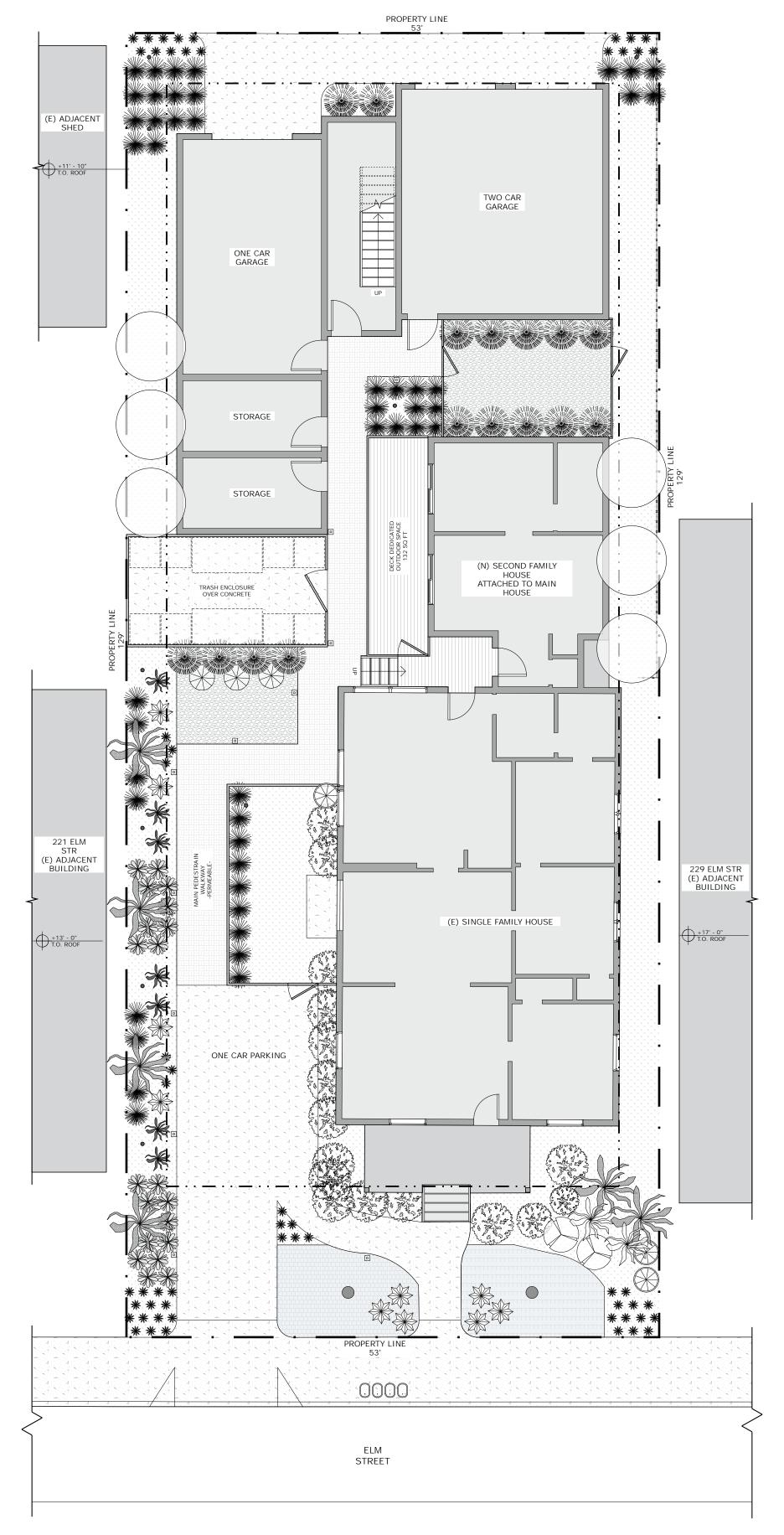
2268.5 SQ FT

or STRUCTURES, SIDEWALKS DRIVEWAYS, PARKING LOTS, DECKS,
PATIOS, GRAVEL OR STONE WALKS, OTHER PERVIOUS OR NON-PERVIOUS
HARDSCAPES, AND OTHER NON-IRRIGATED AREAS DESIGNED
FOR NON-DEVELOPMENT

	PLANT LIST	225 Elm St. Watsor	nvile, CA 95076					USDA 9b
		G : 115' N			0:		11054	
	Туре	Scientific Name	Common Name	Mature Size	Size	Qty	USDA	WUCOLS
	Groundcover	Dymondia margaretae	Silver Carpet	2-3" H & 1-2' W	Mudflat	20	9-11	Low
*	Perennial/ Ornamental Grass	Libertia peregrinans	Orange New Zealand Iris	1-2' H & 1' W	4"	55	8-10	Low
% —	Groundcover/ Succulent	Senecio mandraliscae	Blue Chalk Sticks	1-2' H & 2-3' W	1 gal	20	9-11	Low
% —	Succulent/ Perennial	Agave x 'Blue Glow'	Blue Glow Agave	1-2' H & 2-3' W	5 gal	10	9-11	Very Low
	Perennial/ Ornamental Grass	Lomandra longifolia 'Pom Pom'	Shorty Mat Rush	1-2' H & 2-3' W	1 gal	47	8-10	Low
	Shrub	Rosmarinus officinalis 'Roman Beauty'	Roman Beauty Rosemary	2-3' H & W	5 gal	3	8-11	Low
*-	Perennial	Phormium 'Black Rage'	Black Rage New Zealand Flax	2-3' H & W	5 gal	7	8-11	Low
	Shrub	Phlomis fruticosa	Jerusalem Sage	3-4' H & W	1 gal	2	7-10	Low
	Perennial	Chondropetlaum tectorum	Cape Rush	3-4' H & W	5 gal	16	8-10	Low
	Perennial	Phormium 'Golden Ray'	Golden Ray New Zealand Flax	4-5' H & W	5 gal	2	8-11	Low
	Shrub	Rosmarinus officinalis 'Blue Spires'	Blue Spires Rosemary	4-6' H & 2-3' W	5 gal	3	8-11	Low
	Perennial	Phormium 'Sundowner'	Sundowner New Zealand Flax	5-6' H & 6-7' W	5 gal	6	8-11	Low
	Tree	Lagerstroemeria indica x fauriei 'Zuni' multirunk	Multi-trunk Zuni Crape Myrtle	8-10' H & 6-8' W	24" Box	9	6-9	Low
	Small Tree/ Hedge	Ligustrum ovafolium	California privet	8-15' H & 6-10' W	5 gal	6	5-9	Low
	Tree	Olea europaea multi-trunk	Multi-trunk Olive Tree	Kept at 14' H & 12' W	24" Box	2	8-11	Very Low
				V L	L: VER : LOW 1: MOE	Y LOW / DERATE	N FOR W	ATSONVILLE



PROPOSED PLANTING PLAN - TALL VEGETATION ONLY (TREE & SMALL TREE/HEDGE) SCALE : 1/8" = 1'-0"



PROPOSED PLANTING PLAN - MEDIUM & SHORT VEGETATION SCALE: 1/8" = 1'-0"



INSPIRED ADUS 1940 UNION STREET #22

OAKLAND, CA 94607 PHONE/FAX: 510-444-9788 INSPIREDADUS.COM

PROJECT ARCHITECT

CARRIE SHORES DILLER

SHORES DILLER C-29312

NEW DETACHED ACCESSORY DWELLING UNIT 225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL

PLANNING PERMIT SET / MARCH 2024

SUBMITTAL HISTORY & REVISIONS 3 06/03/2024 PLANNING PLAN CHECK COMMENTS II

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\$100,000 per infringement.

PROJECT

PROPOSED PLANTING PLAN

SITE PLAN LEGEND: (E) ADJACENT BUILDING NEW & (E) BUILDINGS IN PROPERTY NEW FENCES & GARDEN GATES COMPOSITE DECK CONCRETE PAVING PERMEABLE PAVERS OUTDOOR BOLLARD LIGHTING 4" LAYER OF MINI-MULCH 4" LAYER OF 3/8" PEA GRAVEL OVER WEED BARRIER LANDSCAPE EDGING (USE BETWEEN MINI-MULCH & PEA GRAVEL & BY ALL PROPERTY LINES)

IRRIGATION TYPE & NOTES:

5. IRRIGATION TYPE:

1.	WATER SUPPL:	CITY WATER
2.	TOTAL LANDSCAPE AREA (EXCLUDING DRIVEWAYS, PATHS & DECKS):	2268.5 SQ FT
3.	TOTAL LANDSCAPE AREAS AS DEFINED BY THE CALIFORNIA (MODEL WATER EFFICIENT LANDSCAPE ORDINANCE*:	CODE OF REGULATIONS 1535.7 SQ FT
4.	SPECIAL LANDSCAPE AREA**:	0.0 SQ FT

* 'LANDSCAPE AREA' MEANS ALL THE PLANTING AREAS, TURF AREAS, AND WATER FEATURES IN A LANDSCAPE DESIGN PLAN. THE LANDSCAPE AREA DOES NOT INCLUDE FOOTPRINTS OF BUILDINGS or STRUCTURES, SIDEWALKS DRIVEWAYS, PARKING LOTS, DECKS, PATIOS, GRAVEL or STONE WALKS, OTHER PERVIOUS or NON-PERVIOUS HARDSCAPES, AND OTHER NON-IRRIGATED AREAS DESIGNED FOR NON-DEVELOPMENT

DRIP-LINE SOURCE 18" DRIP DISTANCE

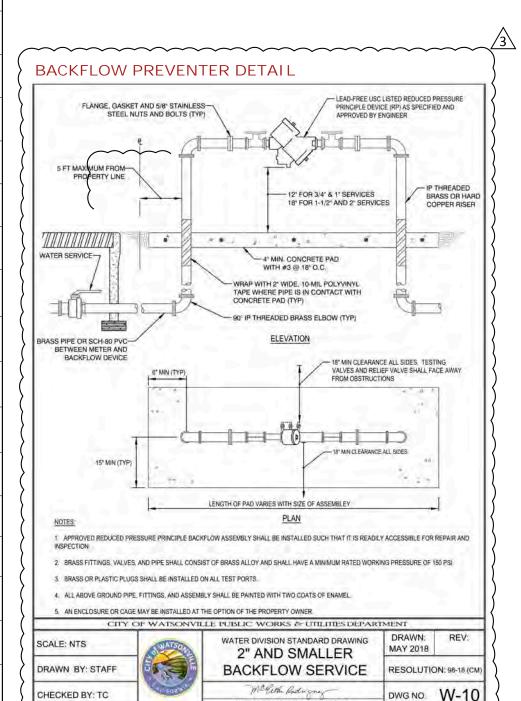
18" ROW SPACING

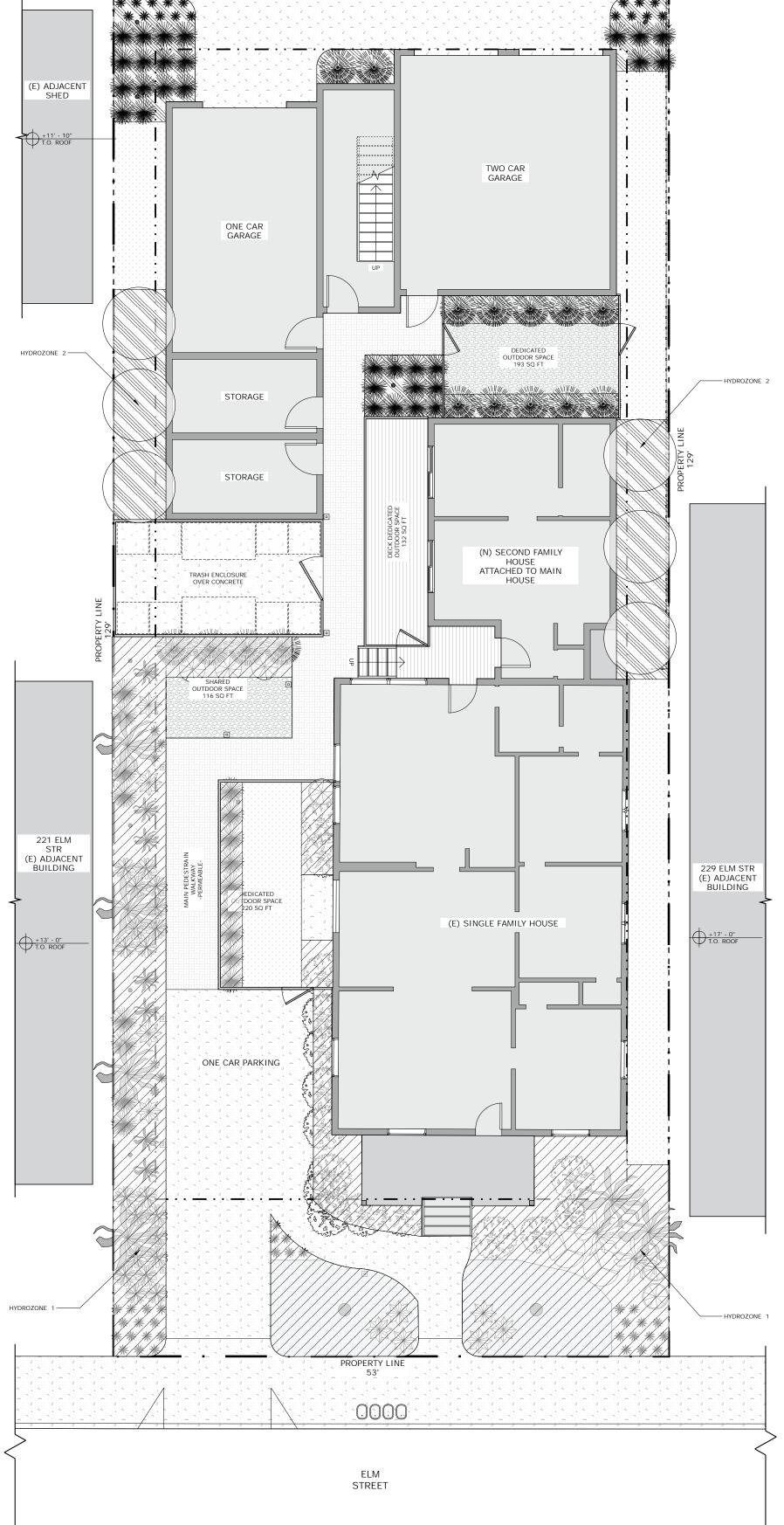
** 'SPECIAL LANDSCAPE AREA' MEANS AN AREA OF THE LANDSCAPE SOLELY TO EDIBLE PLANTS. RECREATIONAL AREAS, AREAS IRRIGATED WITH RECYCLED WATER, OR WATER FEATURES USING RECYCLED WATER

HYDROZO	ONES							
ZONE NUMBER	SYMBOL	WATER USE	WATER USE FACTOR*	EMITTER FLOW RATE (gph)	EMITTER & ROW SPACING (emitter/row)	APPLICATION RATE (in/hr)	AREA (sq ft)	ZONE FLOW (gpm)
1		LOW	0.3	0.4	18 in / 18 in	0.30	1027.3	3.04
2		LOW	0.3	0.4	18 in / 18 in	0.30	508.4	1.51
LANDSCAPE	E AREA						1535.7	
SPECIAL LA	NDSCAPE AF	REA					0.0	
TOTAL LANI	DSCAPE ARE	A					1535.7	
							-l-1010 T	ED LICE EXCTODO

		^WATER C	JSE FACTOR
	SHADE	PART SUN	SUN
LOW	0.1	0.2	0.3
MODERATE	0.4	0.5	0.6
HIGHT	0.7	0.8	0.9

IRRIGAT	TON SCHEDULE	I
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
X	ISOLATION VALVE NIBCO 1" TI-8	3
(BF)	BACKFLOW PREVENTER TO MEET THE REQUIRED CITY STANDARD DEATIL W-10. SEE DETAIL	1
	FLOW SENSOR HUNTER HC-100-FLOW	1
MV	MASTER VALVE HUNTER 1" PGV-101G	1
X	SHUT OFF VALVE NIBCO T-580-S6-R-66-LL	3
	CONTROL KIT, INCLUDES FILTER & PRESSURE REGULATOR HUNTER 1" PCZ-101 25 PSI	2
	MAIN PIPE & LATERAL LINE PIPE SCHEDULE 40 PVC	AS NEEDED
=======	SLEEVES SLEEVE 2" CLASS-200 PVC	PROVIDE SLEEVES AS NEEDED
	FITTINGS USE RAINBIRD 'EASY FIT COMPRESSION SYSTEM'	AS NEEDED
Ē	FLUSH RAINBIRD MDCFCAP	AT THE END OF DRIP LINE
Ą	AIR RELIEF SYSTEM RAINBIRD ARV 050	AT THE END OF DRIP LINE
	DRIP LINE HUNTER PLD-CV-04-18 (0.4 GPH, 18" SPACING)	AS NEEDED
	DRIP LINE FITTINGS HUNTER PLD-FITTING-LOC	AS NEEDED
<u>⟨</u>	CONTROLLER HUNTER PHC-1200 (OUTDOOR)	1
\triangle	RAIN SENSOR HUNTER RAIN CLICK	1





PROPERTY LINE

PROPOSED IRRIGATION PLAN - HYDROZONES SCALE : 1/8" = 1'-0"

E) ADJACENT SHED ONE CAR GARAGE STORAGE STORAGE -----ONE CAR PARKING

PROPOSED IRRIGATION PLAN

SCALE: 1/8" = 1'-0"

--*-*

PROPERTY LINE

دے لاک لاک کے ا TWO CAR

DEDICATED OUTDOOR SPACE 193 SQ FT

(N) SECOND FAMILY

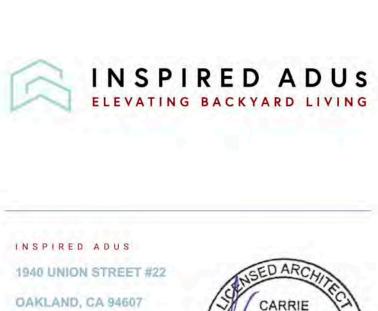
HOUSE ATTACHED TO MAIN

(E) SINGLE FAMILY HOUSE

PROPERTY LINE

ELM

STREET



SHORES DILLER

C-29312

OAKLAND, CA 94607 PHONE/FAX: 510-444-9788

IRRIGATION

SYSTEM POC

INSPIREDADUS.COM

PROJECT ARCHITECT CARRIE SHORES DILLER

> NEW DETACHED ACCESSORY D W E L L I N G U N I T

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

225 ELM ST, WATSONVILLE

SUBMITTAL

229 ELM STR

+17' - 0" T.O. ROOF

E) ADJACENT

PLANNING PERMIT SET / MARCH 2024

SUBMITTAL HISTORY & REVISIONS 3\ 06/03/2024 PLANNING PLAN CHECK COMMENTS II

* You may use these plans for the construction of one and only one house as depicted by the plans. This license is non-transferable.

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* Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, nailing, gluing, caulking, insulating, flashing, roofing, weatherproofing and many other small items and details not necessarily indicated on the plans, and over which Inspired ADUs and CARRIE SHORES-DILLER has no control or responsibility. Inspired ADUs and CARRIE SHORES-DILLER shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.

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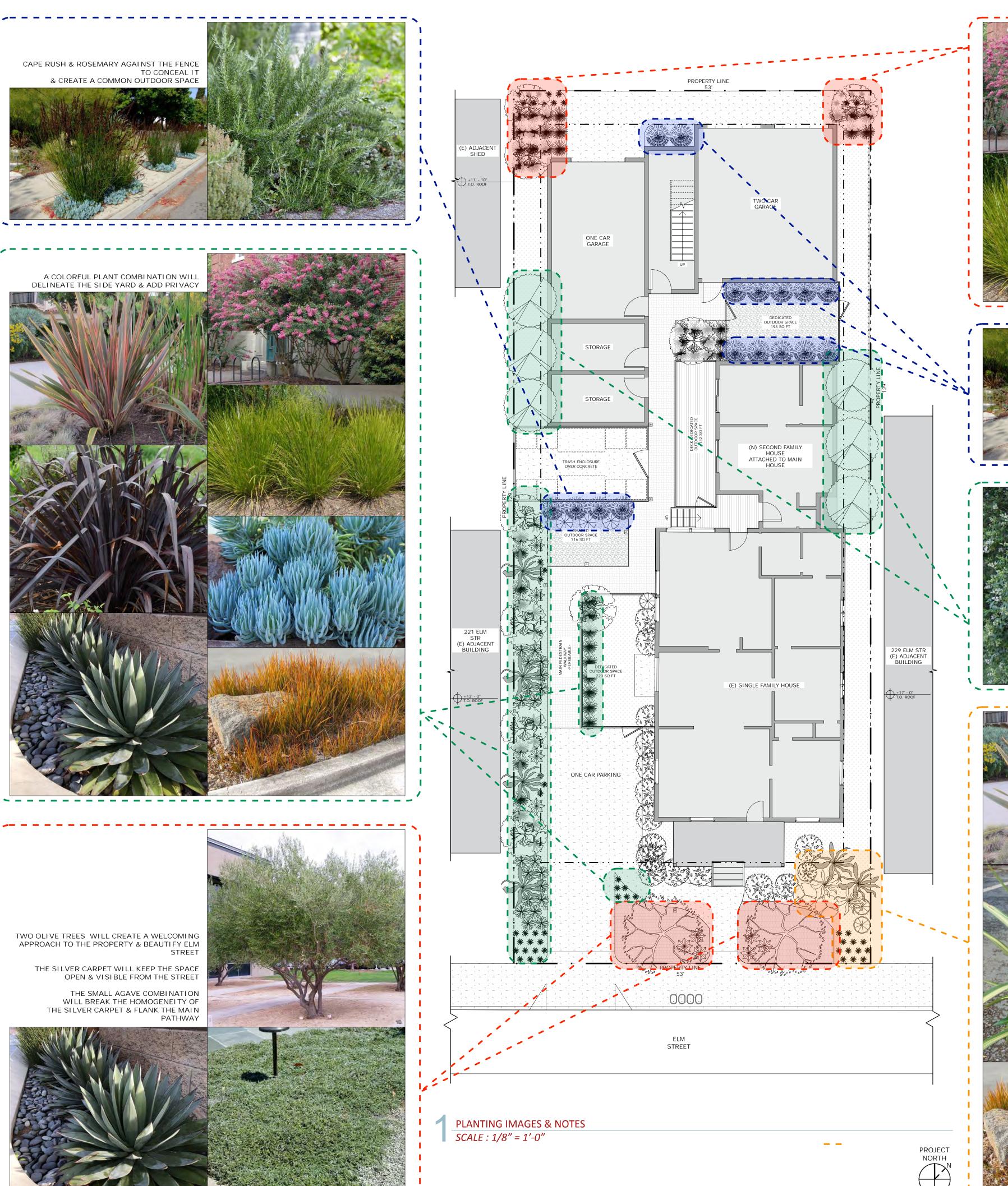
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\$100,000 per infringement.

PROPOSED IRRIGATION PLAN









CAPE RUSH WILL SOFTEN THE WALLS FOR THE DEDICATED OUTDOOR SPACE



THE CALIFORNIA PRIVETS WILL MAKE THE NEW BUILDINGS LESS VISIBLE FOR THE NEIGHBORING PROPERTIES





1940 UNION STREET #22
OAKLAND, CA 94607
PHONE/FAX: 510-444-9788

INSPIREDADUS.COM
PROJECT ARCHITECT

CARRIE SHORES DILLER

CARRIE
SHORES DILLER

C-29312

*

02-28-2025

RENEWAL
DATE
OF CALIFORNIA

NEW DETACHED ACCESSORY DWELLING UNIT

225 ELM ST, WATSONVILLE

RESERVED AREA FOR CITY DATE & APPROVAL STAMPS

SUBMITTAL

PLANNING PERMIT SET / MARCH 2024

SUBMITTAL HISTORY & REVISIONS

3 06/03/2024 PLANNING PLAN CHECK COMMENTS II

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PLANTING IMAGES & NOTES

L. 4