

NEW RESIDENTIAL DEVELOPMENT FOR EVAN CIRCLE, LLC - PHASE TWO

AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA



WILLIAM C. KEMPF
ARCHITECTS
105 LOCUST STREET, SUITE B
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VICINITY MAP

CONSULTANTS	
ARCHITECT:	WILLIAM C. KEMPF, ARCHITECTS 105 LOCUST STREET, SUITE B SANTA CRUZ, CA 95060 BILL KEMPF: 831 459-0951
CIVIL ENGINEER:	IFLAND ENGINEERS 1509 SEABRIGHT AVENUE, SUITE 1B SANTA CRUZ, CA 95062 JON IFLAND: 831 426-5313
LANDSCAPE ARCHITECT:	mbLA P.O. BOX 328 APTOS, CA 95001 MEGAN BISHOP: 831 818-9227
GEOTECHNICAL ENGINEER:	HARO KASUNICH & ASSOCIATES, INC. 116 EAST LAKE AVENUE WATSONVILLE, CA 95076 MOSES CUPRILL: 831 722-4175

PROJECT DATA

OWNER: EVAN CIRCLE, LLC
315 LIBERTY STREET
SANTA CRUZ, CA 95060
DOUG WALLACE: 831 254-1029

ASSESSORS PARCEL NUMBERS: 015-391-43 & 015-391-49

PROJECT SITE: EVAN CIRCLE
WATSONVILLE, CALIFORNIA

ZONING: RM-2 = MULTI-RESIDENTIAL

OCCUPANCY GROUP: R-3, U

CONSTRUCTION TYPE: TYPE V-B WITH FIRE SPRINKLERS

DEVELOPMENT AREA:
APN: 015-391-43 = 18,417 S.F.
APN: 015-391-49 = 9,606 S.F.
GROSS AREA = 28,023 S.F.
(±0.64 ACRES)

PROJECT DESCRIPTION:
NEW RESIDENTIAL DEVELOPMENT ON AN EXISTING VACANT PARCEL FOR FIVE NEW TWO-STORY SINGLE-FAMILY RESIDENCES, EACH WITH AN ATTACHED ACCESSORY DWELLING UNIT (ADU), THIS PROJECT MEETS THE CONDITIONS OF SB330

PROJECT SUMMARY

THIS PROJECT IS A CONTINUATION OF A LARGER RESIDENTIAL DEVELOPMENT THAT WAS STARTED IN 2006 BY THE SAME OWNERS. PHASE ONE WAS APPROVED AND BUILT OUT BETWEEN 2012 AND 2016. THE TWO EXISTING VACANT LOTS DEFINING THIS PHASE TWO DEVELOPMENT RECEIVED A TENTATIVE MAP APPROVAL FOR 5 NEW SFD LOTS AROUND 2015. THIS TENTATIVE MAP WAS NEVER RECORDED AS A FINAL MAP AND EXPIRED. THE PROPOSED TENTATIVE MAP HEREIN IS VERY SIMILAR TO THE PREVIOUSLY APPROVED MAP.

ACCORDING TO THE CITY OF WATSONVILLE'S AFFORDABLE HOUSING ORDINANCE 14-46, THIS PROJECT SHOULD BE EXEMPT DUE TO IT HAVING LESS THAN 7 NEW LOTS. BUT THE ORIGINAL APPROVAL OF PHASE ONE & TWO HAD A REQUIREMENT OF 2 AFFORDABLE LOTS. THIS WAS BASED ON 15% OF THE 12 RESIDENTIAL LOTS THAT WERE PROPOSED BACK IN 2007. ONLY ONE LOT WAS MADE AFFORDABLE IN PHASE ONE AND ONE AFFORDABLE LOT REMAINED FOR INCLUSION WITH PHASE TWO. THIS SECOND AFFORDABLE UNIT IS PROPOSED FOR LOT 9.

DENSITY BONUS CALCULATION
PER CALIFORNIA DENSITY BONUS LAW & CITY OF WATSONVILLE ORD. 14-47

THE CURRENT ZONING IS RM-2 AND A 'STANDARD LOT SUBDIVISION' IS PROPOSED, LOT 9 IS DESIGNATED AS AFFORDABLE

USING EXISTING ZONING (RM-2, STANDARD LOT SUBDIVISION)

- MINIMUM LOT SIZE: 5,000 SF
- GROSS LOT AREA: 28,023 SF
- ROW AREA: 7,505 SF
- NET LOT AREA: 20,518 SF
- UNITS ALLOWED: 20,518 / 5,000 = 4.10 UNITS

4 SFD LOTS ALLOWED WITHOUT DENSITY BONUS (NO ROUNDING UP)

ACCORDING TO CITY OF WATSONVILLE ORDINANCE 14-47.060 (a) (2), IF AT LEAST 10% OF A RESIDENTIAL DEVELOPMENTS UNITS ARE AFFORDABLE TO LOW INCOME HOUSEHOLDS, A 20% DENSITY BONUS CAN BE APPLIED.

4 ALLOWED UNITS X 20% BONUS = 4.8 UNITS
4.8 UNITS ROUNDS UP TO 5 UNITS

INCENTIVES & CONCESSIONS AVAILABLE
ACCORDING TO CITY OF WATSONVILLE ORDINANCE 14-47.060 (D) (2), TWO INCENTIVES OR CONCESSIONS ARE AVAILABLE FOR RESIDENTIAL DEVELOPMENTS THAT INCLUDE AT LEAST 20% OF THE UNITS FOR LOWER INCOME HOUSEHOLDS

INCENTIVES REQUESTED:
NONE

CONCESSIONS REQUESTED:
#1 - REDUCE MINIMUM LOT SIZES
#2 - REDUCE MINIMUM LOT WIDTH (LOT 12 ONLY)

WAIVERS REQUESTED:
#1 - REDUCE FRONT YARD SETBACK FROM 20' TO 15'
#2 - REDUCE 20' SETBACK TO SIDEWALK DOWN TO 10'
#3 - REDUCE REAR YARD SETBACK FROM 20' TO 15' (LOT 9 ONLY)

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AREA CALCULATIONS

TOTAL LOT AREA:	28,023 S.F.
TOTAL IMPERVIOUS AREA:	18,010 S.F. (64%)
TOTAL PERVIOUS AREA:	10,013 S.F. (36%)
PROPOSED LOT AREAS:	
LOT 9:	4,023 S.F.
LOT 10:	4,000 S.F.
LOT 11:	4,280 S.F.
LOT 12:	4,198 S.F.
LOT 13:	4,017 S.F.
TOTAL:	20,518 S.F.
RIGHT OF WAY AREA:	7,505 S.F.
PROPOSED GROSS FLOOR AREAS:	
LOT 9:	2,292 S.F.
LOT 10:	2,638 S.F.
LOT 11:	2,638 S.F.
LOT 12:	2,638 S.F.
LOT 13:	2,638 S.F.
TOTAL:	12,844 S.F.

(REFER TO SHEETS A3.1, A4.1, & A5.1 FOR AREA BREAKDOWNS)

AREA CALCULATIONS

REVISIONS		
No.	DESCRIPTION	DATE
1	RESPONSE 1	6/21/24

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EVAN CIRCLE, LLC - PHASE TWO
 AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA
 PROJECT DATA & SUMMARY, VICINITY MAP

DRAWING DATE: FEBRUARY 5, 2024
A.P.N. 015-391-43 & 49
CLIENT NAME: WALLACE
PROJECT NAME: EVAN CIRCLE - PHASE 2

REVISIONS		
No.	DESCRIPTION	DATE
1	RESPONSE 1	6/21/24

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A1.1



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NEW RESIDENTIAL DEVELOPMENT FOR
EVAN CIRCLE, LLC - PHASE TWO
AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA
PROPOSED DEVELOPMENT PLAN

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SHEET
A2.1



GINOS COURT

111 GINOS COURT

170 EVAN COURT

160 EVAN COURT

128 EVAN COURT

120 EVAN COURT

116 EVAN COURT

EVAN COURT
(EXISTING HALF ROAD TO REMAIN)

CONCURRENT DEVELOPMENT BY HABITAT FOR HUMANITY, UNDER SEPARATE PERMIT, APPLICATION #PP2023-6034 (SHOWN FOR REFERENCE ONLY)

HABITAT LOTS 1-10 WILL HAVE EVAN COURT ADDRESSES, LOTS 11-13 WILL HAVE EVAN CIRCLE ADDRESSES

HABITAT LOTS 11-13 WILL HAVE EVAN CIRCLE ADDRESSES, LOTS 1-10 WILL HAVE EVAN COURT ADDRESSES

EVAN CIRCLE, LLC - LOTS 9-13 WILL HAVE EVAN CIRCLE ADDRESSES

EVAN CIRCLE
PHASE TWO

EVAN CIRCLE - PHASE ONE

AIRPORT ROAD

110 ROSITA LANE

1 PROPOSED DEVELOPMENT PLAN
SCALE: 1" = 20'-0"



SHEET
A2.1

HABITAT PROJECT

APN 015-391-20
RM-2 ZONING

PARKING ANALYSIS

GARAGE PARKING REQUIRED: 1 GARAGE SPACE PER UNIT =	5 SPACES
ADU PARKING REQUIRED: 1 SPACE PER ADU =	5 SPACES
GUEST PARKING REQUIRED: 1 SPACE PER 4 BEDROOMS =	5 SPACES
TOTAL PARKING REQUIRED:	15 SPACES
TOTAL PARKING PROVIDED:	15 SPACES

TRASH CANS ARE LOCATED IN THE SIDE YARDS BEHIND A FENCE & GATE. THE DRIVEWAY IS WIDENED TO PROVIDE A CLEAR PATH TO THE STREET. TRASH CANS WILL NOT BE PLACED IN FRONT OF DRIVEWAYS FOR PICK-UP, TYPICAL



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PROPOSED SITE PLAN

DRAWING DATE:
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015-391-43 & 49

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WALLACE

PROJECT NAME:
EVAN CIRCLE - PHASE 2

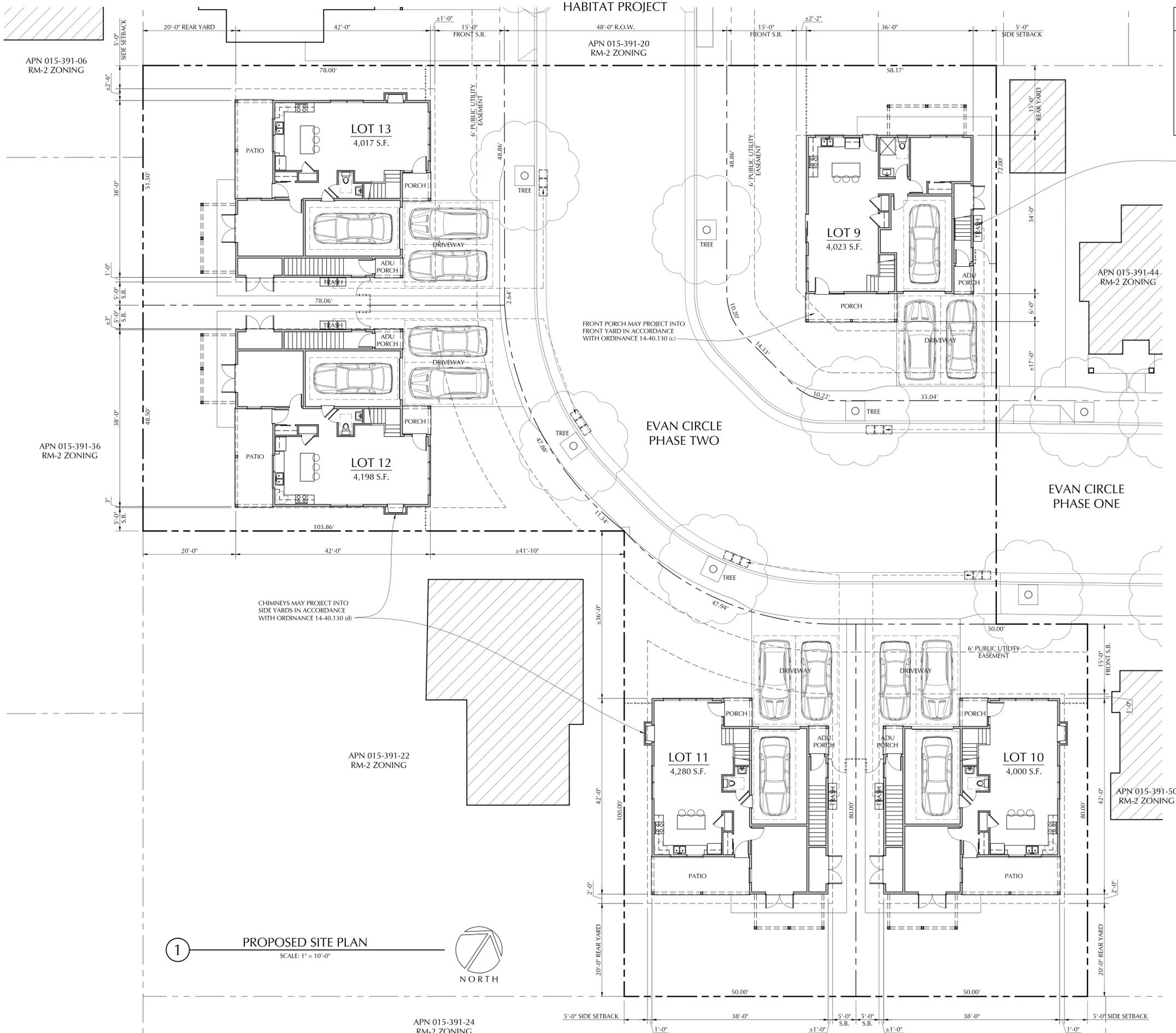
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A2.2



1 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"
NORTH

APN 015-391-24
RM-2 ZONING



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PROPOSED FLOOR PLANS - LOT 9

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EVAN CIRCLE - PHASE 2

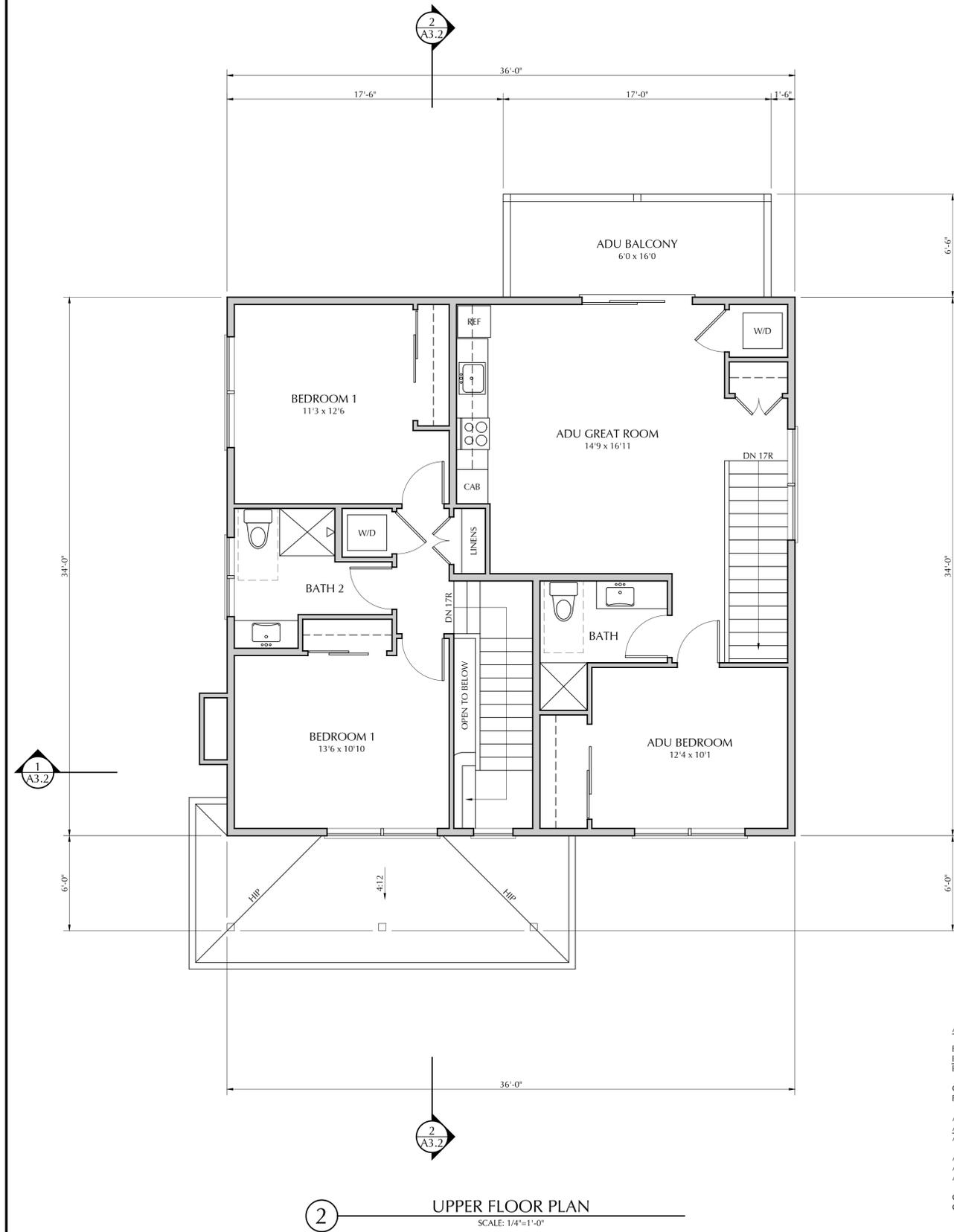
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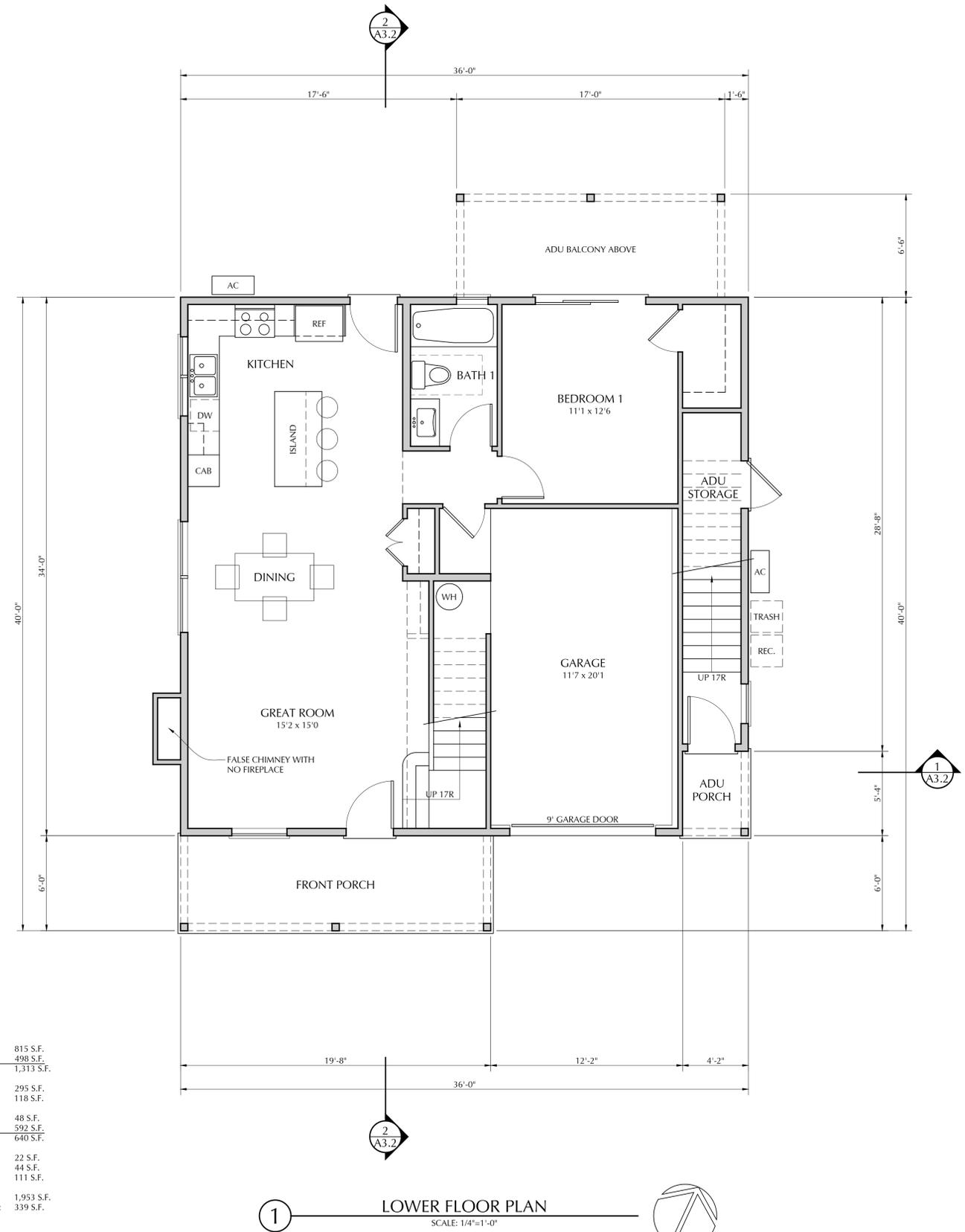
SHEET
A3.1



2 UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"

AREA CALCULATIONS

PRIMARY LOWER FLOOR:	815 S.F.
PRIMARY UPPER FLOOR:	498 S.F.
PRIMARY UNIT HEATED:	1,313 S.F.
ONE CAR GARAGE:	295 S.F.
FRONT PORCH:	118 S.F.
ADU LOWER FLOOR:	48 S.F.
ADU UPPER FLOOR:	392 S.F.
ADU TOTAL:	640 S.F.
ADU PORCH:	22 S.F.
ADU STORAGE:	44 S.F.
ADU BALCONY:	111 S.F.
GROSS CONDITIONED:	1,953 S.F.
GROSS UNCONDITIONED:	339 S.F.



1 LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"





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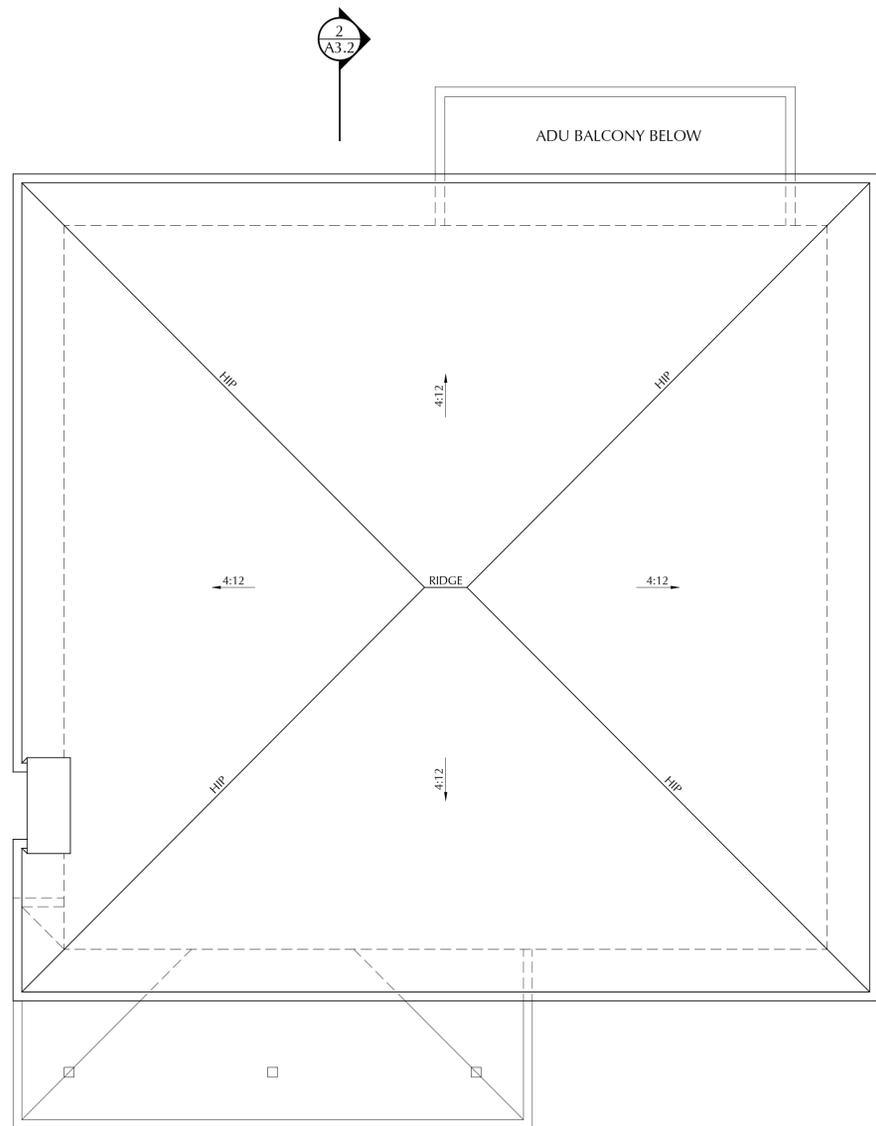
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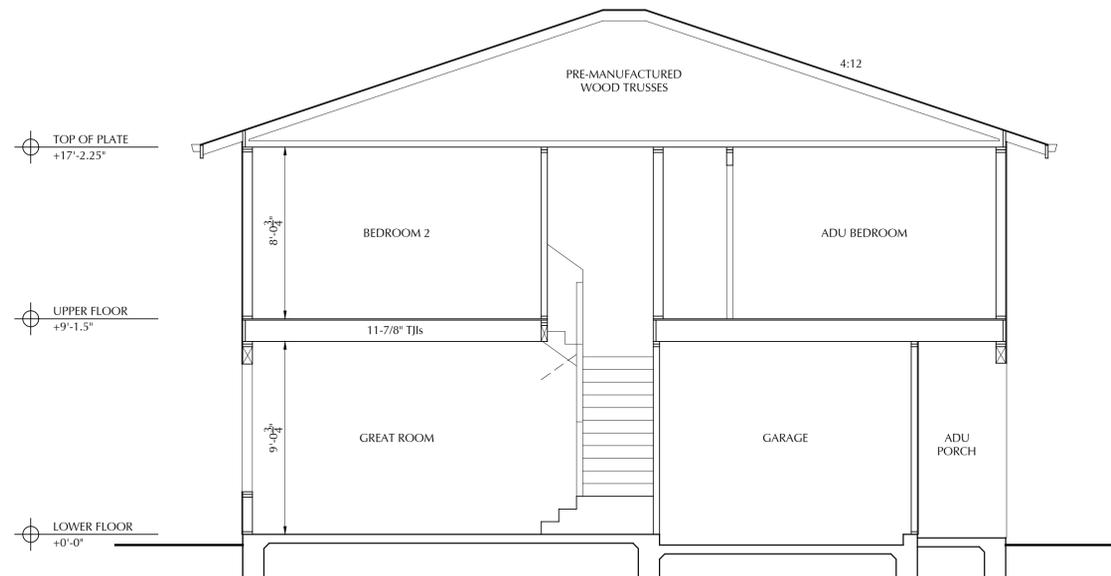
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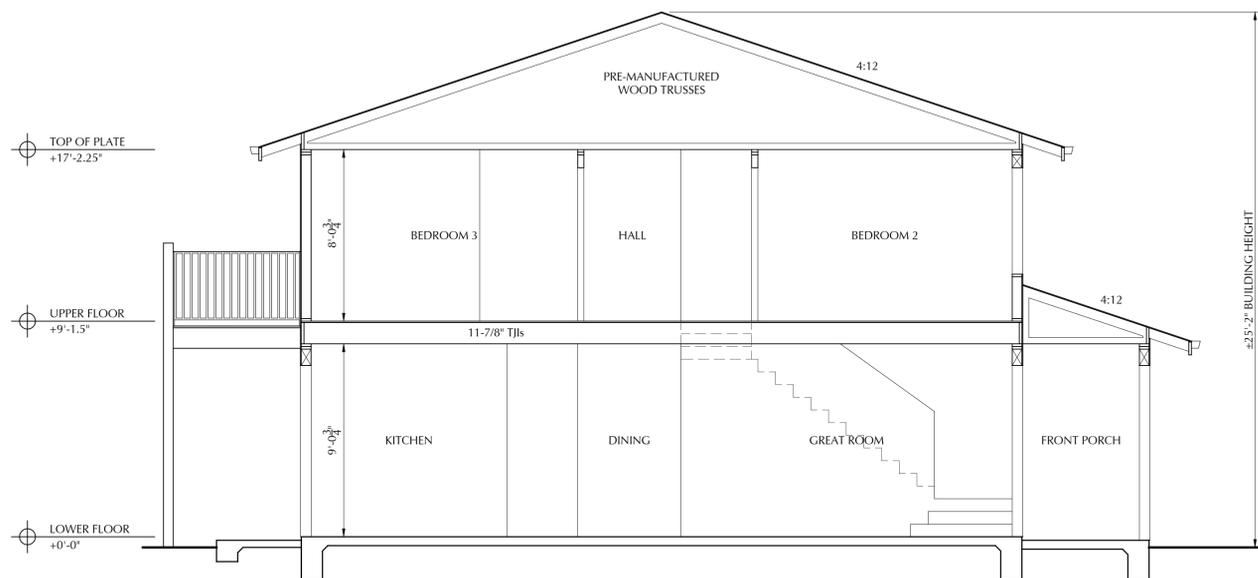
A3.2



3 ROOF PLAN
SCALE: 1/4"=1'-0"



1 ARCHITECTURAL SECTION
SCALE: 1/4"=1'-0"



2 ARCHITECTURAL SECTION
SCALE: 1/4"=1'-0"



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EXTERIOR ELEVATIONS - LOT 9

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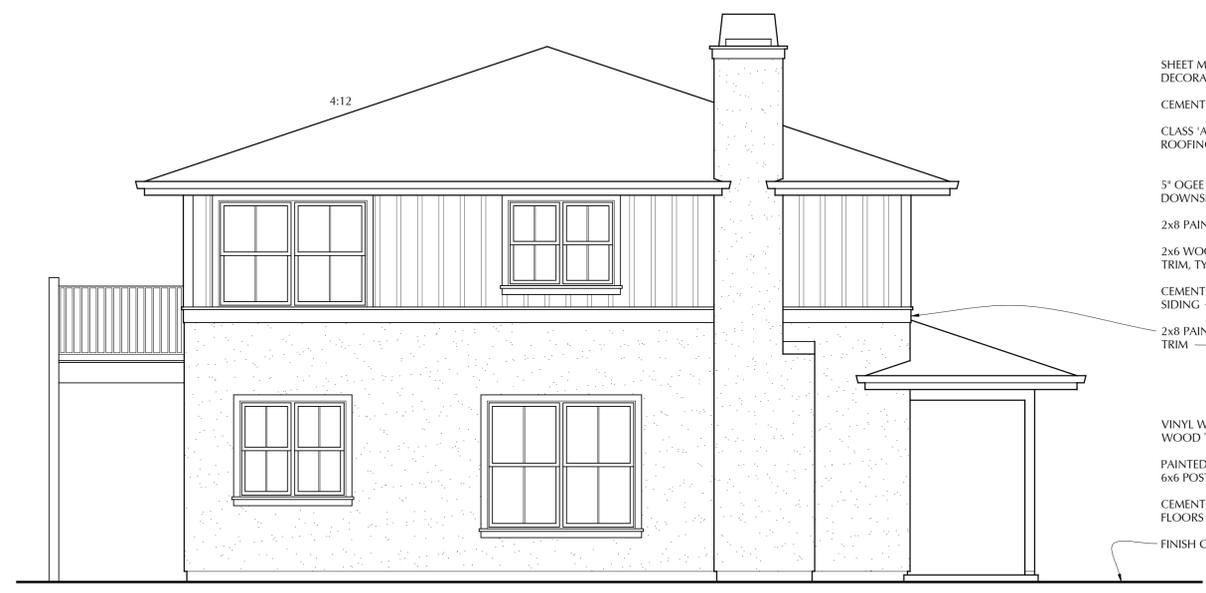
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SHEET
A3.3

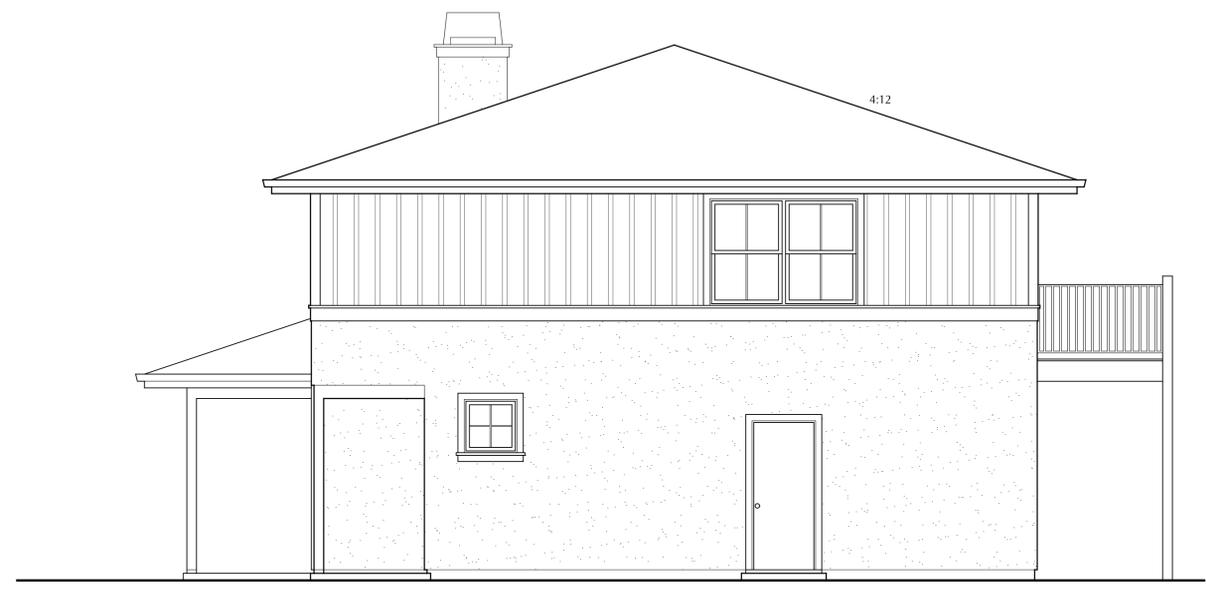


2 ————— **SOUTHWEST ELEVATION**
SCALE: 1/4"=1'-0"



1 ————— **SOUTHEAST ELEVATION**
SCALE: 1/4"=1'-0"

- SHEET METAL CHIMNEY CAP AS SHOWN, DECORATIVE ONLY AT LOT 9
- CEMENT PLASTER FINISH ON CHIMNEY, TYP.
- CLASS 'A', 40 YEAR, ASPHALT COMPOSITION ROOFING SHINGLES
- 5" OGEE SHAPED PAINTED GUTTERS WITH 2"Ø DOWNSPOUTS
- 2x8 PAINTED WOOD FASCIA BOARD
- 2x6 WOOD CORNER BOARD PAINT GRADE TRIM, TYPICAL
- CEMENTITIOUS VERTICAL BOARD & BATTEN SIDING
- 2x8 PAINTED BELTLINE HORIZONTAL WOOD TRIM
- VINYL WINDOWS WITH PAINT GRADE 2x4 WOOD TRIM AND 2x3 WOOD SILL, TYPICAL
- PAINTED STRUCTURAL WOOD PORCH WITH 6x6 POSTS, TYPICAL
- CEMENT PLASTER FINISH, TYPICAL AT FIRST FLOORS
- FINISH GRADE



4 ————— **NORTHEAST ELEVATION**
SCALE: 1/4"=1'-0"



3 ————— **NORTHWEST ELEVATION**
SCALE: 1/4"=1'-0"



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PROPOSED FLOOR PLANS - LOTS 10 & 12

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EVAN CIRCLE - PHASE 2		

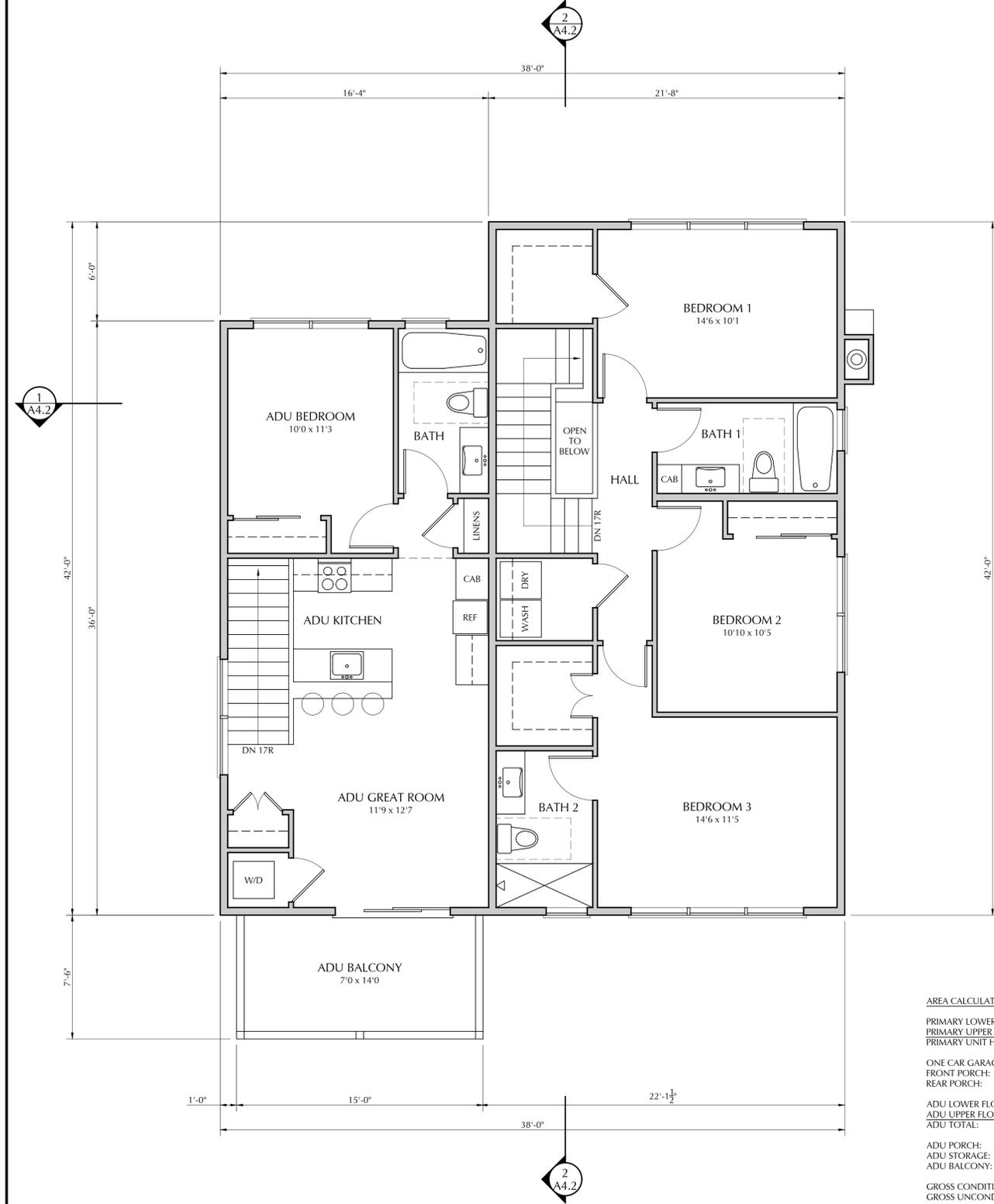
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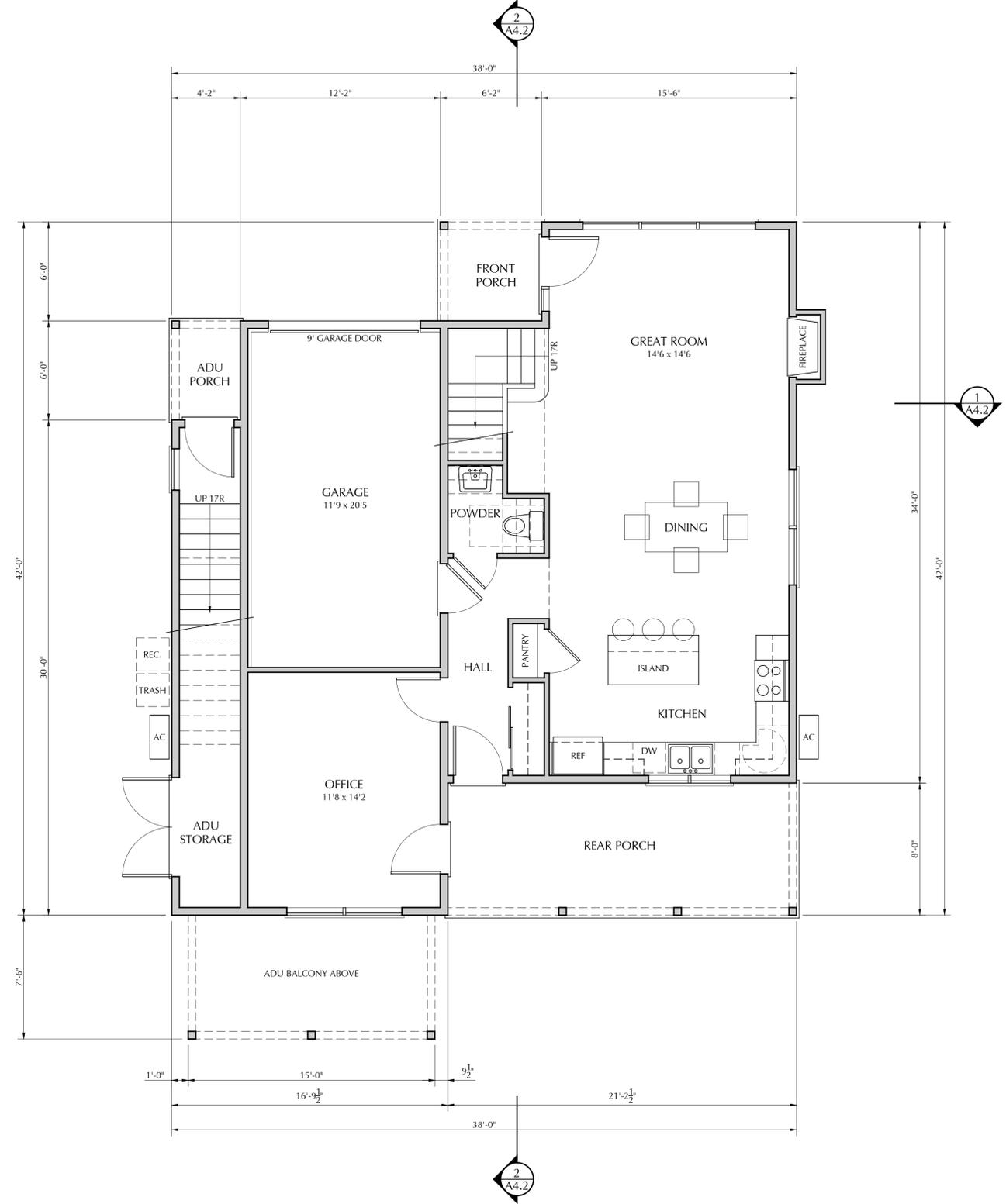
SHEET
A4.1



2 UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"

AREA CALCULATIONS

PRIMARY LOWER FLOOR:	886 S.F.
PRIMARY UPPER FLOOR:	819 S.F.
PRIMARY UNIT HEATED:	1,705 S.F.
ONE CAR GARAGE:	249 S.F.
FRONT PORCH:	37 S.F.
REAR PORCH:	170 S.F.
ADU LOWER FLOOR:	69 S.F.
ADU UPPER FLOOR:	552 S.F.
ADU TOTAL:	621 S.F.
ADU PORCH:	25 S.F.
ADU STORAGE:	63 S.F.
ADU BALCONY:	113 S.F.
GROSS CONDITIONED:	2,326 S.F.
GROSS UNCONDITIONED:	312 S.F.



1 LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"



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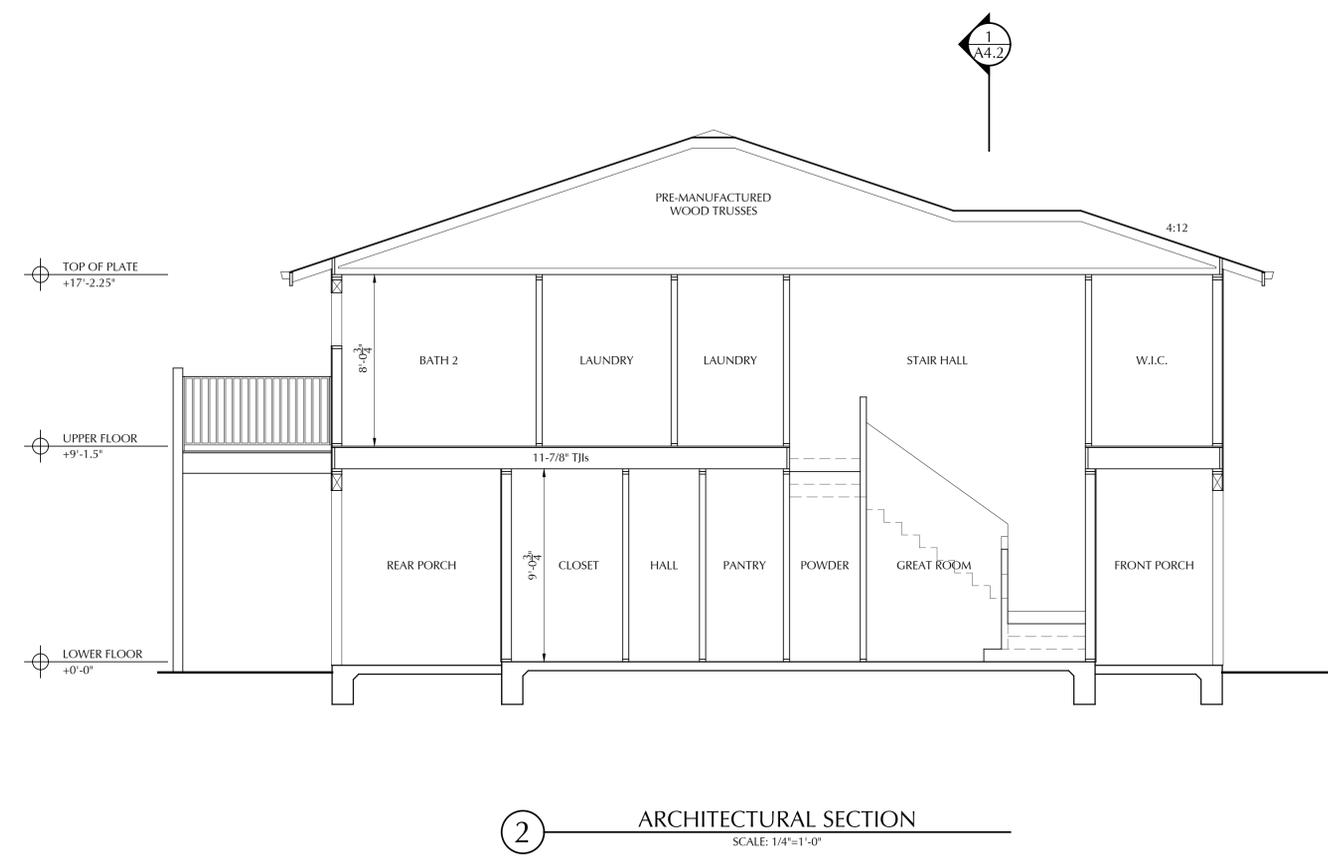
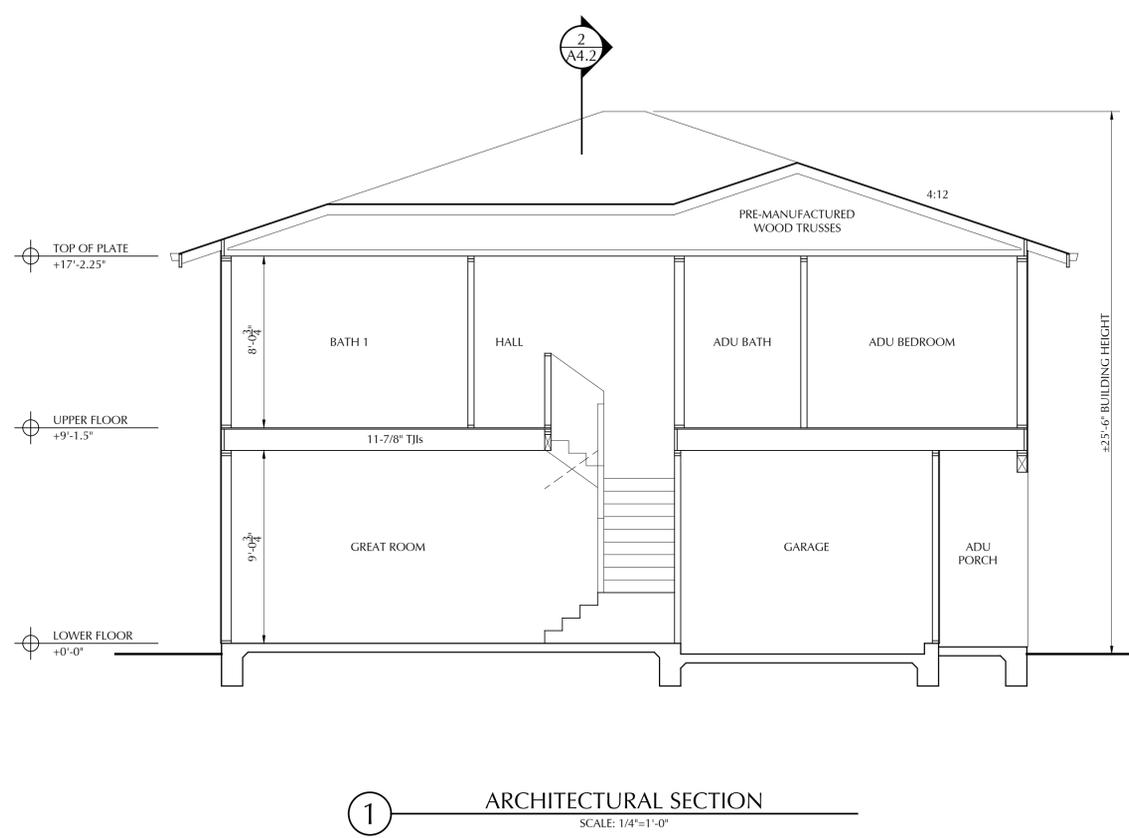
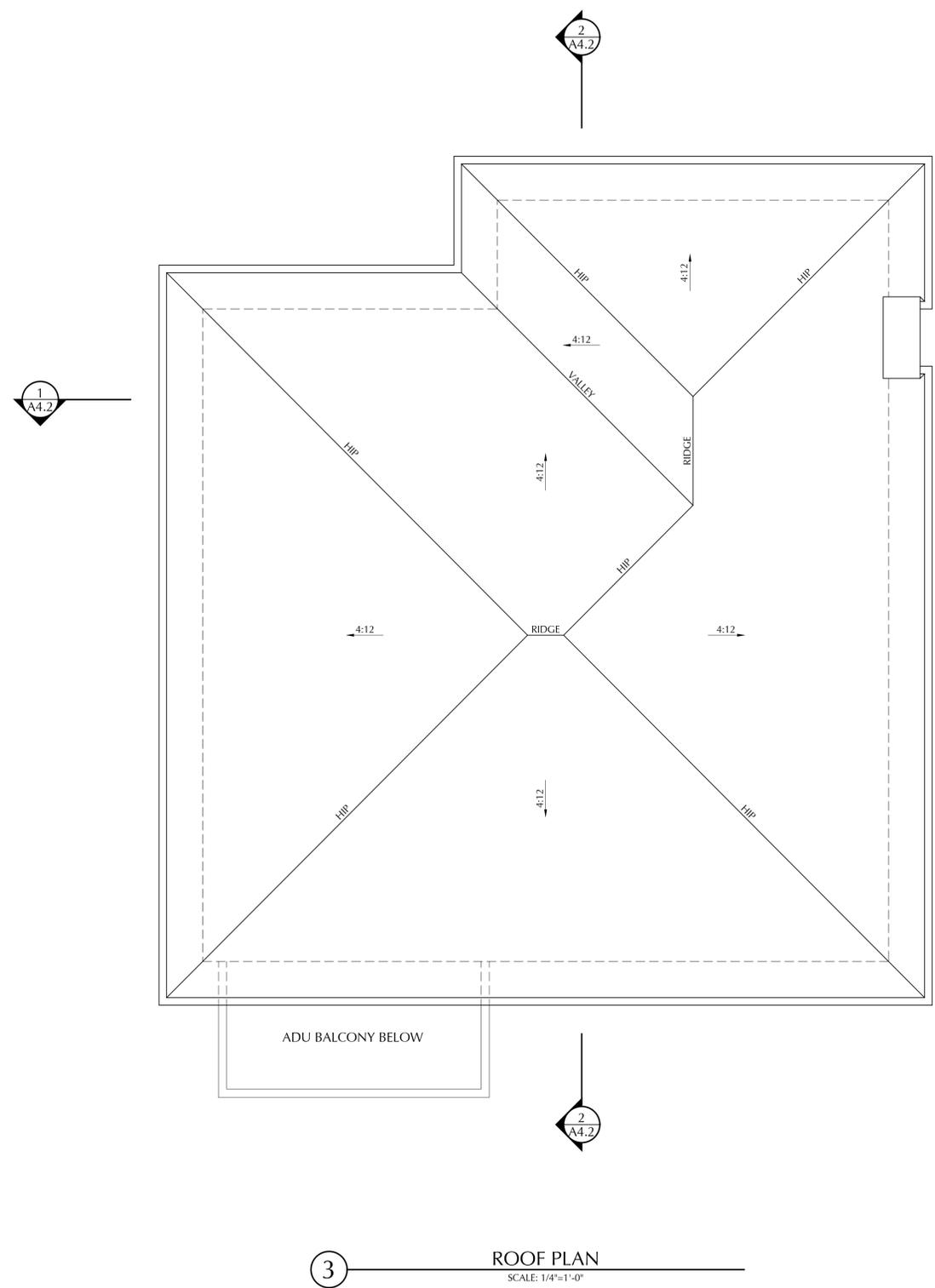
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A4.2





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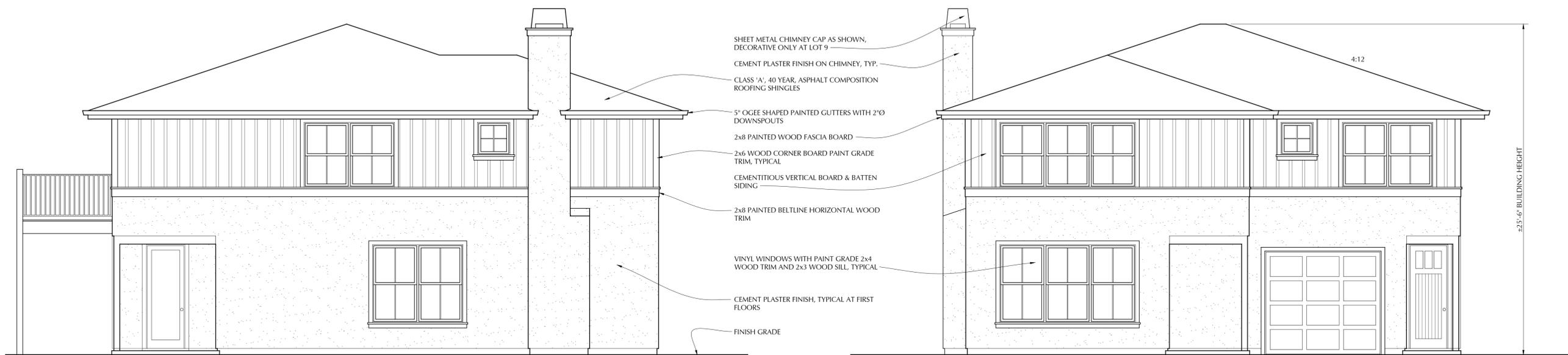
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SHEET

A4.3



2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

1 STREET ELEVATION
SCALE: 1/4"=1'-0"



4 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
SCALE: 1/4"=1'-0"



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PROPOSED FLOOR PLANS - LOTS 11 & 13

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CLIENT NAME:		WALLACE
PROJECT NAME:		EVAN CIRCLE - PHASE 2

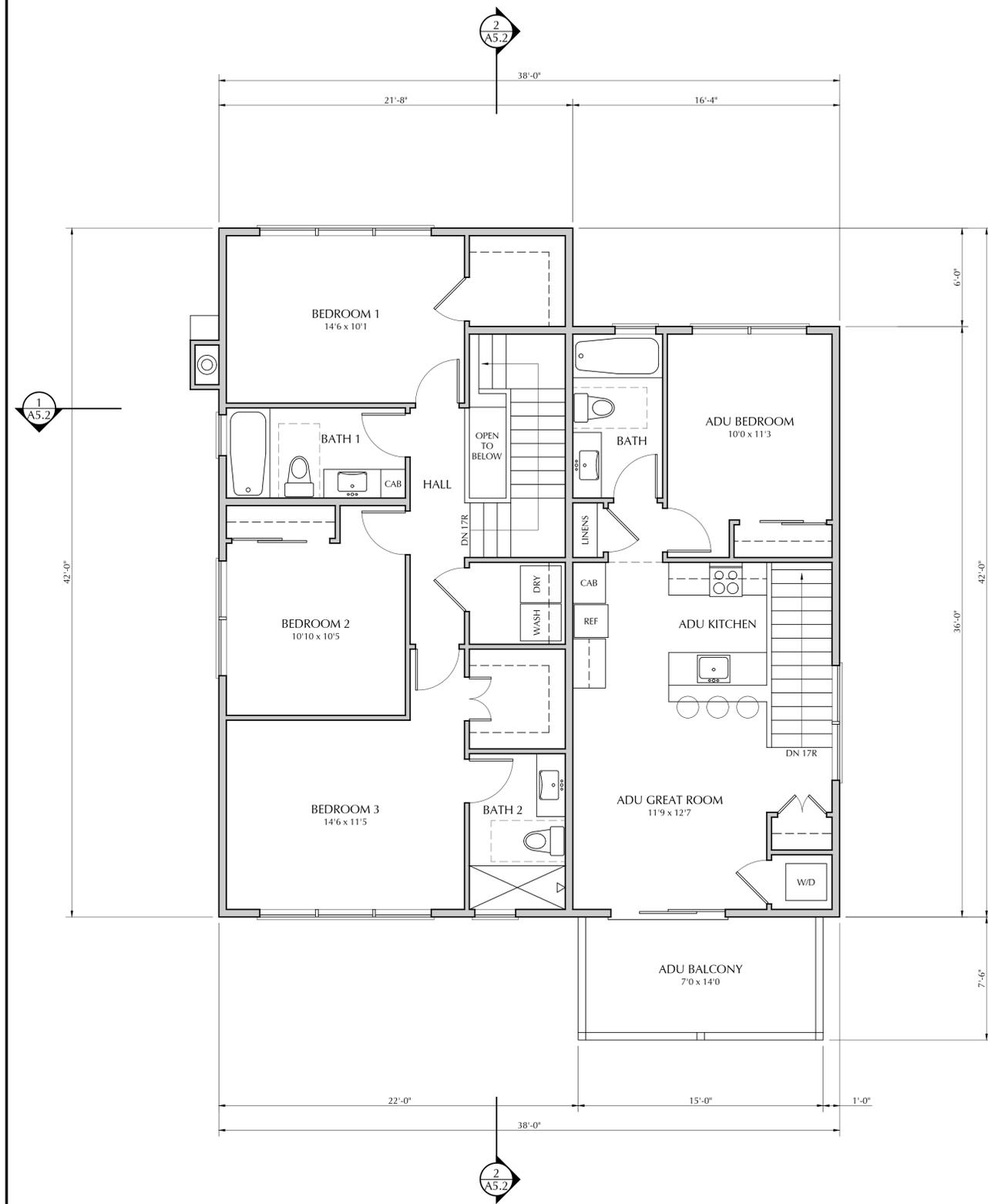
REVISIONS		
No.	DESCRIPTION	DATE
1	RESPONSE 1	6/21/24

PRELIMINARY
NOT FOR
CONSTRUCTION

STAMP

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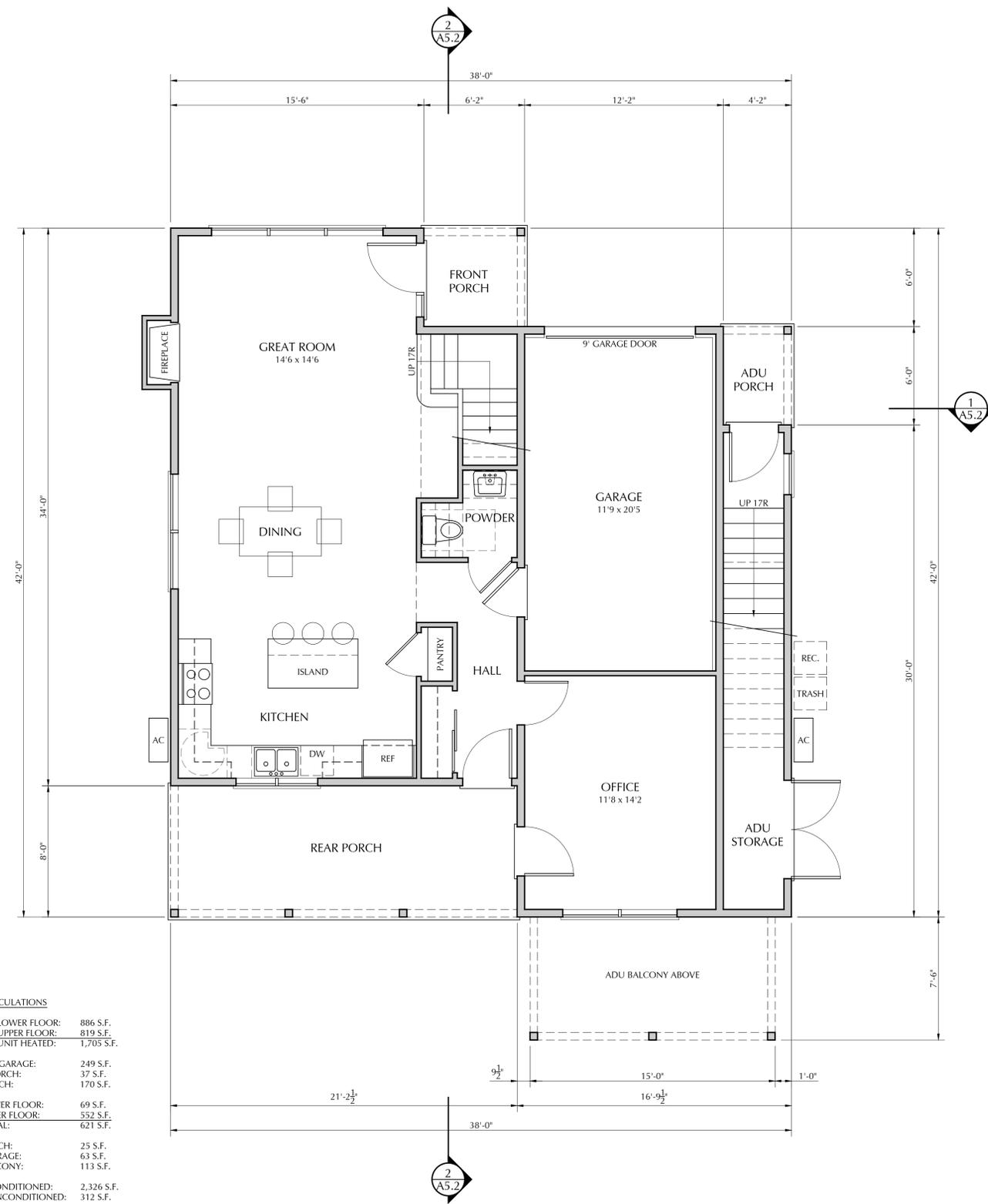
SHEET
A5.1



2 UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"

AREA CALCULATIONS

PRIMARY LOWER FLOOR:	886 S.F.
PRIMARY UPPER FLOOR:	819 S.F.
PRIMARY UNIT HEATED:	1,705 S.F.
ONE CAR GARAGE:	249 S.F.
FRONT PORCH:	37 S.F.
REAR PORCH:	170 S.F.
ADU LOWER FLOOR:	69 S.F.
ADU UPPER FLOOR:	552 S.F.
ADU TOTAL:	621 S.F.
ADU PORCH:	25 S.F.
ADU STORAGE:	63 S.F.
ADU BALCONY:	113 S.F.
GROSS CONDITIONED:	2,326 S.F.
GROSS UNCONDITIONED:	312 S.F.



1 LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"



WILLIAM C. KEMPF
ARCHITECTS
105 Locust Street, Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW RESIDENTIAL DEVELOPMENT FOR
EVAN CIRCLE, LLC - PHASE TWO
AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA
ROOF PLAN & ARCH. SECTIONS - LOTS 11 & 13

DRAWING DATE:	FEBRUARY 5, 2024
A.P.N.:	015-391-43 & 49
CLIENT NAME:	WALLACE
PROJECT NAME:	EVAN CIRCLE - PHASE 2

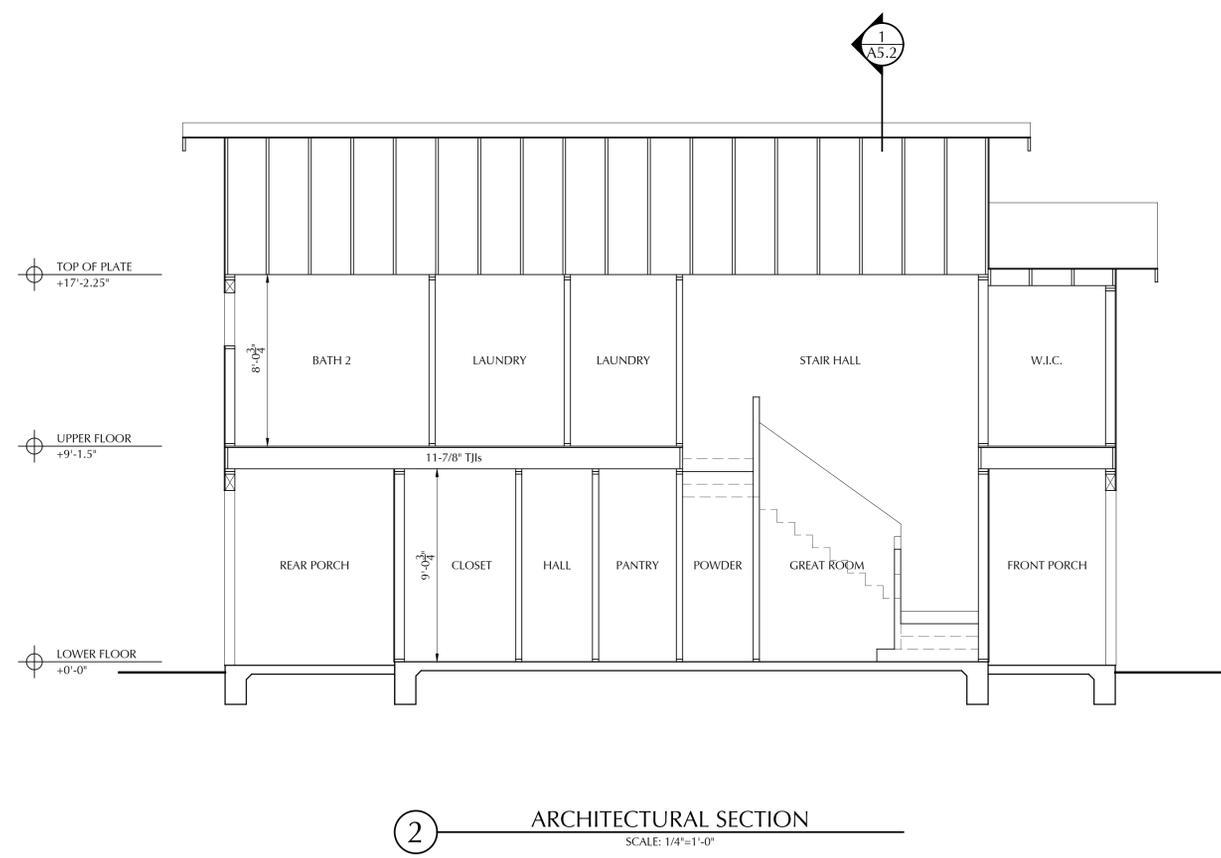
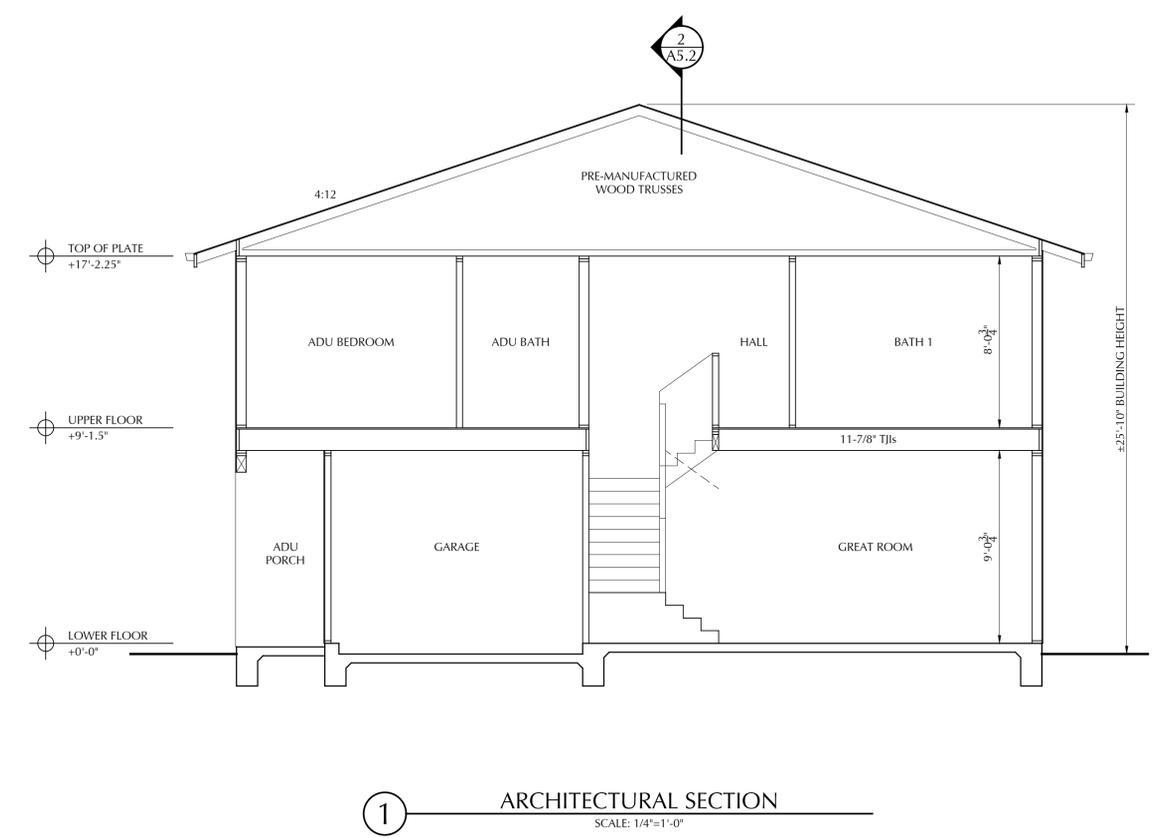
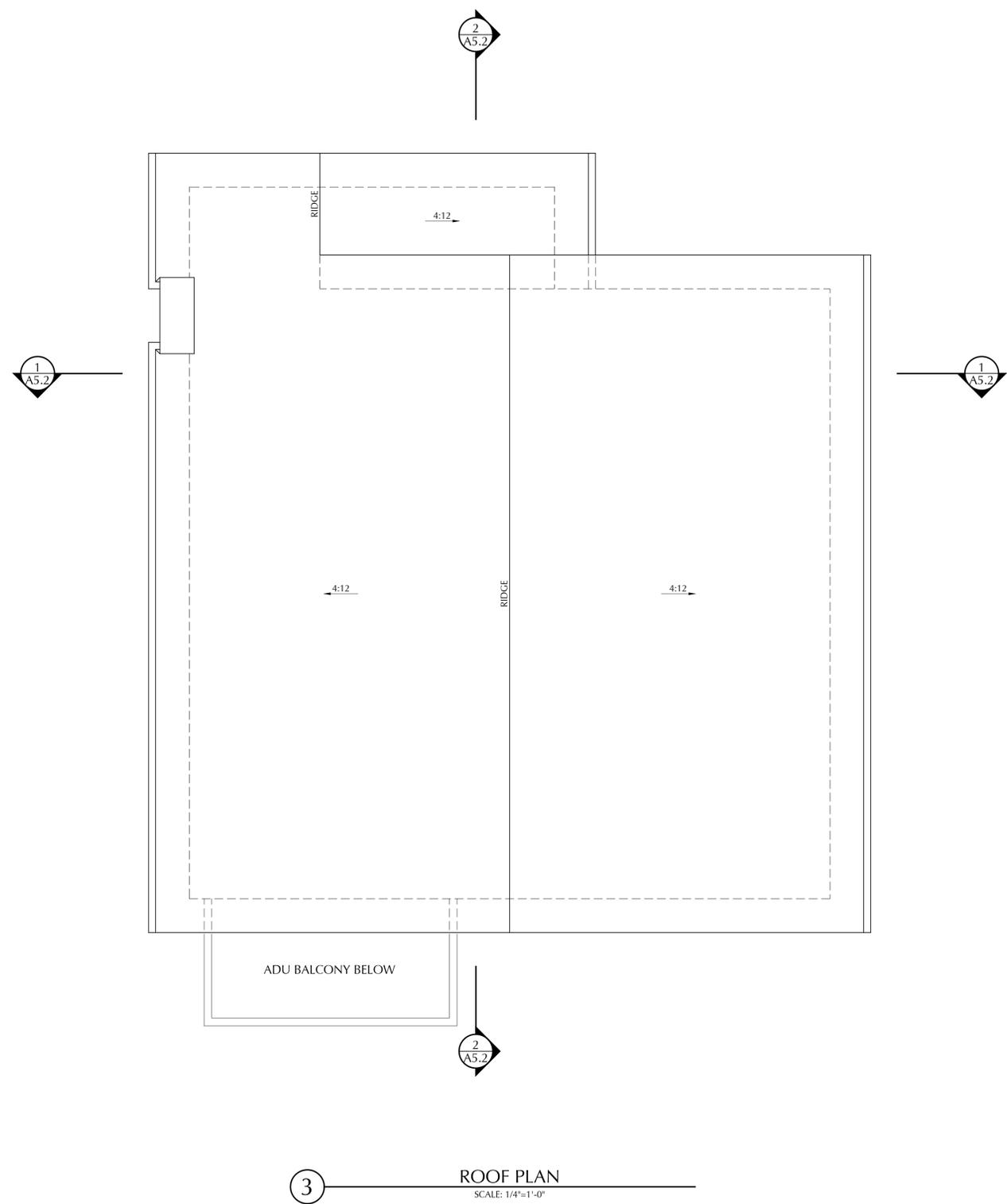
REVISIONS		
No.	DESCRIPTION	DATE
1	RESPONSE 1	6/21/24

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SHEET
A5.2





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 Santa Cruz, CA 95060
 831 459-0951
 www.wckempf.com

NEW RESIDENTIAL DEVELOPMENT FOR
EVAN CIRCLE, LLC - PHASE TWO
 AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA
 EXTERIOR ELEVATIONS - LOTS 11 & 13

DRAWING DATE:		
FEBRUARY 5, 2024		
A.P.N.:		
015-391-43 & 49		
CLIENT NAME:		
WALLACE		
PROJECT NAME:		
EVAN CIRCLE - PHASE 2		

REVISIONS		
No.	DESCRIPTION	DATE
1	RESPONSE 1	6/21/24

APPROVAL STAMP

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

STAMP

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SHEET

A5.3



2 LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



1 STREET ELEVATION
 SCALE: 1/4"=1'-0"

- CLASS 'A', 40 YEAR, ASPHALT COMPOSITION ROOFING SHINGLES
- 5" OGEE SHAPED PAINTED GUTTERS WITH 2"Ø DOWNSPOUTS
- 2x8 PAINTED WOOD FASCIA & BARGE BOARDS
- 2x6 WOOD CORNER BOARD PAINT GRADE TRIM, TYPICAL
- CEMENTITIOUS HORIZONTAL LAP SIDING
- 6x6 WOOD BARGE BRACKETS
- 2x8 PAINTED BELTLINE HORIZONTAL WOOD TRIM
- VINYL WINDOWS WITH PAINT GRADE 2x4 WOOD TRIM AND 2x3 WOOD SILL, TYPICAL
- CEMENT PLASTER FINISH, TYPICAL AT FIRST FLOORS
- PAINTED 6x6 POSTS AT PORCHES
- FINISH GRADE

SHEET METAL CHIMNEY CAP
 CEMENT PLASTER FINISH ON CHIMNEY, TYP.



4 RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



3 REAR ELEVATION
 SCALE: 1/4"=1'-0"

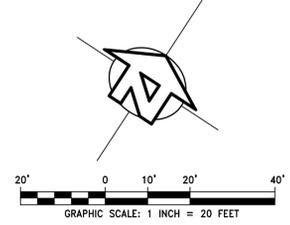
25'-10" BUILDING HEIGHT

TENTATIVE MAP

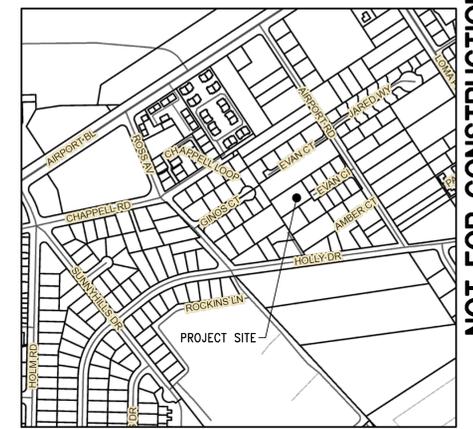
FOR

EVAN CIRCLE - PHASE II

WATSONVILLE, CALIFORNIA

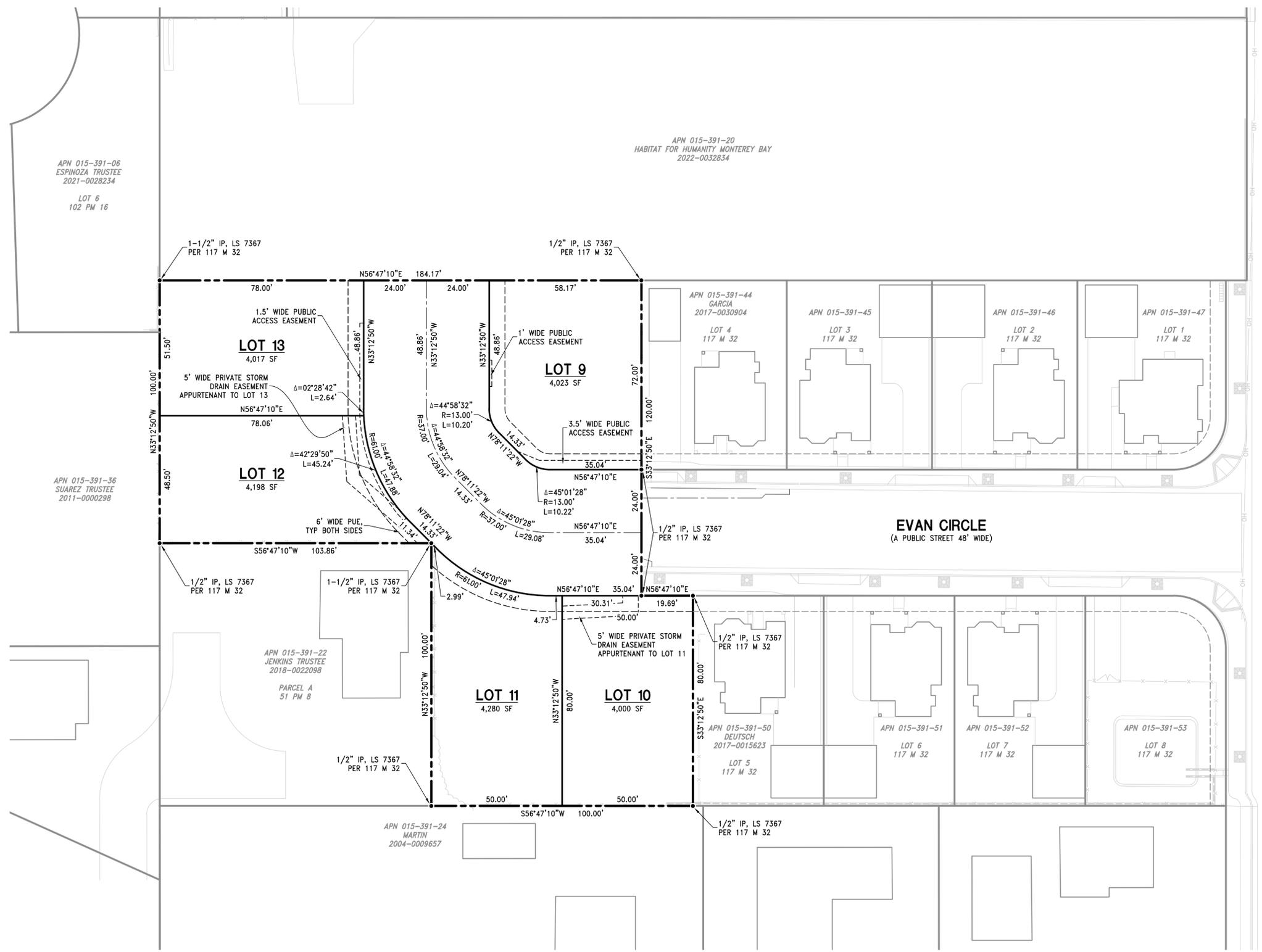


NOTE: THE INTENT OF THIS TENTATIVE MAP IS TO SHOW THE PROPOSED MINOR LAND DIVISION ONLY. SEE PRELIMINARY IMPROVEMENT PLANS FOR EXISTING SITE TOPOGRAPHY, AND ALL PROPOSED GRADING, DRAINAGE, UTILITIES, STORMWATER CONTROL, AND ON-SITE IMPROVEMENTS.



VICINITY MAP
NTS
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NOT FOR CONSTRUCTION



AIRPORT ROAD
(A PUBLIC STREET WIDTH VARIES)

SURVEY

THE PROPERTY BOUNDARY AND SITE TOPOGRAPHY WAS OBTAINED FROM IFLAND SURVEY, PROJECT NO. G05155, DATED NOVEMBER 2005. IN ADDITION, A SUPPLEMENTAL TOPOGRAPHIC SURVEY WAS CONDUCTED BY IFLAND SURVEY IN APRIL 2016, UPON THE COMPLETION OF PHASE I CONSTRUCTION.

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE CITY OF WATSONVILLE BENCHMARK #W-518, WHICH IS A BRONZE CAP SET IN THE CONCRETE SIDEWALK AT THE NORTHEAST CORNER OF AVIATION WAY AND AIRPORT BOULEVARD.

ELEVATION= 131.32 FEET DATUM: USGS

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS HPGN D CA 044K (WEST WATSONVILLE) AND HPGN D CA 044J (SOQUEL). THIS SURVEY WAS ROTATED TO FIT STATE PLANE COORDINATES, NAD 83 (1991.35), WHICH WERE BASED ON GPS OBSERVATIONS AT THE FOREMENTIONED HPGN STATIONS.

BEARING= N 67°37'42.32\"/>

GENERAL DATA

MAP PREPARED BY:	IFLAND ENGINEERS 5300 SOQUEL AVENUE, SUITE 101 SANTA CRUZ, CA 95062 (831) 426-5315 CONTACT: JON IFLAND
OWNER & SUBDIVIDER:	EVAN CIRCLE, LLC. 315 LIBERTY STREET SANTA CRUZ, CA 95060 (831) 254-1029 CONTACT: DOUG WALLACE
APN:	015-391-43 & 49
EXISTING USE:	(2) VACANT LOTS
PROPOSED USE:	(5) LOT MINOR LAND DIVISION
EXISTING ZONING:	RM-2 = MULTI-RESIDENTIAL
PROPOSED ZONING:	NO CHANGE
WATER SUPPLY:	CITY OF WATSONVILLE
SANITARY SEWER:	CITY OF WATSONVILLE
STORM DRAIN:	CITY OF WATSONVILLE (EXCEPT PRIVATE SCW'S, STORMWATER TREATMENT AND DETENTION FACILITIES)
GAS & ELECTRIC	PACIFIC GAS & ELECTRIC
TOTAL AREA:	28,023 SF / 0.64± AC

INDEX OF CIVIL SHEETS

SHEET NO.	DESCRIPTION
TM1.0	TENTATIVE MAP
CO.0	PRELIMINARY OVERALL SITE PLAN
C1.0	PRELIMINARY GRADING & DRAINAGE PLAN
C2.0	PRELIMINARY UTILITY PLAN
C3.0	PRELIMINARY STORMWATER CONTROL PLAN
C4.0	PRELIMINARY EROSION CONTROL NOTES & DETAILS
C4.1	PRELIMINARY EROSION CONTROL PLAN

TENTATIVE MAP
EVAN CIRCLE - PHASE II
EVAN CIRCLE, WATSONVILLE, CALIFORNIA

APN 015-391-43 & 49	DESIGN DEVELOPMENT	DRAWN	STAFF
DATE	DESIGN	MUR	STAFF
8/30/2023			
SHEET		TM1.0	

JOB NO. 21021

Attachment 1: Page 13 of 20

I:\PROJECTS\2023\21021 WALLO (DWG)\1 - DD PHASE II.DWG - TENT.DWG 17Sep24 08:05:09 AM mregan ©IFLAND ENGINEERS, INC.

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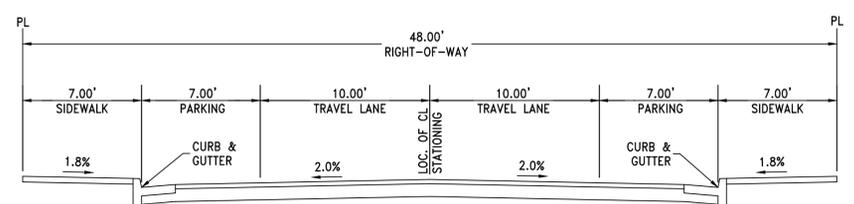
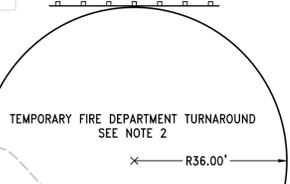
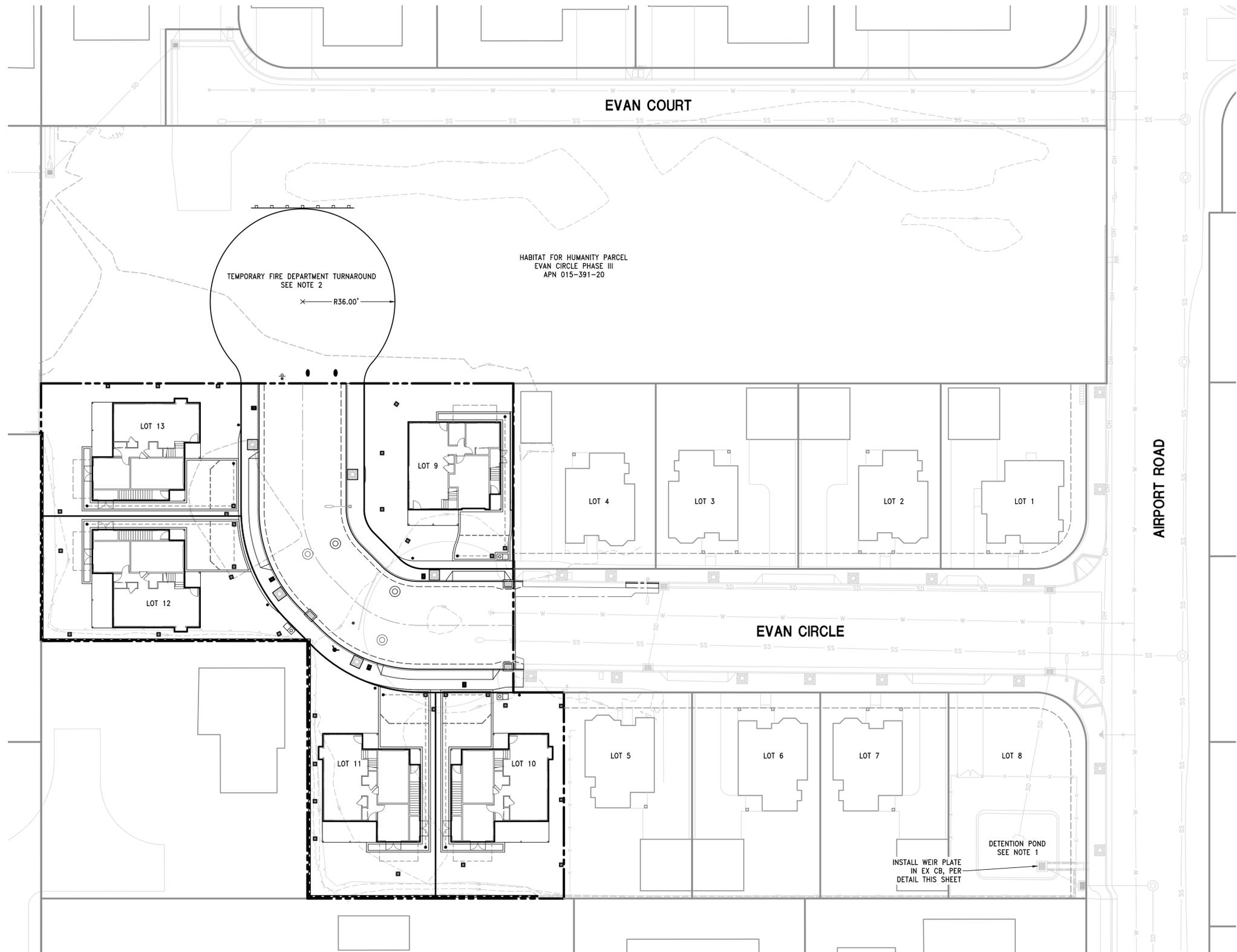
1608 SEABRIGHT AVE SUITE A2
SANTA CRUZ, CA 95062
TEL (831) 426-5315
FAX (831) 426-1763
www.iflandengineers.com
STRUCTURAL DESIGN



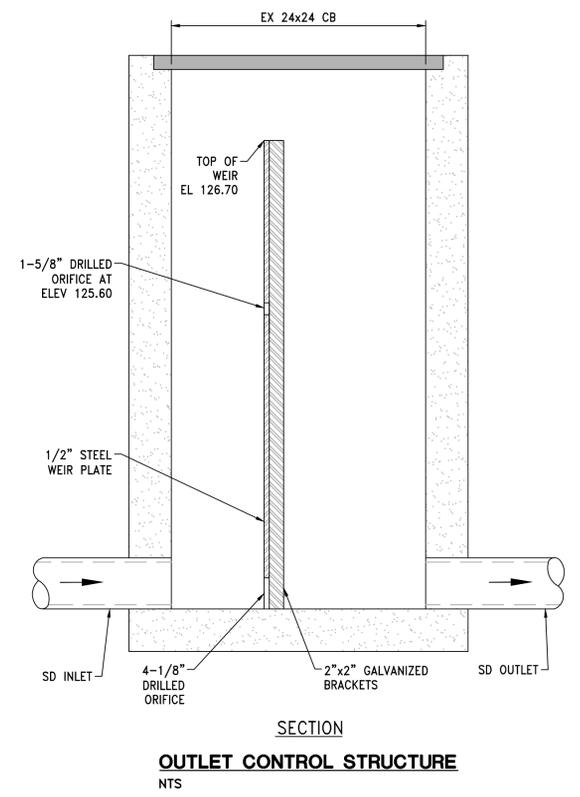
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DATE	BY	REVISION
8/30/2023		

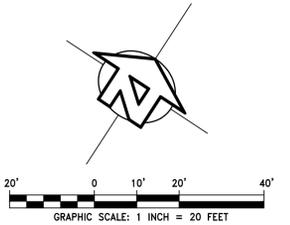
I:\PROJECTS\2021\21021 WALLOD\DWG\1 - DD PHASE\DD PHASE\CO.0-SITE.dwg 175mp24 09:05:20 AM megon © IFLAND ENGINEERS, INC.



TYPICAL SECTION - EVAN CIRCLE
SCALE: 1"=5'



- NOTES:**
1. DETENTION POND AND OUTLET CONTROL STRUCTURE SHALL BE CLEARED OF SEDIMENT AND DEBRIS. ANY EROSION SHALL BE REPAIRED. OVERFLOW SHALL BE DIRECTED TO AIRPORT ROAD NOT NEIGHBORING PROPERTIES.
 2. FIRE DEPARTMENT TURNAROUND ON NEIGHBORING PARCEL IS TEMPORARY. A SEPARATE PROJECT, KNOWN AS EVAN CIRCLE PHASE III, PROPOSED BY HABITAT FOR HUMANITY IS TO BE CONSTRUCTED ON APN 015-391-20. PHASE III IMPROVEMENTS ARE ANTICIPATED TO INCLUDE CONNECTING EVAN CIRCLE WITH EVAN COURT TO PROVIDE A FULL LOOP CONNECTED TO AIRPORT ROAD AT BOTH ENDS. SEE PLANS BY OTHERS.
 3. SEE GRADING AND DRAINAGE PLAN, SHEET C1.0, AND UTILITY PLAN, SHEET C2.0, FOR UTILITIES STUBBED INTO TEMPORARY TURNAROUND FOR FUTURE PHASE III CONNECTION.



NOT FOR CONSTRUCTION

PRELIMINARY
OVERALL SITE PLAN

EVAN CIRCLE - PHASE II

EVAN CIRCLE, WATSONVILLE, CALIFORNIA

APN 015-391-43 & 49	DESIGN DEVELOPMENT	DRAWN	STAFF
DATE	DESIGN	MUR	
8/30/2023			

SHEET
CO.0

JOB NO. 21021

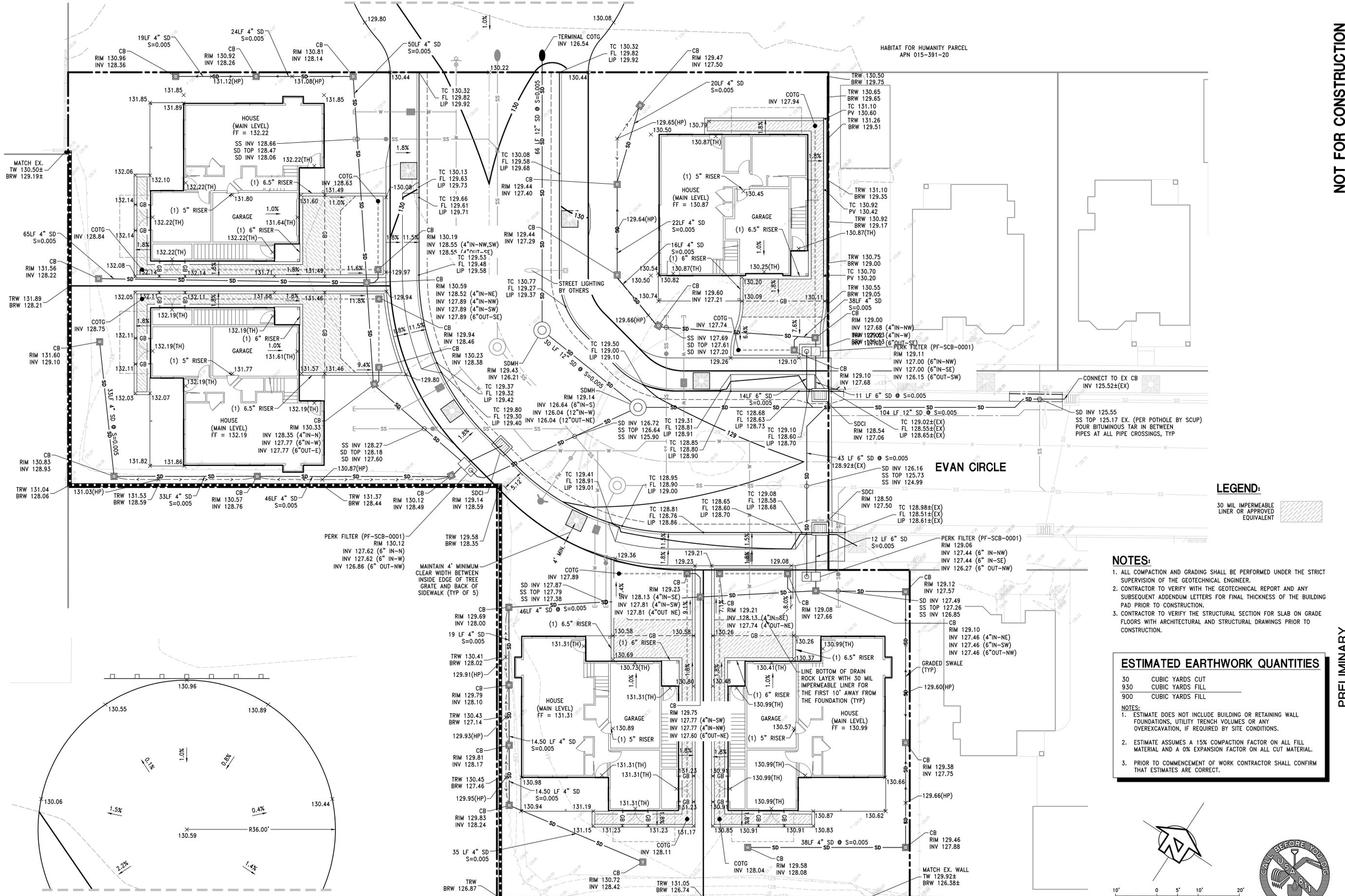
Attachment 1: Page 14 of 20

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DATE	BY	REVISION
8/17/24 <td></td> <td>REVISED PER CITY COMMENTS</td>		REVISED PER CITY COMMENTS
8/18/24 <td></td> <td>REVISED PER CITY COMMENTS</td>		REVISED PER CITY COMMENTS

SEE BELOW



SEE ABOVE

NOT FOR CONSTRUCTION

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 SANTA CRUZ, CA 95062
 TEL (831) 426-5938
 FAX (831) 428-1763
 www.iflandengineers.com



CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN

PRELIMINARY

GRADING AND DRAINAGE PLAN
EVAN CIRCLE - PHASE II

EVAN CIRCLE, WATSONVILLE, CALIFORNIA

APN 015-391-43 & 49
 DESIGN DEVELOPMENT
 DATE 8/30/2023
 DRAWN MUR
 STAFF

SHEET C1.0

JOB NO. 21021

Attachment 1: Page 15 of 20

LEGEND:
 30 MIL IMPERMEABLE LINER OR APPROVED EQUIVALENT

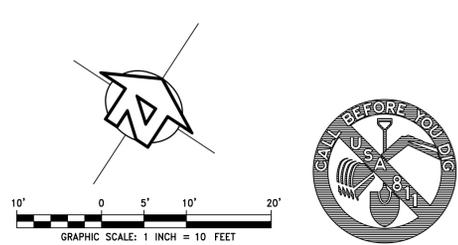
- NOTES:**
- ALL COMPACTION AND GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR TO VERIFY WITH THE GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUM LETTERS FOR FINAL THICKNESS OF THE BUILDING PAD PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY THE STRUCTURAL SECTION FOR SLAB ON GRADE FLOORS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.

ESTIMATED EARTHWORK QUANTITIES

30	CUBIC YARDS CUT
930	CUBIC YARDS FILL
900	CUBIC YARDS FILL

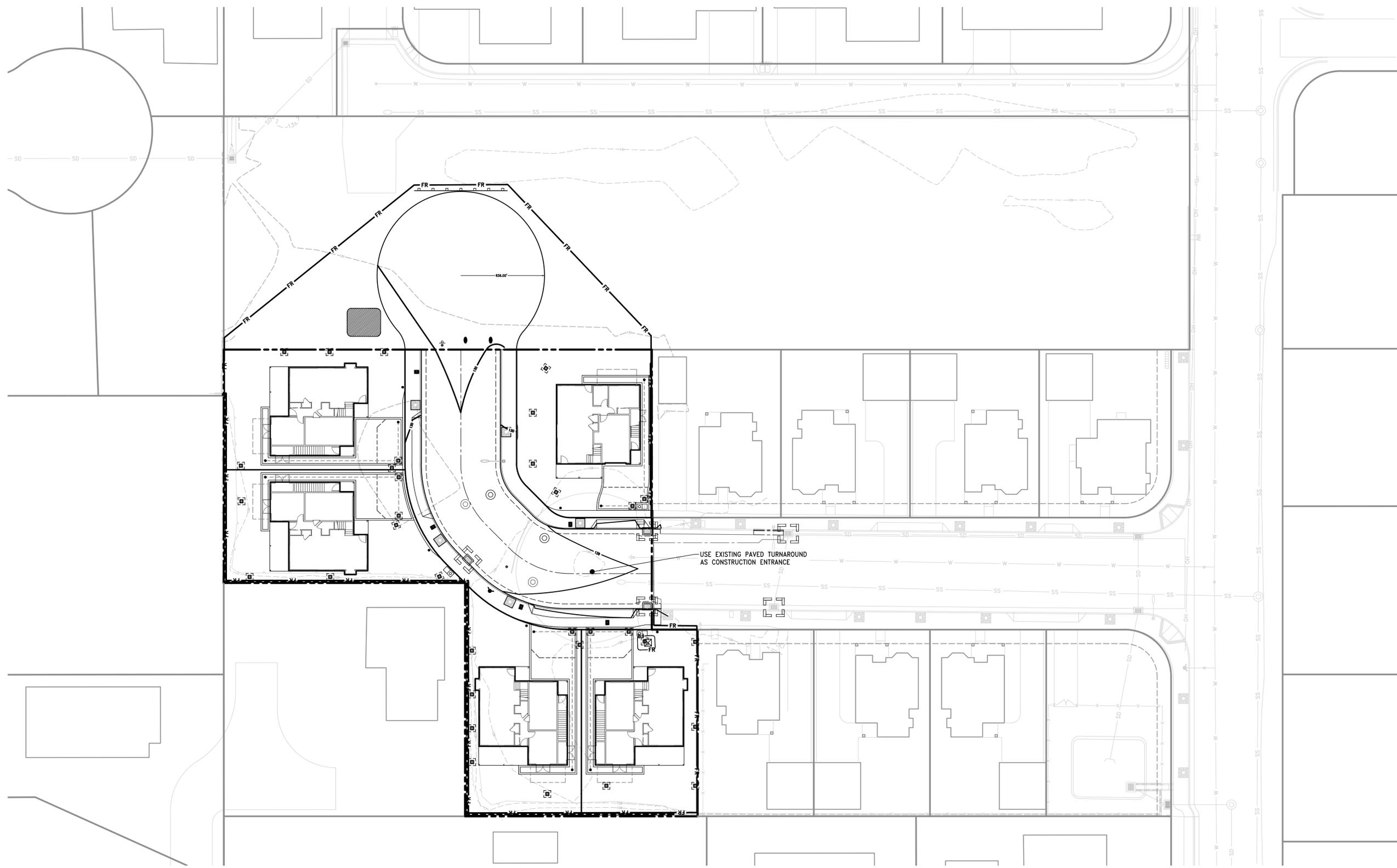
NOTES:

- ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
- ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
- PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.



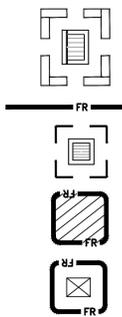
I:\PROJECTS\2023\21021 WALD (DWG)\1 - DD PHASE I.DWG - GRAD.DWG 17Sep24 09:05:32 AM mgegon © IFLAND ENGINEERS, INC.

I:\PROJECTS\2023\21021 WALLD\DWG\1 - DD PHASE\C4.1 - EROS.dwg 17Sep24 09:06:07 AM mregon © IFLAND ENGINEERS, INC.



NOTES:

- SEE EROSION CONTROL NOTES AND DETAILS SHEET AS PART OF THIS PLAN SET.
- CONTRACTOR TO DETERMINE LOCATION OF CONCRETE WASHOUT.



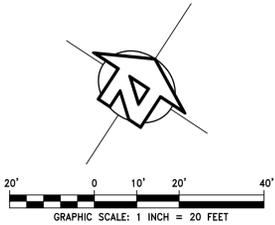
CURB INLET PROTECTION
PER NOTE 1.

FIBER ROLLS PER NOTE 1.

CATCH BASIN PROTECTION PER
NOTE 1.

DIRT STOCKPILE PER NOTE 1

PORTABLE TOILET WITH
FIBER ROLLS 2' MIN.
AROUND ALL SIDES



NOT FOR CONSTRUCTION

PRELIMINARY
EROSION CONTROL PLAN
EVAN CIRCLE - PHASE II
 EVAN CIRCLE, WATSONVILLE, CALIFORNIA

APN 015-391-43 & 49	DESIGN DEVELOPMENT	DESIGN	MJR	DRAWN	STAFF
DATE	8/30/2023				

SHEET
C4.1
 JOB NO. 21021

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 TEL (831) 426-6316
 FAX (831) 426-1763
 www.iflandengineers.com

DATE	BY	REVISION
8/17/24 <td></td> <td>REVISED PER CITY COMMENTS</td>		REVISED PER CITY COMMENTS
8/18/24 <td></td> <td>REVISED PER CITY COMMENTS</td>		REVISED PER CITY COMMENTS



THIS SHEET TO BE PRINTED AT 24" X 36"

**EVAN CIRCLE
PHASE TWO**
EVAN CIRCLE
WATSONVILLE, CA
APN#015-391-43,49



SCALE: 1" = 10'-0"

PLAN REVISIONS

6/24/2024	PLANNING COMMENTS
9/17/2024	PLANNING COMMENTS

DATE: 12/22/2022

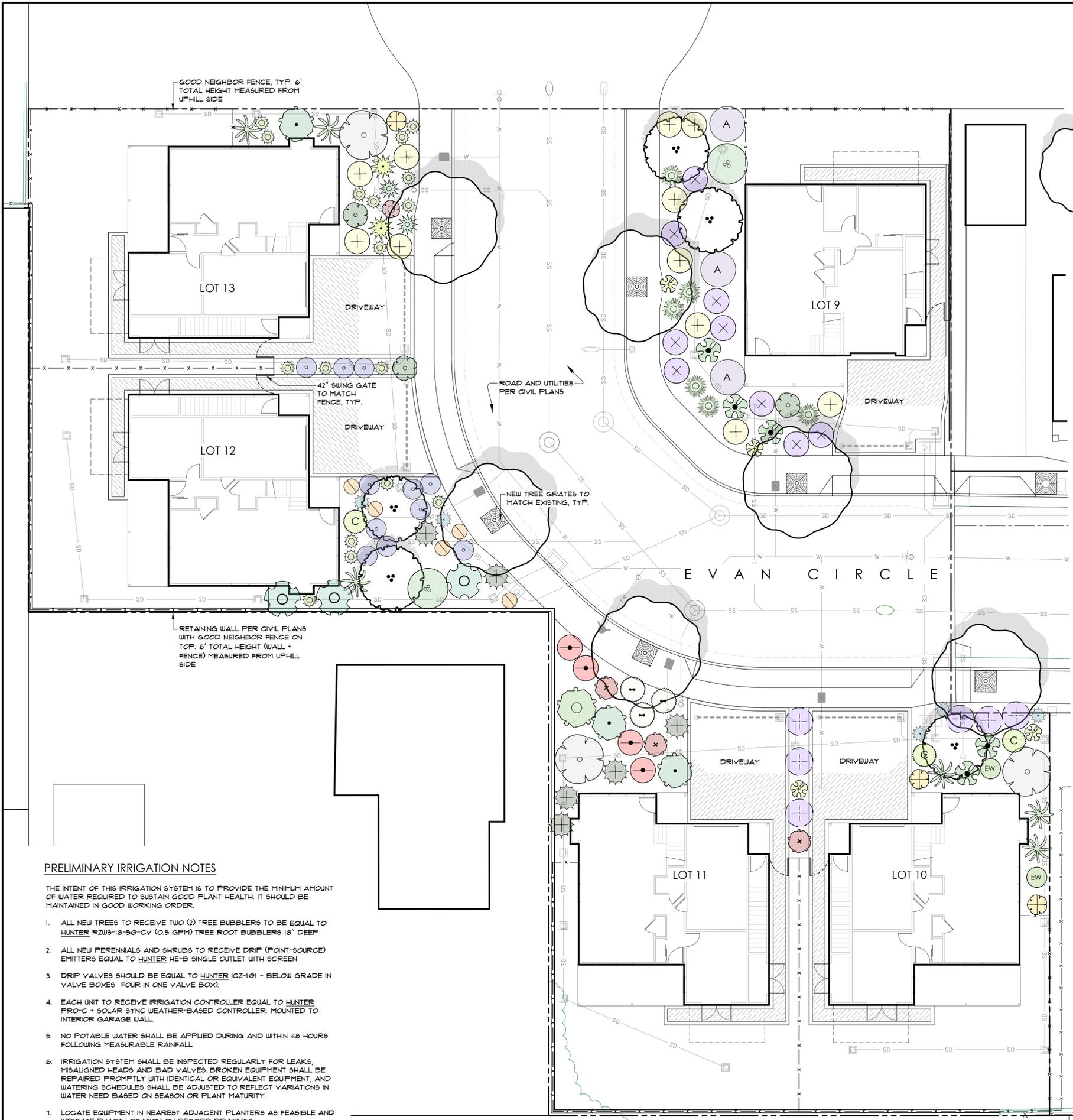
JOB: 2223

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.0



PLANT LEGEND

TREES		SIZE	QTY	MATURE HT/WIDTH	WUCOLS
BOTANICAL NAME / COMMON NAME					
LAURUS NOBILIS / SWEET BAY (MULTI-TRUNK)		15 GAL	10	12' x 12'	L
PISTACIA CHINENSIS 'KEITH DAVEY' / FRUITLESS CHINESE PISTACHE		15 GAL	X	40' x 40'	L
SHRUBS AND PERENNIALS		SIZE	QTY	MATURE HT/WIDTH	WUCOLS
BOTANICAL NAME / COMMON NAME					
ACACIA COGNATA 'COUSIN ITT' / LITTLE RIVER WATTLE		1 GAL	7	2' x 4'	L
ABUTILON 'GOLDEN BALLERINA' / YELLOW FLOWERING MAPLE		5 GAL	3	6' x 4'	M
ABUTILON 'ALBUS' / WHITE FLOWERING MAPLE		5 GAL	3	8' x 8'	M
AGAVE ATTENUATA / FOX TAIL AGAVE		1 GAL	6	4' x 6'	L
AGAVE ATTENUATA 'KARA'S STRIPE' / variegated FOX TAIL AGAVE		1 GAL	4	4' x 4'	L
ALYOGYNE HUEGELII 'SANTA CRUZ' / BLUE HIBISCUS		5 GAL	3	7' x 8'	L
CISTUS SALVIFOLIUS 'PROSTRATUS' / SAGELEAF ROCK ROSE		1 GAL	3	1' x 6'	L
COLEONEMA PULCHELLUM 'SUNSET GOLD' / BREATH OF HEAVEN		1 GAL	3	3' x 5'	L
EUPHORBIA CHARACIAS SSP WULFENII / EUPHORBIA		1 GAL	2	3' x 4'	L
FATSIA JAPONICA / JAPANESE ARALIA		1 GAL	6	6' x 6'	M
LANTANA CAMARA 'RADIATION' / RADIATION BUSH LANTANA		1 GAL	6	5' x 5'	L
LANTANA X 'SUNBURST' / SUNBURST™ SPREADING LANTANA		1 GAL	11	2' x 6'	L
LANTANA SELLOWIANA / TRAILING LANTANA		1 GAL	10	1' x 5'	L
LEUCADENDRON 'RED GEM' / RED GEM CONEBUSH		1 GAL	1	3' x 3'	L
LEUCADENDRON 'SAFARI GOLDSTRIKE' / SAFARI GOLDSTRIKE YELLOW CONEBUSH		1 GAL	3	5' x 5'	L
OLEA EUROPAEA 'MONTRA' / LITTLE OLLIE DWARF OLIVE		5 GAL	3	6' x 6'	L
PITOSPORUM TENUIFOLIUM 'SILVER MAGIC' / KOHUU		5 GAL	2	10' x 8'	L
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / ROSEMARY		1 GAL	11	1.5' x 4'	L
SALVIA 'DARA'S CHOICE' / DARA'S CHOICE SAGE		1 GAL	6	18" x 6"	L
SENECIO FICOIDES 'SKYSCRAPER' (MOUNT EVEREST) / MOUNT EVEREST BLUE CHALK STICKS		1 GAL	5	4' x 2'	L
YUCCA GLORIOSA 'WALBRISTAR' / BRIGHT STAR YUCCA		1 GAL	2	1.5' x 5'	L
YUCCA GLORIOSA 'VARIEGATA' / VARIEGATED YUCCA		1 GAL	2	1.5' x 5'	L
GRASSES		SIZE	QTY	MATURE HT/WIDTH	WUCOLS
BOTANICAL NAME / COMMON NAME					
ANEMANTHELE LESSONIANA (STIPA ARUNDINACEA 'SIROCCO') / NEW ZEALAND WIND GRASS		1 GAL	4	3' x 3'	L
CORDYLINAE 'RED SENSATION' / SENSATION CORDYLINAE		5 GAL	3	4' x 4'	L
CORDYLINAE AUSTRALIS 'ALBERTII' / GRASS PALM		5 GAL	1	15' x 8'	L
CORDYLINAE AUSTRALIS 'TORBAY DAZZLER' / GRASS PALM		5 GAL	3	15' x 8'	L
LOMANDRA HYSTRIX 'TROPIC BELLE' / TROPIC BELLE MAT RUSH		1 GAL	11	3' x 3'	L
THAMNOCHORTUS INSIGNIS / THATCHING REED		1 GAL	6	5' x 1'	L

WUCOLS WATER USE CLASSIFICATION

H - HIGH WATER USE	L - LOW WATER USE
M - MODERATE WATER USE	VL - VERY LOW WATER USE

PLANTING NOTES

- TOTAL LANDSCAPED AREA = 4,606 SF
- IN PLANTING AREAS, SOIL SHALL BE TILLED TO A DEPTH OF 6" AND AMENDED WITH 6CY OF ORGANIC MATERIAL PER 1,000 SQUARE FEET TO PROMOTE INFILTRATION AND WATER RETENTION.
- ALL OTHER PLANTING ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4". NO GORILLA HAIR SHALL BE USED.
- THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.

LANDSCAPING BY LOT

LOT 9 TOTAL LOT SIZE: 4,023 SF SIZE LANDSCAPED: 1,301 SF = 32%
LOT 10 TOTAL LOT SIZE: 4,000 SF SIZE LANDSCAPED: 800 SF = 20%
LOT 11 TOTAL LOT SIZE: 4,200 SF SIZE LANDSCAPED: 856 SF = 20%
LOT 12 TOTAL LOT SIZE: 4,198 SF SIZE LANDSCAPED: 840 SF = 20%
LOT 13 TOTAL LOT SIZE: 4,011 SF SIZE LANDSCAPED: 803 SF = 20%

**WATER EFFICIENT
LANDSCAPE ORDINANCE
COMPLIANCE**
UPON BUILDING DEPARTMENT
SUBMITTAL, THE PLANTING AND
IRRIGATION PLANS SHALL COMPLY
WITH ANY OF THE CITY OF
WATSONVILLE WATER EFFICIENT
LANDSCAPE ORDINANCES.

PRELIMINARY IRRIGATION NOTES

- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH. IT SHOULD BE MAINTAINED IN GOOD WORKING ORDER.
- ALL NEW TREES TO RECEIVE TWO (2) TREE BUZZERS TO BE EQUAL TO HUNTER RZWS-10-50-CV (0.5 GPM) TREE ROOT BUZZERS 18" DEEP
 - ALL NEW PERENNIALS AND SHRUBS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO HUNTER HE-B SINGLE OUTLET WITH SCREEN
 - DRIP VALVES SHOULD BE EQUAL TO HUNTER ICZ-101 - BELOW GRADE IN VALVE BOXES (FOUR IN ONE VALVE BOX)
 - EACH UNIT TO RECEIVE IRRIGATION CONTROLLER EQUAL TO HUNTER PRO-C + SOLAR SYNC WEATHER-BASED CONTROLLER, MOUNTED TO INTERIOR GARAGE WALL
 - NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL
 - IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES, BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT, AND WATERING SCHEDULES SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
 - LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON RECORD DRAWINGS.