
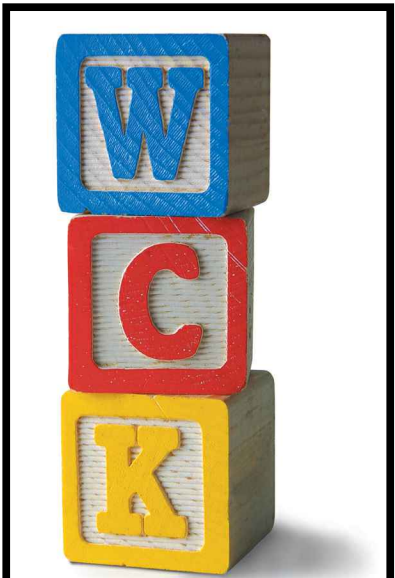


| NEW RESIDENTIAL DEVELOPMENT FOR EVAN CIRCLE, LLC - PHASE TWO AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA | | | |
|--|--|---|---|
| VICINITY MAP | CONSULTANTS | PROJECT SUMMARY | PROJECT DATA |
|  | <p>ARCHITECT: WILLIAM C. KEMPF, ARCHITECTS 105 LOCUST STREET, SUITE B SANTA CRUZ, CA 95060 BILL KEMPF: 831 459-0951</p> <p>CIVIL ENGINEER: IFLAND ENGINEERS 1509 SEABRIGHT AVENUE, SUITE 1B SANTA CRUZ, CA 95062 JON IFLAND: 831 426-5313</p> <p>LANDSCAPE ARCHITECT: mbLA P.O. BOX 328 APTOS, CA 95001 MEGAN BISHOP: 831 818-9227</p> <p>GEOTECHNICAL ENGINEER: HARO KASUNICH & ASSOCIATES, INC. 116 EAST LAKE AVENUE WATSONVILLE, CA 95076 MOSES CUPRILL: 831 722-4175</p> | <p>THIS PROJECT IS A CONTINUATION OF A LARGER RESIDENTIAL DEVELOPMENT THAT WAS STARTED IN 2006 BY THE SAME OWNERS. PHASE ONE WAS APPROVED AND BUILT OUT BETWEEN 2012 AND 2016. THE TWO EXISTING VACANT LOTS DEFINING THIS PHASE TWO DEVELOPMENT RECEIVED A TENTATIVE MAP APPROVAL FOR 5 NEW SFD LOTS AROUND 2015. THIS TENTATIVE MAP WAS NEVER RECORDED AS A FINAL MAP AND EXPIRED. THE PROPOSED TENTATIVE MAP HEREIN IS VERY SIMILAR TO THE PREVIOUSLY APPROVED MAP.</p> <p>ACCORDING TO THE CITY OF WATSONVILLE'S AFFORDABLE HOUSING ORDINANCE 14-46, THIS PROJECT SHOULD BE EXEMPT DUE TO IT HAVING LESS THAN 7 NEW LOTS. BUT THE ORIGINAL APPROVAL OF PHASE ONE & TWO HAD A REQUIREMENT OF 2 AFFORDABLE LOTS. THIS WAS BASED ON 15% OF THE 12 RESIDENTIAL LOTS THAT WERE PROPOSED BACK IN 2007. ONLY ONE LOT WAS MADE AFFORDABLE IN PHASE ONE AND ONE AFFORDABLE LOT REMAINED FOR INCLUSION WITH PHASE TWO. THIS SECOND AFFORDABLE UNIT IS PROPOSED FOR LOT 9.</p> <p>DENSITY BONUS CALCULATION PER CALIFORNIA DENSITY BONUS LAW & CITY OF WATSONVILLE ORD. 14-47</p> <p>THE CURRENT ZONING IS RM-2 AND A 'STANDARD LOT SUBDIVISION' IS PROPOSED, LOT 9 IS DESIGNATED AS AFFORDABLE</p> <p>USING EXISTING ZONING (RM-2, STANDARD LOT SUBDIVISION)</p> <ul style="list-style-type: none">• MINIMUM LOT SIZE: 5,000 SF• GROSS LOT AREA: 28,023 SF• ROW AREA: 7,505 SF• NET LOT AREA: 20,518 SF• UNITS ALLOWED: 20,518 / 5,000 = 4.10 UNITS <p>4 SFD LOTS ALLOWED WITHOUT DENSITY BONUS (NO ROUNDING UP)</p> <p>ACCORDING TO CITY OF WATSONVILLE ORDINANCE 14-47.060 (a) (2), IF AT LEAST 10% OF A RESIDENTIAL DEVELOPMENTS UNITS ARE AFFORDABLE TO LOW INCOME HOUSEHOLDS, A 20% DENSITY BONUS CAN BE APPLIED.</p> <p>4 ALLOWED UNITS X 20% BONUS = 4.8 UNITS 4.8 UNITS ROUNDS UP TO 5 UNITS</p> <p>INCENTIVES & CONCESSIONS AVAILABLE ACCORDING TO CITY OF WATSONVILLE ORDINANCE 14-47.060 (D) (2), TWO INCENTIVES OR CONCESSIONS ARE AVAILABLE FOR RESIDENTIAL DEVELOPMENTS THAT INCLUDE AT LEAST 20% OF THE UNITS FOR LOWER INCOME HOUSEHOLDS</p> <p><u>INCENTIVES REQUESTED:</u> NONE</p> <p><u>CONCESSIONS REQUESTED:</u> #1 - REDUCE MINIMUM LOT SIZES #2 - REDUCE MINIMUM LOT WIDTH (LOT 12 ONLY)</p> <p><u>WAIVERS REQUESTED:</u> #1 - REDUCE FRONT YARD SETBACK FROM 20' TO 15' #2 - REDUCE 20' SETBACK TO SIDEWALK DOWN TO 10' #3 - REDUCE REAR YARD SETBACK FROM 20' TO 15' (LOT 9 ONLY)</p> | <p>OWNER: EVAN CIRCLE, LLC 315 LIBERTY STREET SANTA CRUZ, CA 95060 DOUG WALLACE: 831 254-1029</p> <p>ASSESSORS PARCEL NUMBERS: 015-391-43 & 015-391-49</p> <p>PROJECT SITE: EVAN CIRCLE WATSONVILLE, CALIFORNIA</p> <p>ZONING: RM-2 = MULTI-RESIDENTIAL</p> <p>OCCUPANCY GROUP: R-3, U</p> <p>CONSTRUCTION TYPE: TYPE V-B WITH FIRE SPRINKLERS</p> <p>DEVELOPMENT AREA: APN: 015-391-43 = 18,417 S.F. APN: 015-391-49 = 9,606 S.F. GROSS AREA = 28,023 S.F. (±0.64 ACRES)</p> <p>PROJECT DESCRIPTION: NEW RESIDENTIAL DEVELOPMENT ON AN EXISTING VACANT PARCEL FOR FIVE NEW TWO-STORY SINGLE-FAMILY RESIDENCES, EACH WITH AN ATTACHED ACCESSORY DWELLING UNIT (ADU), THIS PROJECT MEETS THE CONDITIONS OF SB330</p> |
| | SHEET INDEX | | AREA CALCULATIONS |
| | <p>A1.1 PROJECT DATA & SUMMARY, VICINITY MAP A2.1 DEVELOPMENT PLAN A2.2 ARCHITECTURAL SITE PLAN A3.1 FLOOR PLANS - LOT 9 A3.2 ROOF PLAN & ARCH. SECTIONS - LOT 9 A3.3 EXTERIOR ELEVATIONS - LOT 9 A4.1 FLOOR PLANS - LOTS 10 & 12 A4.2 ROOF PLAN & ARCH. SECTIONS - LOTS 10 & 12 A4.3 EXTERIOR ELEVATIONS - LOTS 10 & 12 A5.1 FLOOR PLANS - LOTS 11 & 13 A5.2 ROOF PLANS & ARCH. SECTIONS 11 & 13 A5.3 EXTERIOR ELEVATIONS - LOTS 11 & 13</p> <p>TM1.0 TENTATIVE MAP</p> <p>C0.0 OVERALL SITE PLAN C1.0 GRADING & DRAINAGE PLAN C2.0 UTILITY PLAN C3.0 STORMWATER CONTROL PLAN C4.0 EROSION CONTROL NOTES & DETAILS C4.1 EROSION CONTROL PLAN</p> <p>L1.0 LANDSCAPE PLAN</p> | | <p>TOTAL LOT AREA: 28,023 S.F.</p> <p>TOTAL IMPERVIOUS AREA: 18,010 S.F. (64%) TOTAL PERVIOUS AREA: 10,013 S.F. (36%)</p> <p><u>PROPOSED LOT AREAS:</u></p> <p>LOT 9: 4,023 S.F. LOT 10: 4,000 S.F. LOT 11: 4,280 S.F. LOT 12: 4,198 S.F. LOT 13: 4,017 S.F. TOTAL: 20,518 S.F.</p> <p>RIGHT OF WAY AREA: 7,505 S.F.</p> <p><u>PROPOSED GROSS FLOOR AREAS:</u></p> <p>LOT 9: 2,292 S.F. LOT 10: 2,638 S.F. LOT 11: 2,638 S.F. LOT 12: 2,638 S.F. LOT 13: 2,638 S.F. TOTAL: 12,844 S.F.</p> <p>(REFER TO SHEETS A3.1, A4.1, & A5.1 FOR AREA BREAKDOWNS)</p> |



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NEW RESIDENTIAL DEVELOPMENT FOR

EVAN CIRCLE, LLC - PHASE TWO

AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA

PROJECT DATA & SUMMARY, VICINITY MAP

DRAWING DATE:
FEBRUARY 5, 2024

A.P.N.
015-391-43 & 49

CLIENT NAME:
WALLACE

PROJECT NAME:
EVAN CIRCLE - PHASE 2

| REVISIONS | | |
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| No. | DESCRIPTION | DATE |
| 1 | RESPONSE 1 | 6/21/24 |
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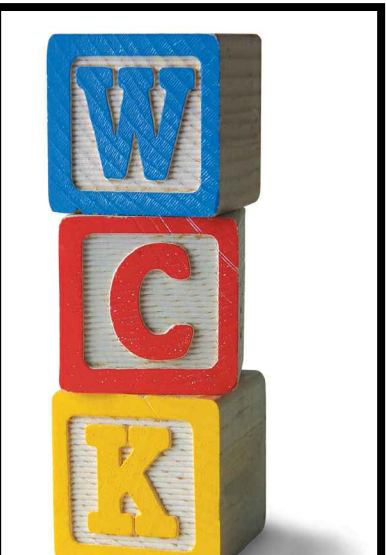
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SHEET

A1.1





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NEW RESIDENTIAL DEVELOPMENT FOR

EVAN CIRCLE, LLC - PHASE TWO

AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA

PROPOSED DEVELOPMENT PLAN

| | |
|---------------|-----------------------|
| DRAWING DATE: | FEBRUARY 5, 2024 |
| A.P.N. | 015-391-43 & 49 |
| CLIENT NAME: | WALLACE |
| PROJECT NAME: | EVAN CIRCLE - PHASE 2 |

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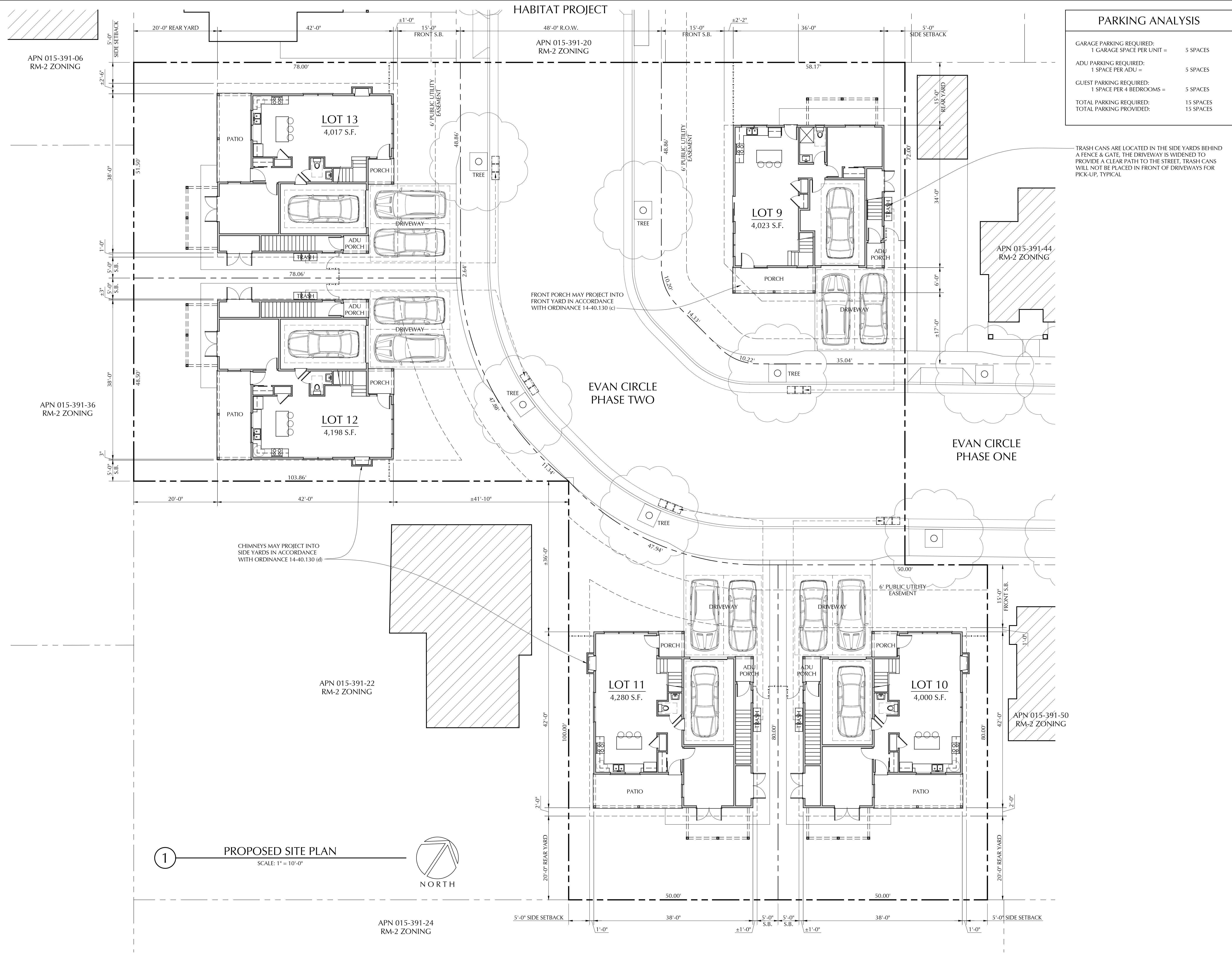
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NEW RESIDENTIAL DEVELOPMENT FOR

EVAN CIRCLE, LLC - PHASE TWO

AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA

PROPOSED SITE PLAN

| | | |
|-----------------------|--|--|
| DRAWING DATE: | | |
| FEBRUARY 5, 2024 | | |
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| 015-391-43 & 49 | | |
| CLIENT NAME: | | |
| WALLACE | | |
| PROJECT NAME: | | |
| EVAN CIRCLE - PHASE 2 | | |

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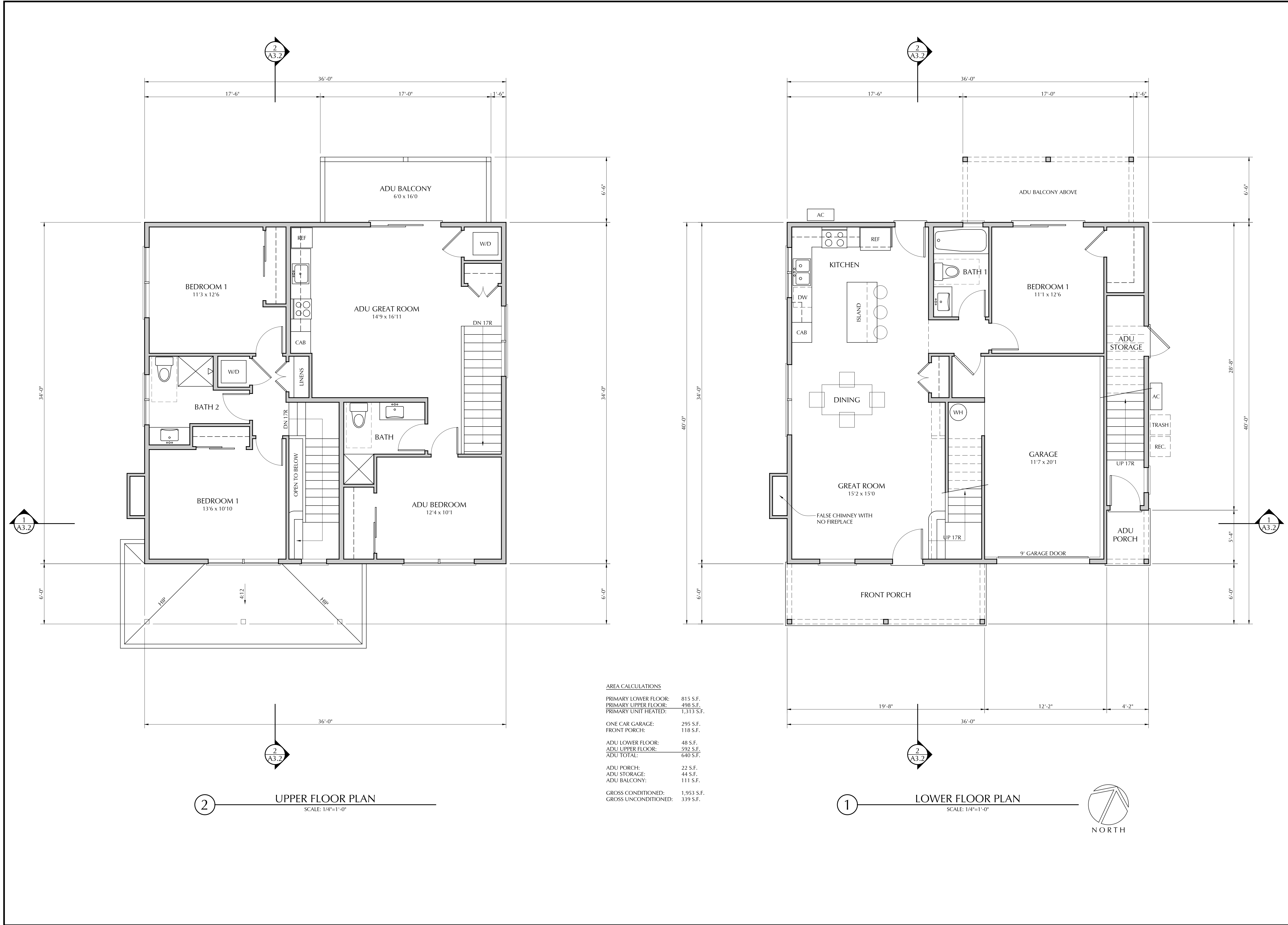
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SHEET

A2.2



W

C

K

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NEW RESIDENTIAL DEVELOPMENT FOR

EVAN CIRCLE, LLC - PHASE TWO

AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA

PROPOSED FLOOR PLANS - LOT 9

DRAWING DATE:

FEBRUARY 5, 2024

A.P.N.

015-391-43 & 49

CLIENT NAME:

WALLACE

PROJECT NAME:

EVAN CIRCLE - PHASE 2

| REVISIONS | | |
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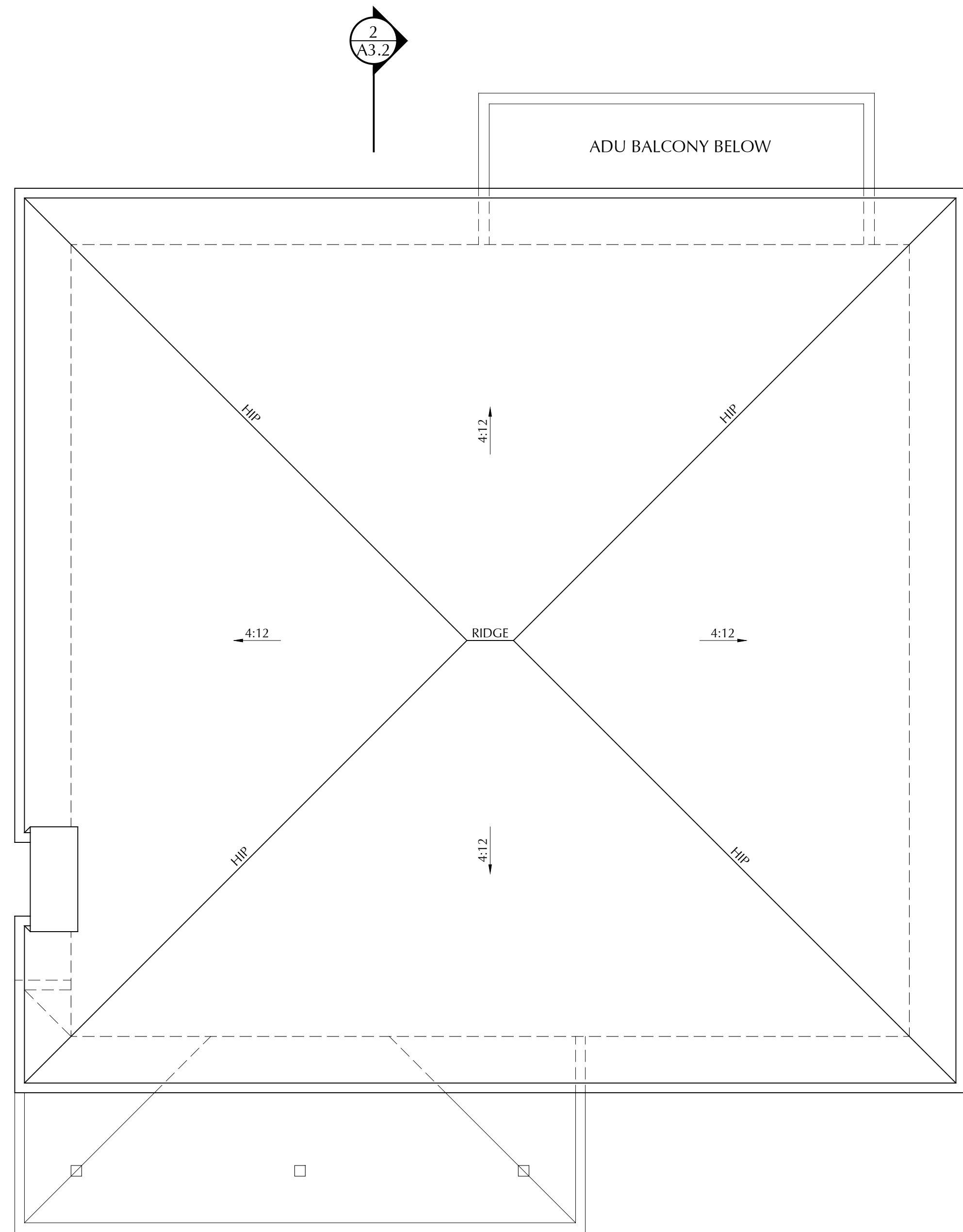
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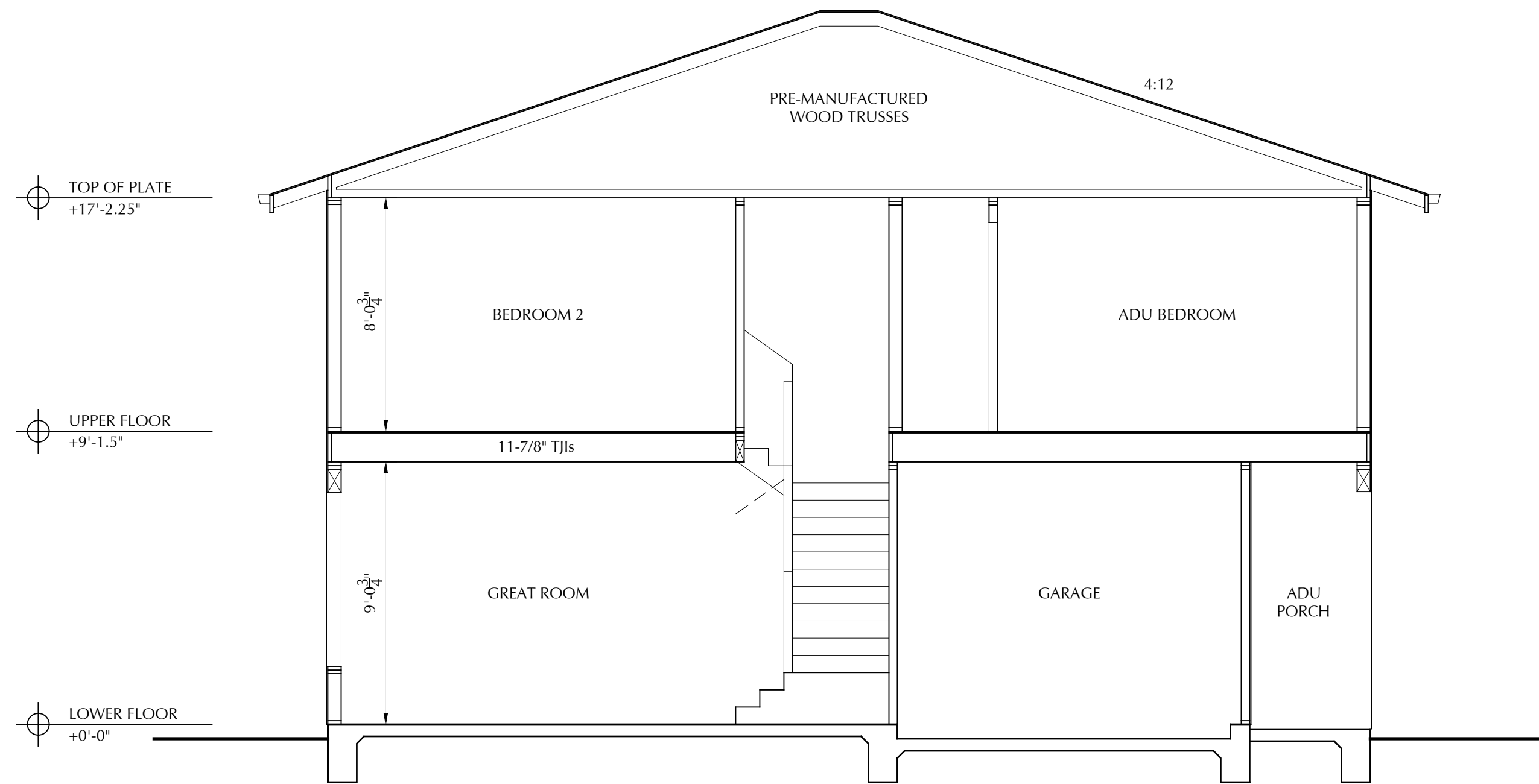
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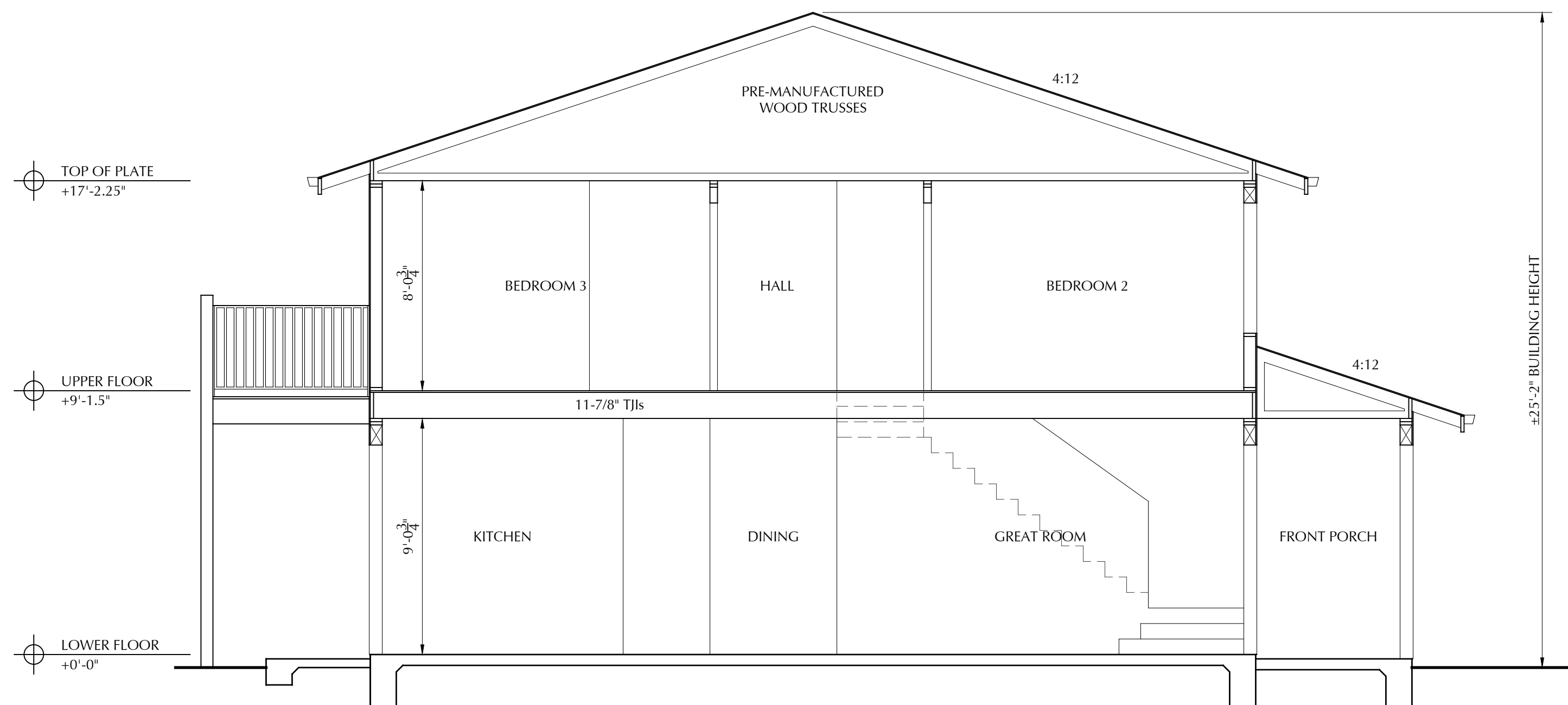
A3.1



3 ROOF PLAN
SCALE: 1/4"=1'-0"



1 ARCHITECTURAL SECTION
SCALE: 1/4"=1'-0"



2 ARCHITECTURAL SECTION
SCALE: 1/4"=1'-0"



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NEW RESIDENTIAL DEVELOPMENT FOR
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AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA
ROOF PLAN & ARCH. SECTIONS - LOT 9

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| WALLACE | | |
| PROJECT NAME: | | |
| EVAN CIRCLE - PHASE 2 | | |

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SHEET
A3.2

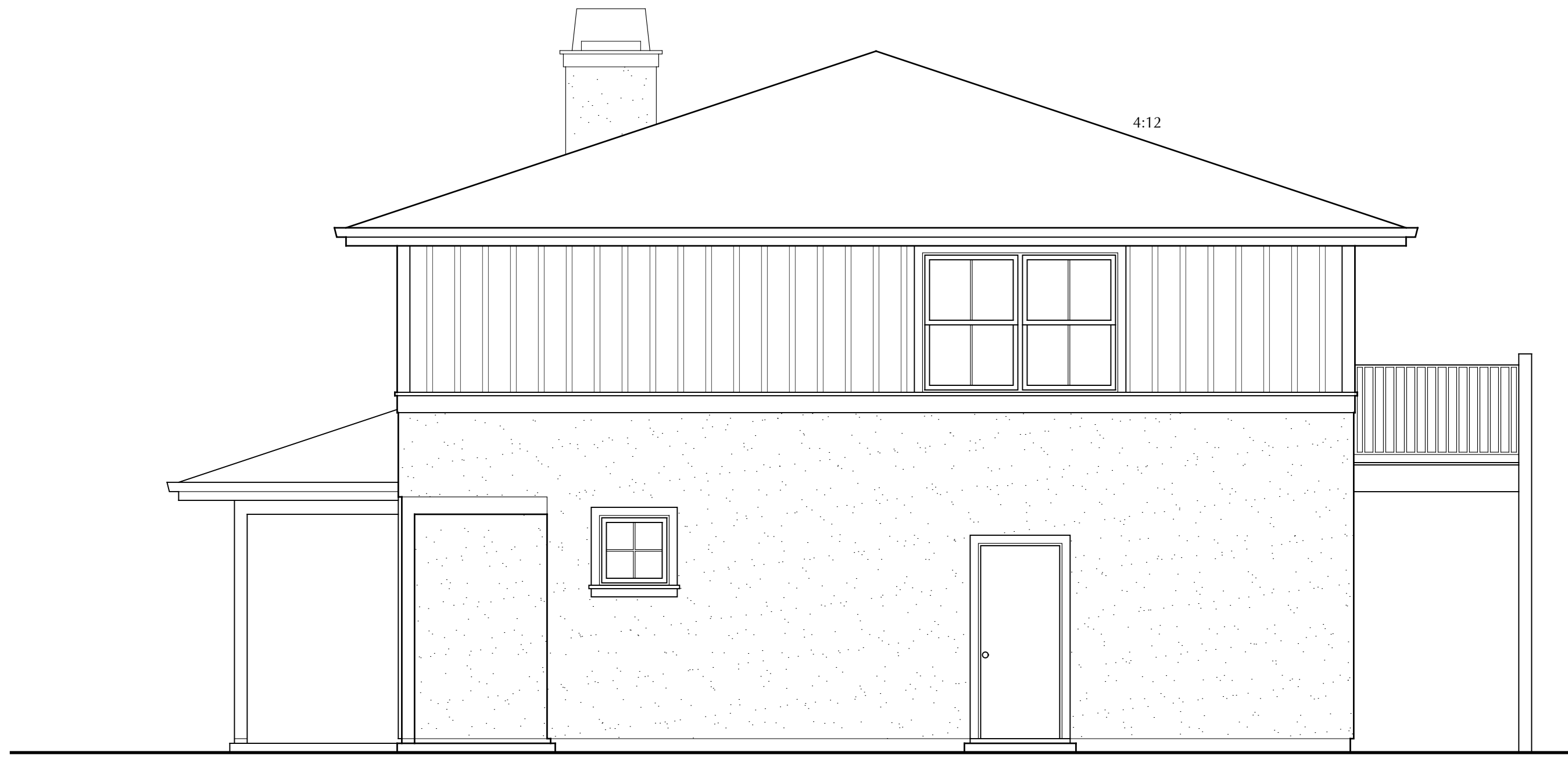


2 ————— SOUTHWEST ELEVATION
SCALE: 1/4"=1'-0"

- SHEET METAL CHIMNEY CAP AS SHOWN, DECORATIVE ONLY AT LOT 9
- CEMENT PLASTER FINISH ON CHIMNEY, TYP.
- CLASS 'A', 40 YEAR, ASPHALT COMPOSITION ROOFING SHINGLES
- 5" OGEE SHAPED PAINTED GUTTERS WITH 2"Ø DOWNSPOUTS
- 2x8 PAINTED WOOD FASCIA BOARD
- 2x6 WOOD CORNER BOARD PAINT GRADE TRIM, TYPICAL
- CEMENTITIOUS VERTICAL BOARD & BATTEN SIDING
- 2x8 PAINTED BELTLINE HORIZONTAL WOOD TRIM
- VINYL WINDOWS WITH PAINT GRADE 2x4 WOOD TRIM AND 2x3 WOOD SILL, TYPICAL
- PAINTED STRUCTURAL WOOD PORCH WITH 6x6 POSTS, TYPICAL
- CEMENT PLASTER FINISH, TYPICAL AT FIRST FLOORS
- FINISH GRADE



1 ————— SOUTHEAST ELEVATION
SCALE: 1/4"=1'-0"



4 ————— NORTHEAST ELEVATION
SCALE: 1/4"=1'-0"



3 ————— NORTHWEST ELEVATION
SCALE: 1/4"=1'-0"

W

C

K

WILLIAM C. KEMPF

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NEW RESIDENTIAL DEVELOPMENT FOR

EVAN CIRCLE, LLC - PHASE TWO

AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA

EXTERIOR ELEVATIONS - LOT 9

| | |
|---------------|-----------------------|
| DRAWING DATE: | FEBRUARY 5, 2024 |
| A.P.N. | 015-391-43 & 49 |
| CLIENT NAME: | WALLACE |
| PROJECT NAME: | EVAN CIRCLE - PHASE 2 |

| REVISIONS | | |
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| PROJECT NAME: | EVAN CIRCLE - PHASE 2 |

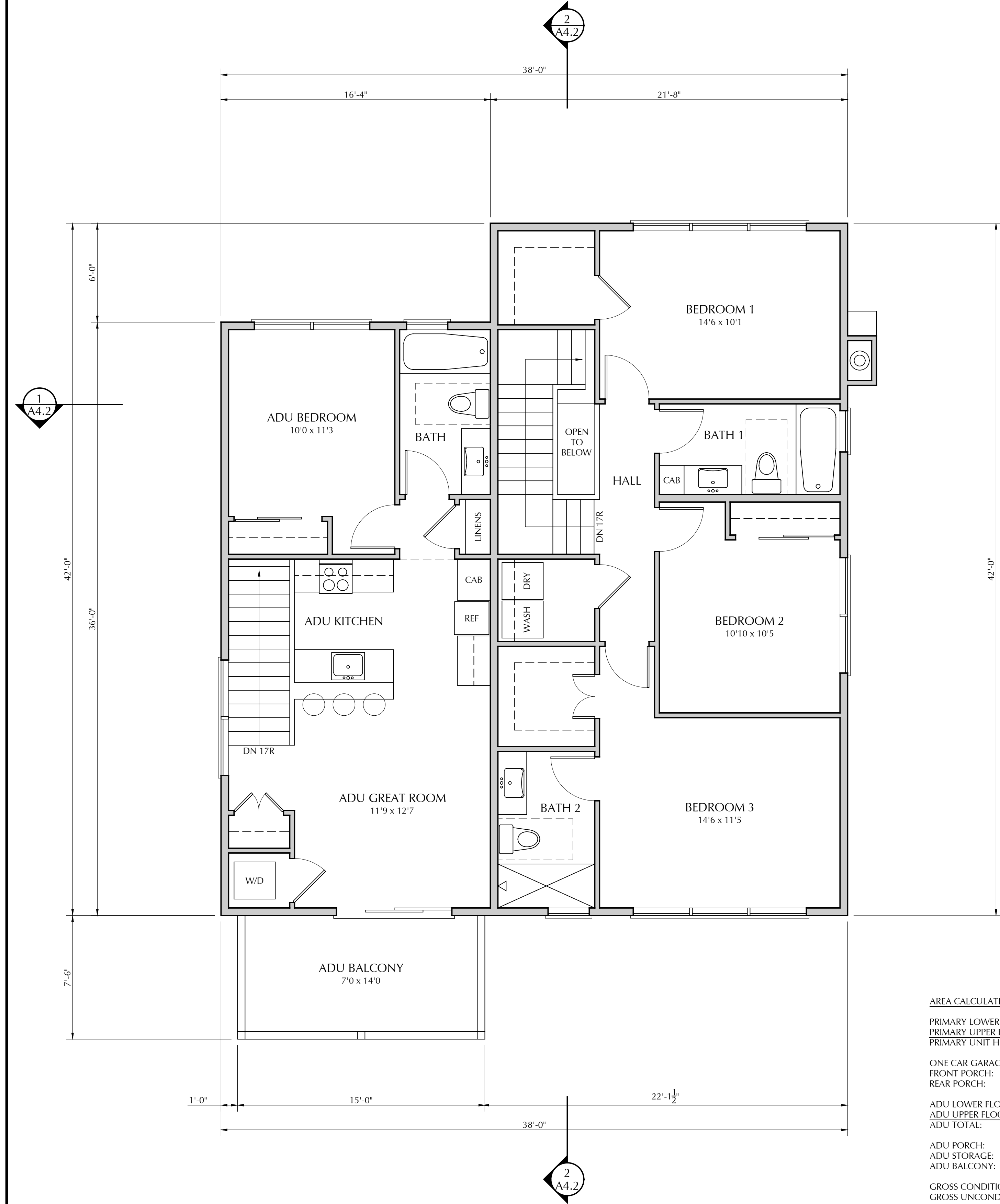
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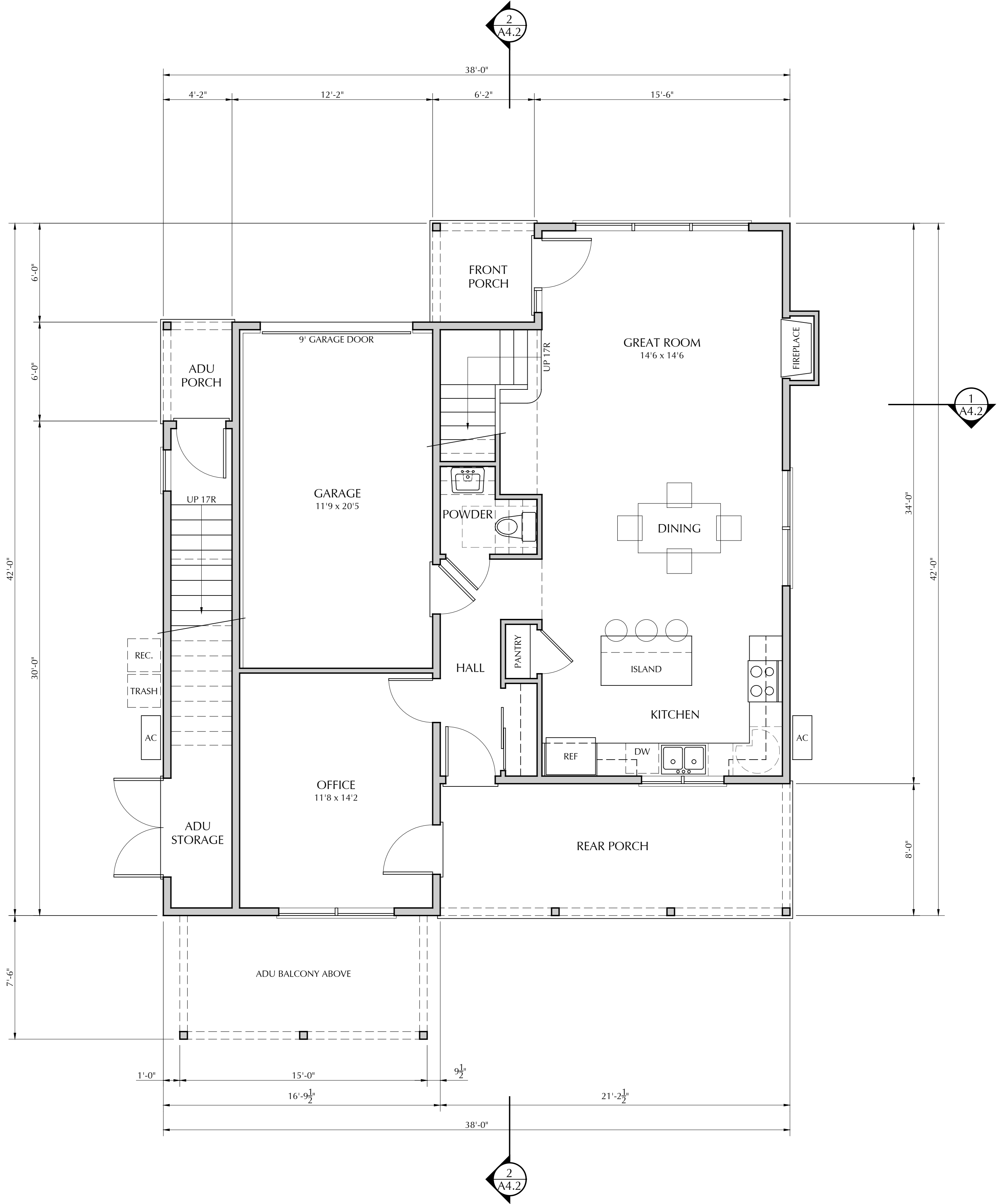
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SHEET
A4.1



| | |
|----------------------|------------|
| AREA CALCULATIONS | |
| PRIMARY LOWER FLOOR: | 886 S.F. |
| PRIMARY UPPER FLOOR: | 819 S.F. |
| PRIMARY UNIT HEATED: | 1,705 S.F. |
| | |
| ONE CAR GARAGE: | 249 S.F. |
| FRONT PORCH: | 37 S.F. |
| REAR PORCH: | 170 S.F. |
| | |
| ADU LOWER FLOOR: | 69 S.F. |
| ADU UPPER FLOOR: | 552 S.F. |
| ADU TOTAL: | 621 S.F. |
| | |
| ADU PORCH: | 25 S.F. |
| ADU STORAGE: | 63 S.F. |
| ADU BALCONY: | 113 S.F. |
| | |
| GROSS CONDITIONED: | 2,326 S.F. |
| GROSS UNCONDITIONED: | 312 S.F. |



| | |
|---------------|-----------------------|
| DRAWING DATE: | FEBRUARY 5, 2024 |
| A.P.N. | 015-391-43 & 49 |
| CLIENT NAME: | WALLACE |
| PROJECT NAME: | EVAN CIRCLE - PHASE 2 |

| REVISIONS | | |
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| No. | DESCRIPTION | DATE |
| 1 | RESPONSE 1 | 6/21/24 |
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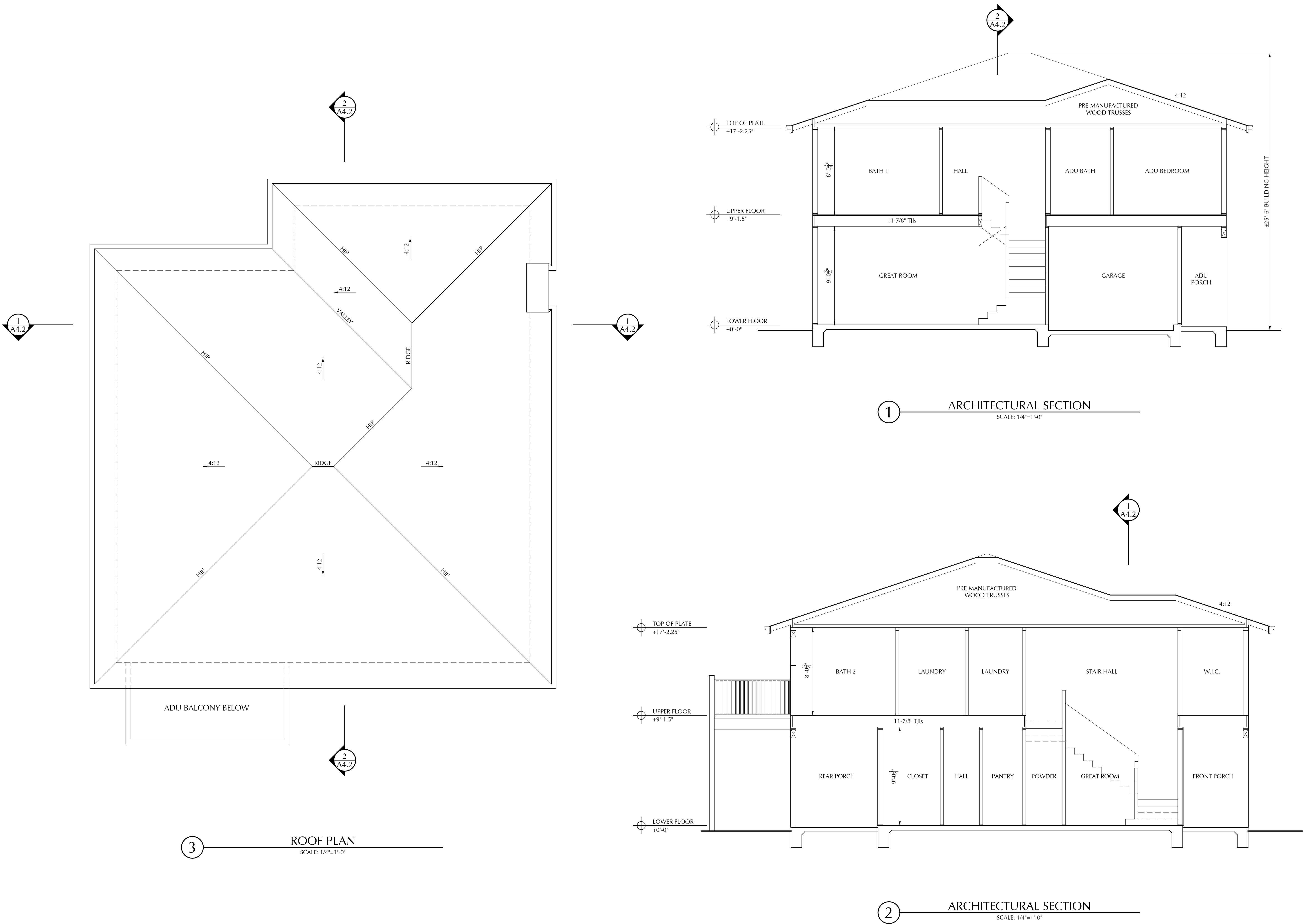
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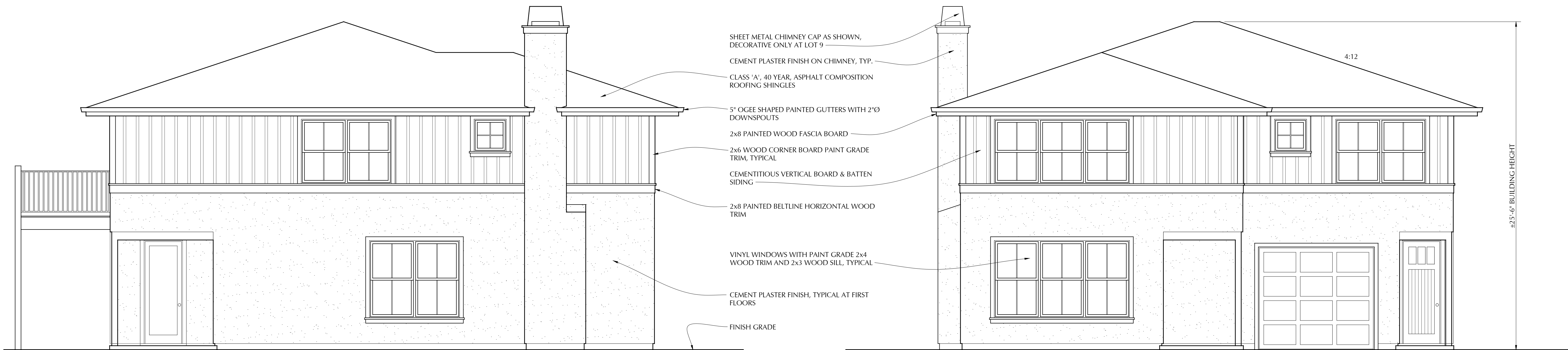
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2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

1 STREET ELEVATION
SCALE: 1/4"=1'-0"



4 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
SCALE: 1/4"=1'-0"



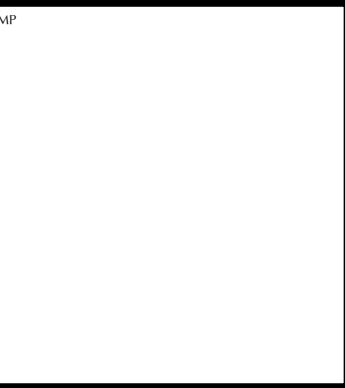
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NEW RESIDENTIAL DEVELOPMENT FOR
EVAN CIRCLE, LLC - PHASE TWO
AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA
EXTERIOR ELEVATIONS - LOTS 10 & 12

| | |
|---------------|-----------------------|
| DRAWING DATE: | FEBRUARY 5, 2024 |
| A.P.N.: | 015-391-43 & 49 |
| CLIENT NAME: | WALLACE |
| PROJECT NAME: | EVAN CIRCLE - PHASE 2 |

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SHEET
A4.3

| | |
|---------------|-----------------------|
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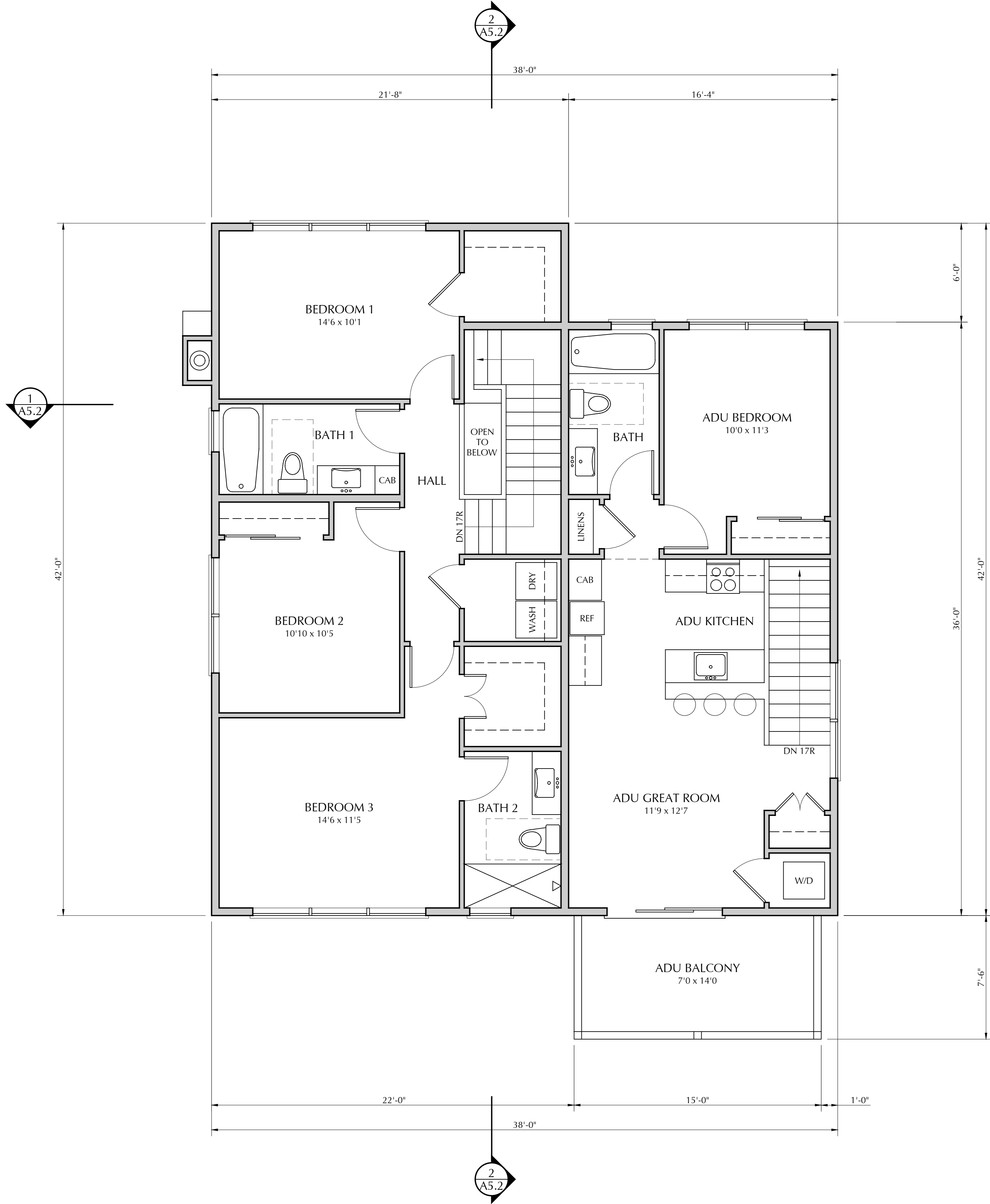
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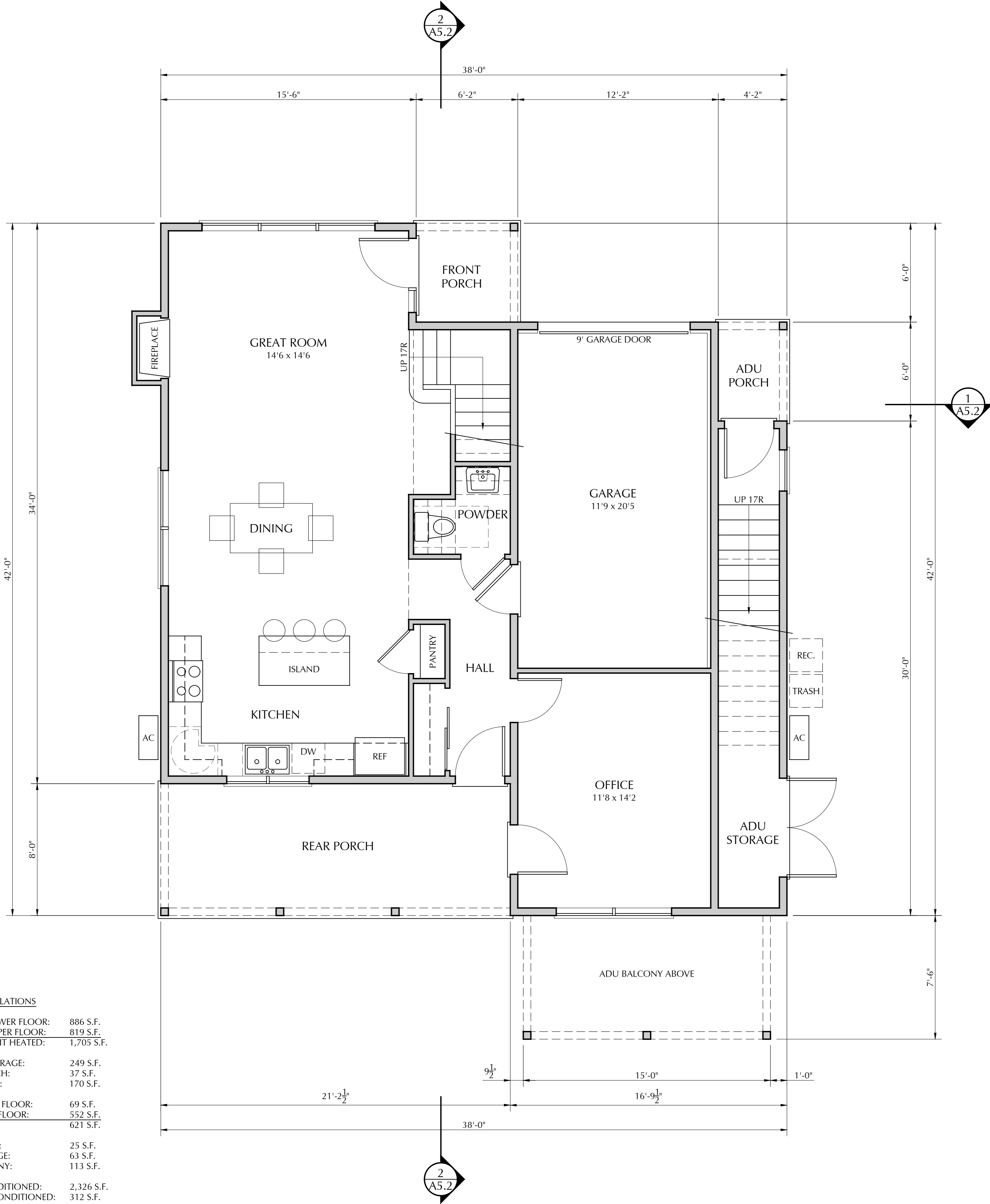
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2 UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"

| | |
|----------------------|------------|
| AREA CALCULATIONS | |
| PRIMARY LOWER FLOOR: | 886 S.F. |
| PRIMARY UPPER FLOOR: | 819 S.F. |
| PRIMARY UNIT HEATED: | 1,705 S.F. |
| | |
| ONE CAR GARAGE: | 249 S.F. |
| FRONT PORCH: | 37 S.F. |
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| | |
| GROSS CONDITIONED: | 2,326 S.F. |
| GROSS UNCONDITIONED: | 312 S.F. |



1 LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"

| | |
|---------------|-----------------------|
| DRAWING DATE: | FEBRUARY 5, 2024 |
| A.P.N. | 015-391-43 & 49 |
| CLIENT NAME: | WALLACE |
| PROJECT NAME: | EVAN CIRCLE - PHASE 2 |

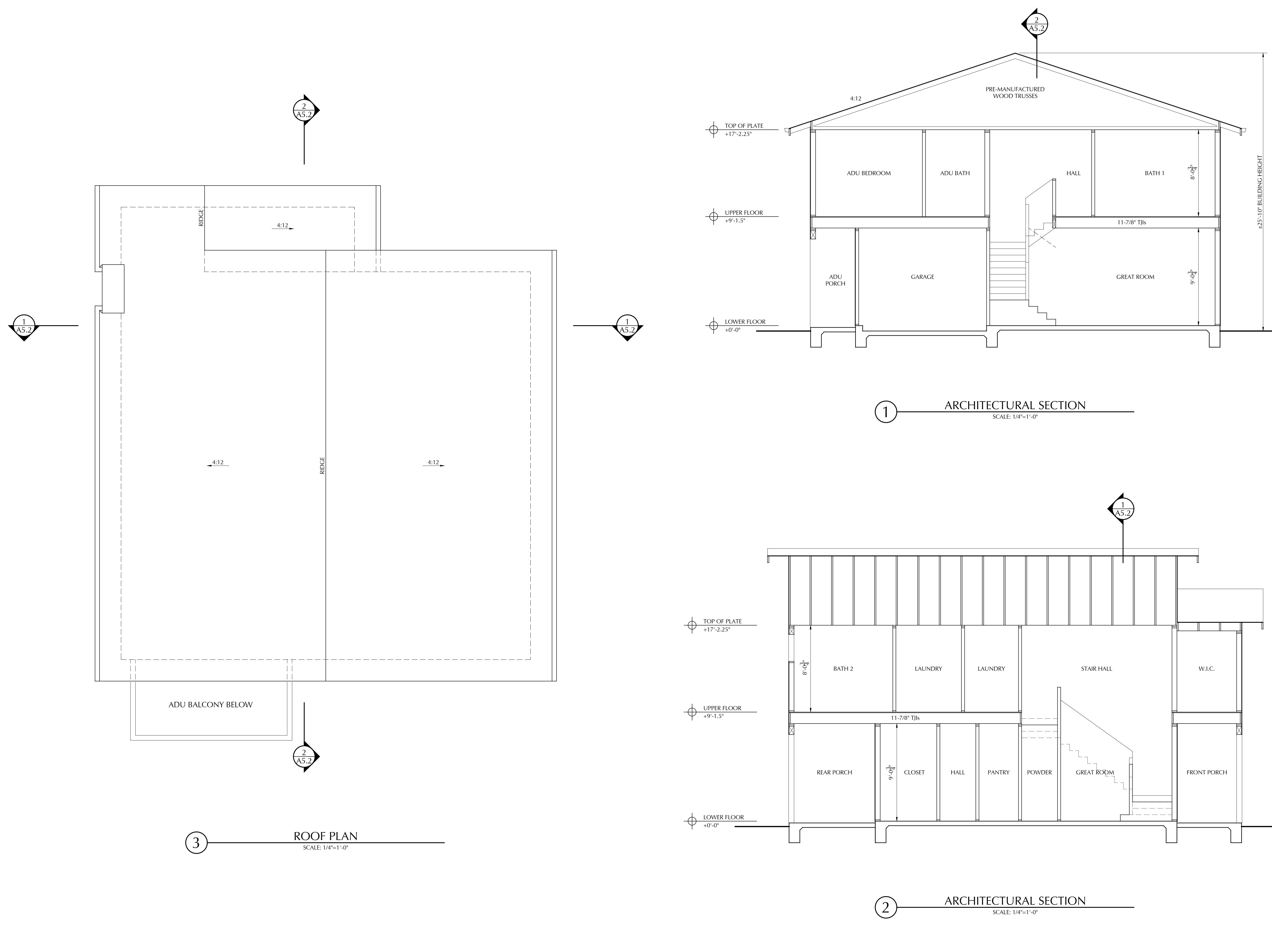
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|-----------|-------------|---------|
| No. | DESCRIPTION | DATE |
| 1 | RESPONSE 1 | 6/21/24 |
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PRELIMINARY
NOT FOR
CONSTRUCTION

STAMP

DISCLAIMER

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2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



1 STREET ELEVATION
SCALE: 1/4"=1'-0"

- CLASS 'A', 40 YEAR, ASPHALT COMPOSITION ROOFING SHINGLES
- 5" OGEE SHAPED PAINTED GUTTERS WITH 2"Ø DOWNSPOUTS
- 2x8 PAINTED WOOD FASCIA & BARGE BOARDS
- 2x6 WOOD CORNER BOARD PAINT GRADE TRIM, TYPICAL
- CEMENTITIOUS HORIZONTAL LAP SIDING
- 6x6 WOOD BARGE BRACKETS
- 2x8 PAINTED BELTLINE HORIZONTAL WOOD TRIM
- VINYL WINDOWS WITH PAINT GRADE 2x4 WOOD TRIM AND 2x3 WOOD SILL, TYPICAL
- CEMENT PLASTER FINISH, TYPICAL AT FIRST FLOORS
- PAINTED 6x6 POSTS AT PORCHES
- FINISH GRADE

SHEET METAL CHIMNEY CAP
CEMENT PLASTER FINISH ON CHIMNEY, TYP.



4 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
SCALE: 1/4"=1'-0"

#25'-10" BUILDING HEIGHT



WILLIAM C. KEMPF
ARCHITECTS
105 Locust Street, Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW RESIDENTIAL DEVELOPMENT FOR
EVAN CIRCLE, LLC - PHASE TWO
AT EVAN CIRCLE, WATSONVILLE, CALIFORNIA
EXTERIOR ELEVATIONS - LOTS 11 & 13

DRAWING DATE:
FEBRUARY 5, 2024
A.P.N.
015-391-43 & 49
CLIENT NAME:
WALLACE
PROJECT NAME:
EVAN CIRCLE - PHASE 2

| REVISIONS | | |
|-----------|-------------|---------|
| No. | DESCRIPTION | DATE |
| 1 | RESPONSE 1 | 6/21/24 |
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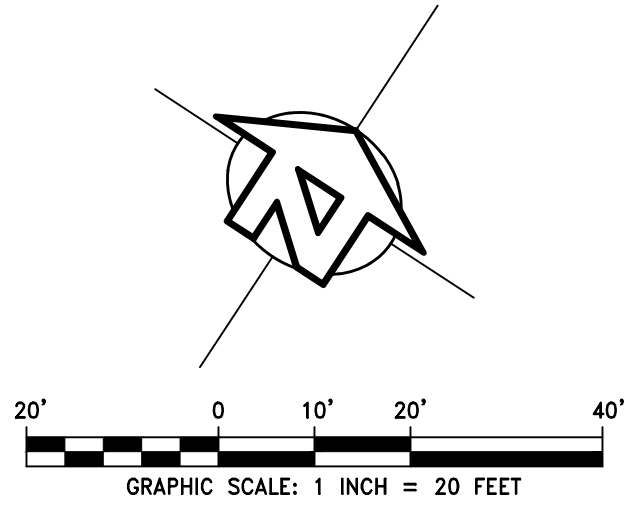


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SHEET
A5.3

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TENTATIVE MAP

FOR

EVAN CIRCLE - PHASE II

WATSONVILLE, CALIFORNIA

NOTE: THE INTENT OF THIS TENTATIVE MAP IS TO SHOW THE PROPOSED MINOR LAND DIVISION ONLY. SEE PRELIMINARY IMPROVEMENT PLANS FOR EXISTING SITE TOPOGRAPHY, AND ALL PROPOSED GRADING, DRAINAGE, UTILITIES, STORMWATER CONTROL, AND ON-SITE IMPROVEMENTS.



VICINITY MAP
NTS
© COUNTY OF SANTA CRUZ GIS 2021

SURVEY

THE PROPERTY BOUNDARY AND SITE TOPOGRAPHY WAS OBTAINED FROM IFLAND SURVEY, PROJECT NO. G05155, DATED NOVEMBER 2005. IN ADDITION, A SUPPLEMENTAL TOPOGRAPHIC SURVEY WAS CONDUCTED BY IFLAND SURVEY IN APRIL 2016, UPON THE COMPLETION OF PHASE I CONSTRUCTION.

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE CITY OF WATSONVILLE BENCHMARK #W-518, WHICH IS A BRONZE CAP SET IN THE CONCRETE SIDEWALK AT THE NORTHEAST CORNER OF AVIATION WAY AND AIRPORT BOULEVARD.

ELEVATION= 131.32 FEET DATUM: USGS

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS HPGN D CA 04AK (WEST WATSONVILLE) AND HPGN D CA 04AJ (SOQUEL). THIS SURVEY WAS ROTATED TO FIT STATE PLANE COORDINATES, NAD 83 (1991.35), WHICH WERE BASED ON GPS OBSERVATIONS AT THE AFOREMENTIONED HPGN STATIONS.

BEARING= N 67°37'42.32" W

GENERAL DATA

| | |
|---------------------|--|
| MAP PREPARED BY: | IFLAND ENGINEERS 5300 SOQUEL AVENUE, SUITE 101 SANTA CRUZ, CA 95062 (831) 426-5313 CONTACT: JON IFLAND |
| OWNER & SUBDIVIDER: | EVAN CIRCLE, LLC. 315 LIBERTY STREET SANTA CRUZ, CA 95060 (831) 254-1029 CONTACT: DOUG WALLACE |
| APN: | 015-391-43 & 49 |
| EXISTING USE: | (2) VACANT LOTS |
| PROPOSED USE: | (5) LOT MINOR LAND DIVISION |
| EXISTING ZONING: | RM-2 = MULTI-RESIDENTIAL |
| PROPOSED ZONING: | NO CHANGE |
| WATER SUPPLY: | CITY OF WATSONVILLE |
| SANITARY SEWER: | CITY OF WATSONVILLE |
| STORM DRAIN: | CITY OF WATSONVILLE (EXCEPT PRIVATE SCW'S, STORMWATER TREATMENT AND DETENTION FACILITIES) |
| GAS & ELECTRIC | PACIFIC GAS & ELECTRIC |
| TOTAL AREA: | 28,023 SF / 0.64± AC |

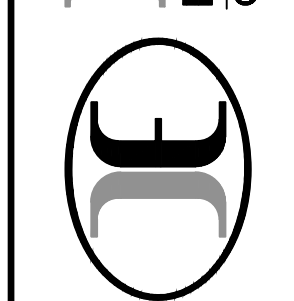
INDEX OF CIVIL SHEETS

| SHEET | DESCRIPTION |
|-------|---|
| TM1.0 | TENTATIVE MAP |
| C0.0 | PRELIMINARY OVERALL SITE PLAN |
| C1.0 | PRELIMINARY GRADING & DRAINAGE PLAN |
| C2.0 | PRELIMINARY UTILITY PLAN |
| C3.0 | PRELIMINARY STORMWATER CONTROL PLAN |
| C4.0 | PRELIMINARY EROSION CONTROL NOTES & DETAILS |
| C4.1 | PRELIMINARY EROSION CONTROL PLAN |

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FAX (831) 426-1763
www.iflandengineers.com

IFLAND ENGINEERS
CIVIL ENGINEERING ■ LAND PLANNING ■ STRUCTURAL DESIGN

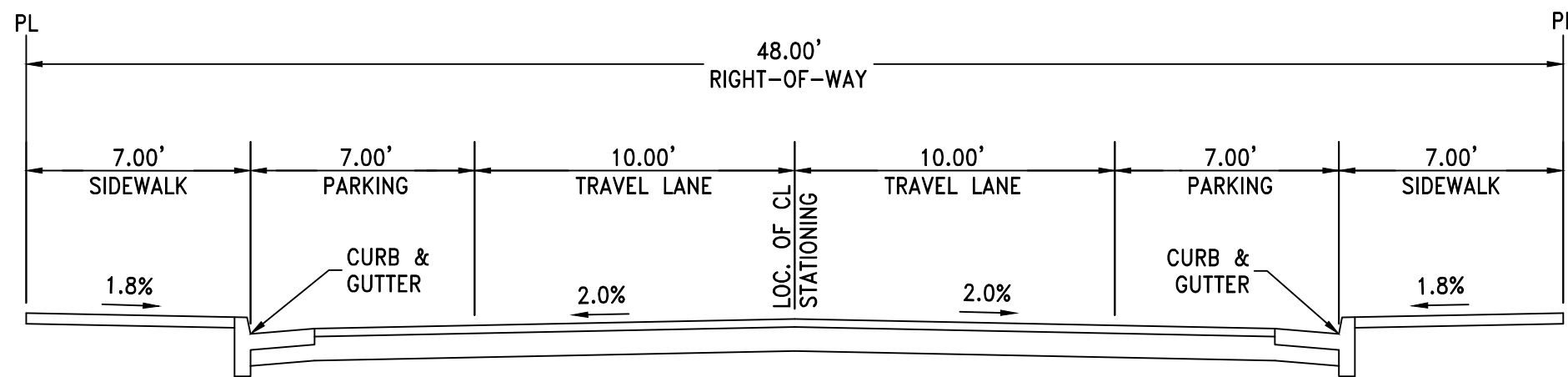
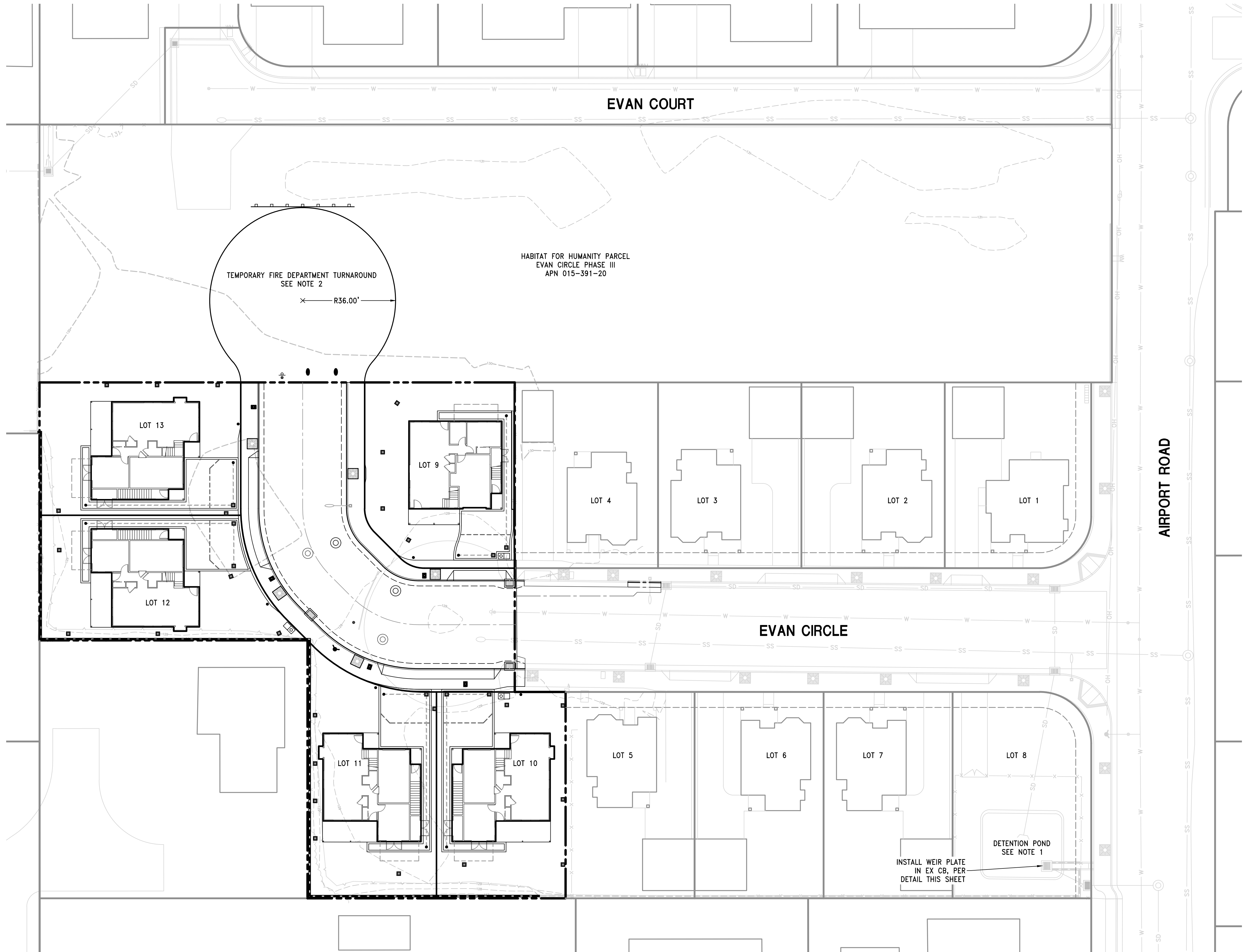


TENTATIVE MAP
EVAN CIRCLE - PHASE II
EVAN CIRCLE, WATSONVILLE, CALIFORNIA

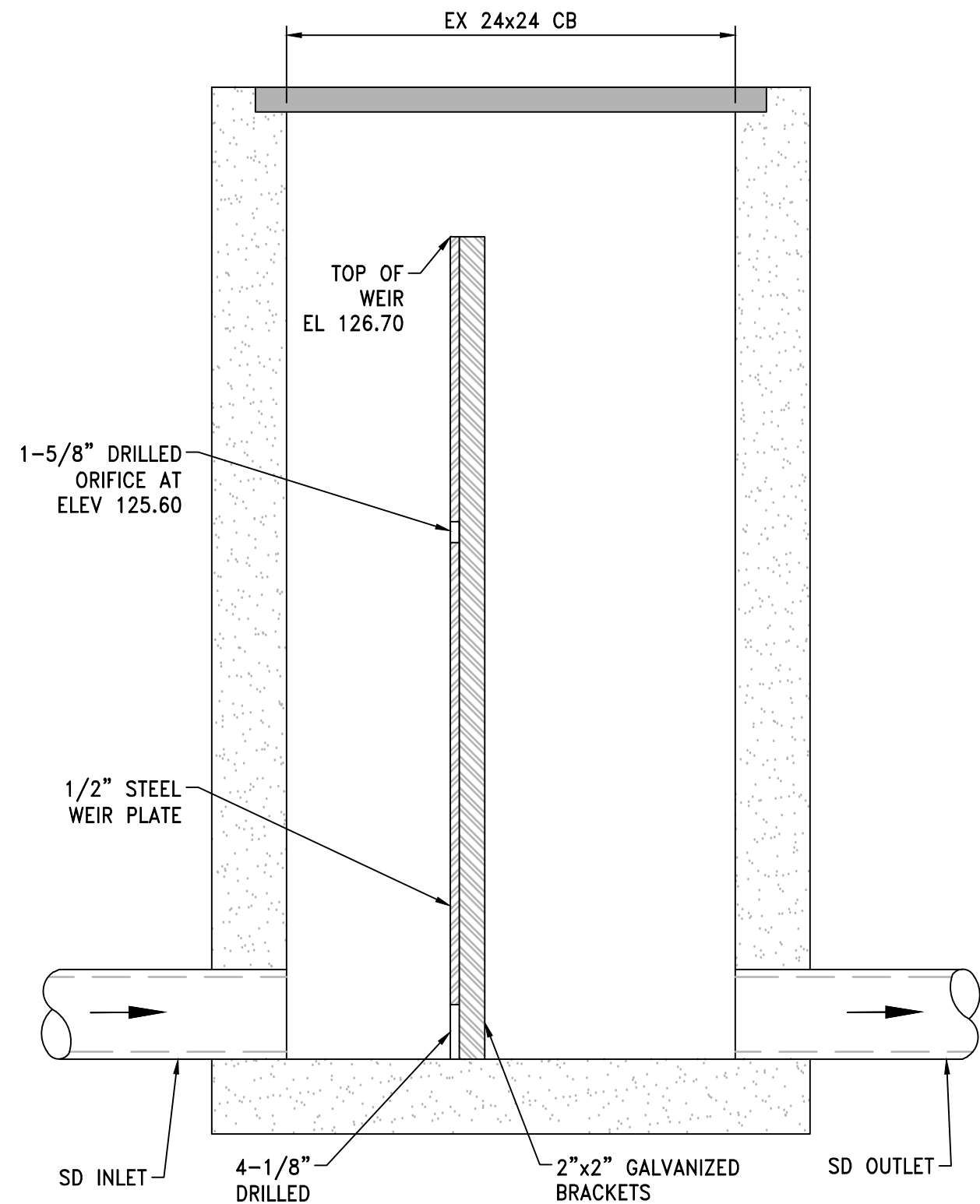
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| APN 015-391-43 & 49 | DESIGN DEVELOPMENT | DRAWN | STAFF |
| DATE | DESIGN | MUR | STAFF |
| 8/30/2023 | | | |
| SHEET | | | |
| TM1.0 | | | |
| JOB NO. | 21021 | | |

I:_PROJECTS\2021\21021 WALLO (DWG)\1 - DD PHASE\CO.0-SITE.dwg 17Sep24 09:05:20 AM mregan © IFLAND ENGINEERS, INC.

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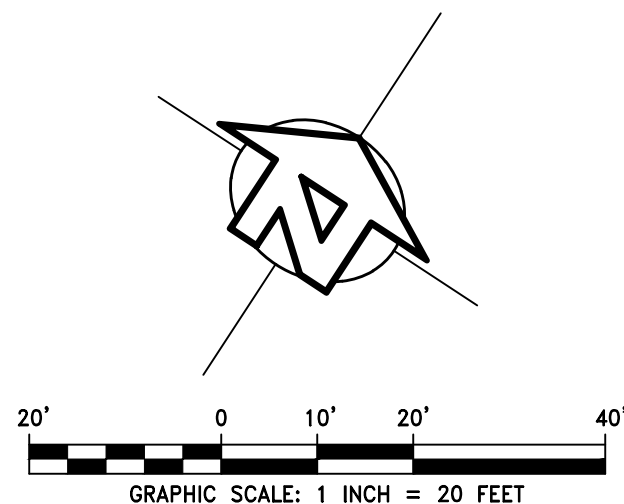
TYPICAL SECTION - EVAN CIRCLE
SCALE: 1"=5'



SECTION
OUTLET CONTROL STRUCTURE
NTS

NOTES:

1. DETENTION POND AND OUTLET CONTROL STRUCTURE SHALL BE CLEARED OF SEDIMENT AND DEBRIS. ANY EROSION SHALL BE REPAIRED. OVERFLOW SHALL BE DIRECTED TO AIRPORT ROAD NOT NEIGHBORING PROPERTIES.
2. FIRE DEPARTMENT TURNAROUND ON NEIGHBORING PARCEL IS TEMPORARY. A SEPARATE PROJECT, KNOWN AS EVAN CIRCLE PHASE III, PROPOSED BY HABITAT FOR HUMANITY IS TO BE CONSTRUCTED ON APN 015-391-20. PHASE III IMPROVEMENTS ARE ANTICIPATED TO INCLUDE CONNECTING EVAN CIRCLE WITH EVAN COURT TO PROVIDE A FULL LOOP CONNECTED TO AIRPORT ROAD AT BOTH ENDS. SEE PLANS BY OTHERS.
3. SEE GRADING AND DRAINAGE PLAN, SHEET C1.0, AND UTILITY PLAN, SHEET C2.0, FOR UTILITIES STUBBED INTO TEMPORARY TURNAROUND FOR FUTURE PHASE III CONNECTION.



NOT FOR CONSTRUCTION

PRELIMINARY
OVERALL SITE PLAN

EVAN CIRCLE - PHASE II

EVAN CIRCLE, WATSONVILLE, CALIFORNIA

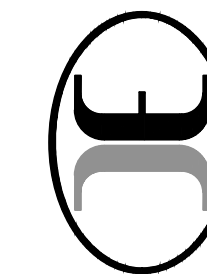
APN 015-391-43 & 49
DESIGN DEVELOPMENT

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JOB NO. 21021

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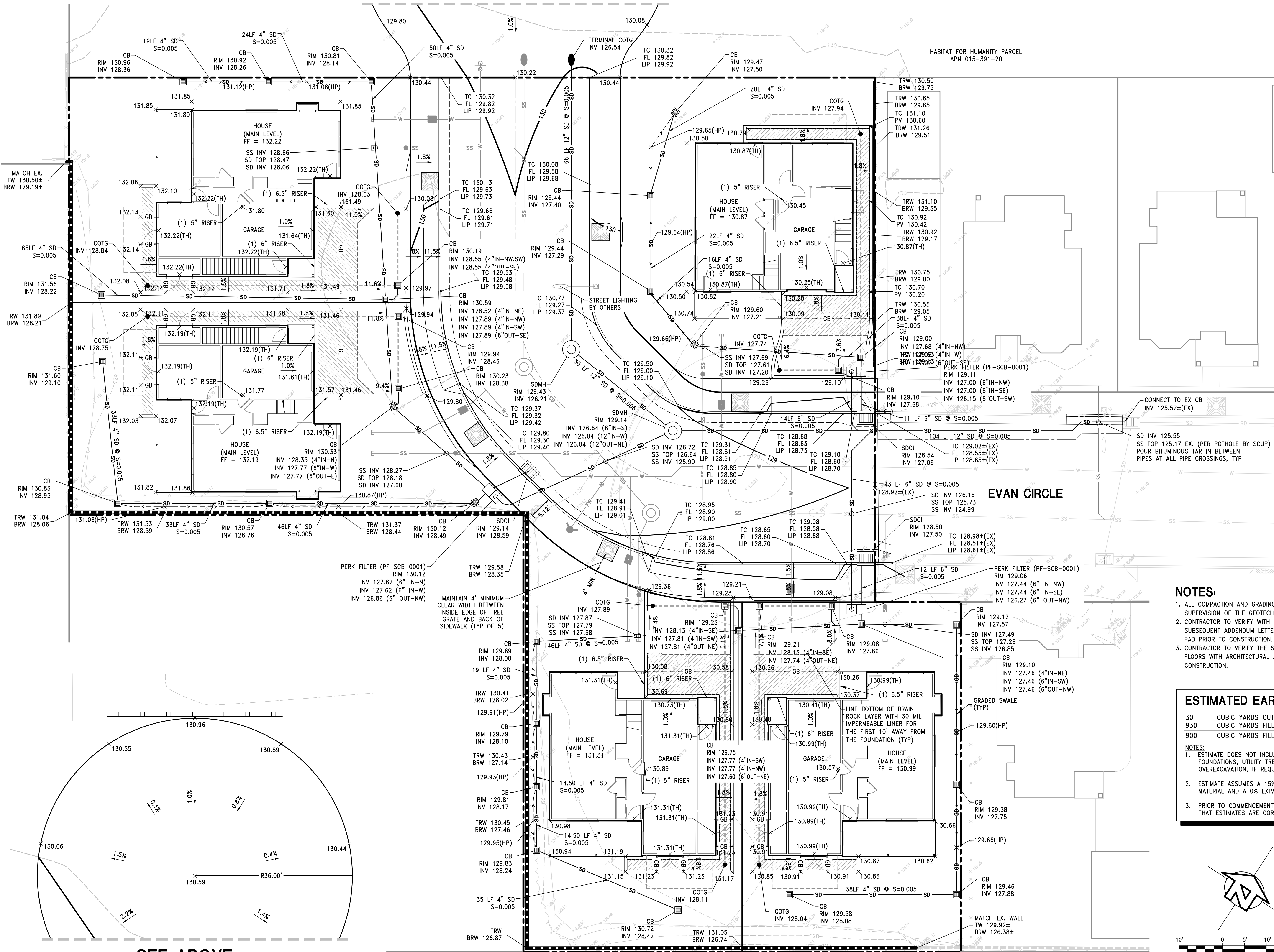
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STAFF

DESIGN
MUR

DATE
8/30/2023

| DATE | BY | REVISION |
|---------|-------|-------------------------------------|
| 8/17/24 | STAFF | DELTA 2 - REVISED PER CITY COMMENTS |
| 8/18/24 | STAFF | DELTA 1 - REVISED PER CITY COMMENTS |

SEE BELOW



SEE ABOVE

LEGEND:

30 MIL IMPERMEABLE
LINER OR APPROVED
EQUIVALENT

NOTES:

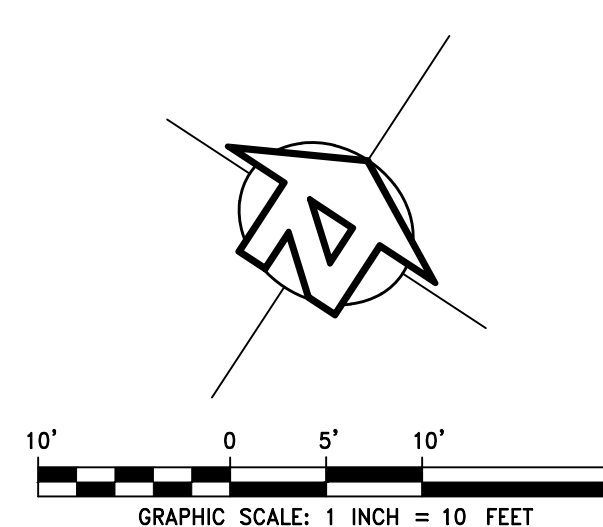
1. ALL COMPACTION AND GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
2. CONTRACTOR TO VERIFY WITH THE GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUM LETTERS FOR FINAL THICKNESS OF THE BUILDING PAD PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY THE STRUCTURAL SECTION FOR SLAB ON GRADE FLOORS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.

ESTIMATED EARTHWORK QUANTITIES

30 CUBIC YARDS CUT
930 CUBIC YARDS FILL
900 CUBIC YARDS FILL

NOTES:

1. ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.



NOT FOR CONSTRUCTION

PRELIMINARY

GRADING AND DRAINAGE PLAN

EVAN CIRCLE - PHASE II

EVAN CIRCLE, WATSONVILLE, CALIFORNIA

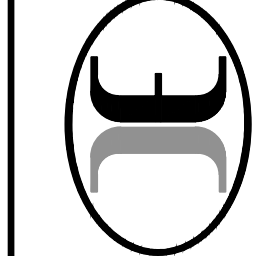
APN 015-391-43 & 49
DESIGN DEVELOPMENT

SHEET
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JOB NO. 21021
Attachment 1: Page 15 of 20

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EVAN CIRCLE - PHASE II

APN 015-391-43 & 49
DESIGN DEVELOPMENT

SHEET
C1.0

JOB NO. 21021
Attachment 1: Page 15 of 20

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PF-SCB-0001

TRAFFIC RATED SOLID PLATE COVER.

TRAFFIC RATED INLET GRATE.

CONCRETE APRON/COLLAR REQUIRED, BY OTHERS. SEE NOTE 6.

PerkFilter™ CARTRIDGE.

2X FLOW THRU TUBES.

FLOATABLES WEIR.

PRIMARY BYPASS BETWEEN FLOW THRU TUBES.

FLOW THRU TUBES INTO FILTER CHAMBER.

DRAIN DOWN DEVICE.

DETAIL A
INLET / BYPASS ASSEMBLY & DRAIN DOWN SCALE: 1.5X

| CARTRIDGE SIZE | TREATMENT FLOW RATE GPM / CFS | TOTAL FLOW CAPACITY CFS | MINIMUM DEPTH (FEET) |
|-------------------------|-------------------------------|-------------------------|----------------------|
| 12.00" | 12 / 0.03 | 1.3 | 2.00 |
| 18.00" | 18 / 0.04 | 1.3 | 2.50 |
| STACKED 12.00" + 12.00" | 24 / 0.05 | 1.3 | 3.16 |
| STACKED 18.00" + 12.00" | 30 / 0.07 | 1.3 | 3.67 |

ISOMETRIC VIEW

Notes:

- All steel utilized in fabrication and shall be 1/4" plate per ASTM A36.
- PerkFilter™ Catch basin shall be supplied with traffic rated (H20) bicycle-proof grates and solid plate cover.
- Inlet pipe(s) may enter device on any of three sides of the inlet chamber. Outlet pipe may exit on any of all four sides. All pipe is 12" maximum.
- Inlet chamber shall be supplied with a DRAIN DOWN device designed to remove standing water between storm events.
- For depths less than the specified minimum contact Oldcastle Infrastructure® for engineering assistance.
- Field poured Concrete Apron / Collar required, by others. Refer to PF-SCB-1000 for recommended configuration.
- PerkFilter™ cartridge shall be maintained in accordance with manufacturer recommendations.

TRAFFIC RATED SOLID PLATE COVER.

TRAFFIC RATED INLET GRATE.

CONCRETE APRON/COLLAR, SEE NOTE 6.

PerkFilter™ CARTRIDGE.

2X FLOW THRU TUBES.

FLOATABLES WEIR.

PRIMARY BYPASS BETWEEN FLOW THRU TUBES.

FLOW THRU TUBES INTO FILTER CHAMBER.

DRAIN DOWN DEVICE.

DETAIL A
INLET / BYPASS ASSEMBLY & DRAIN DOWN SCALE: 1.5X

TRAFFIC RATED SOLID PLATE COVER.

TRAFFIC RATED INLET GRATE.

CONCRETE APRON/COLLAR, SEE NOTE 6.

PerkFilter™ CARTRIDGE.

2X FLOW THRU TUBES.

FLOATABLES WEIR.

PRIMARY BYPASS BETWEEN FLOW THRU TUBES.

FLOW THRU TUBES INTO FILTER CHAMBER.

DRAIN DOWN DEVICE.

DETAIL A
INLET / BYPASS ASSEMBLY & DRAIN DOWN SCALE: 1.5X

NOTES:

- WATER, SANITARY SEWER, AND STORM DRAIN MAINS SHALL BE EXTENDED INTO THE TEMPORARY TURNAROUND FOR FUTURE PHASE III OF THE EVAN CIRCLE SUBDIVISION.

NOT FOR CONSTRUCTION

PRELIMINARY

UTILITY PLAN

EVAN CIRCLE - PHASE II

EVAN CIRCLE, WATSONVILLE, CALIFORNIA

APN 015-391-43 & 49

DESIGN DEVELOPMENT

DRAWN
STAFF

DESIGN
MUR

DATE
8/30/2023

SHEET

C2.0

JOB NO. 21021

Attachment 1: Page 16 of 20

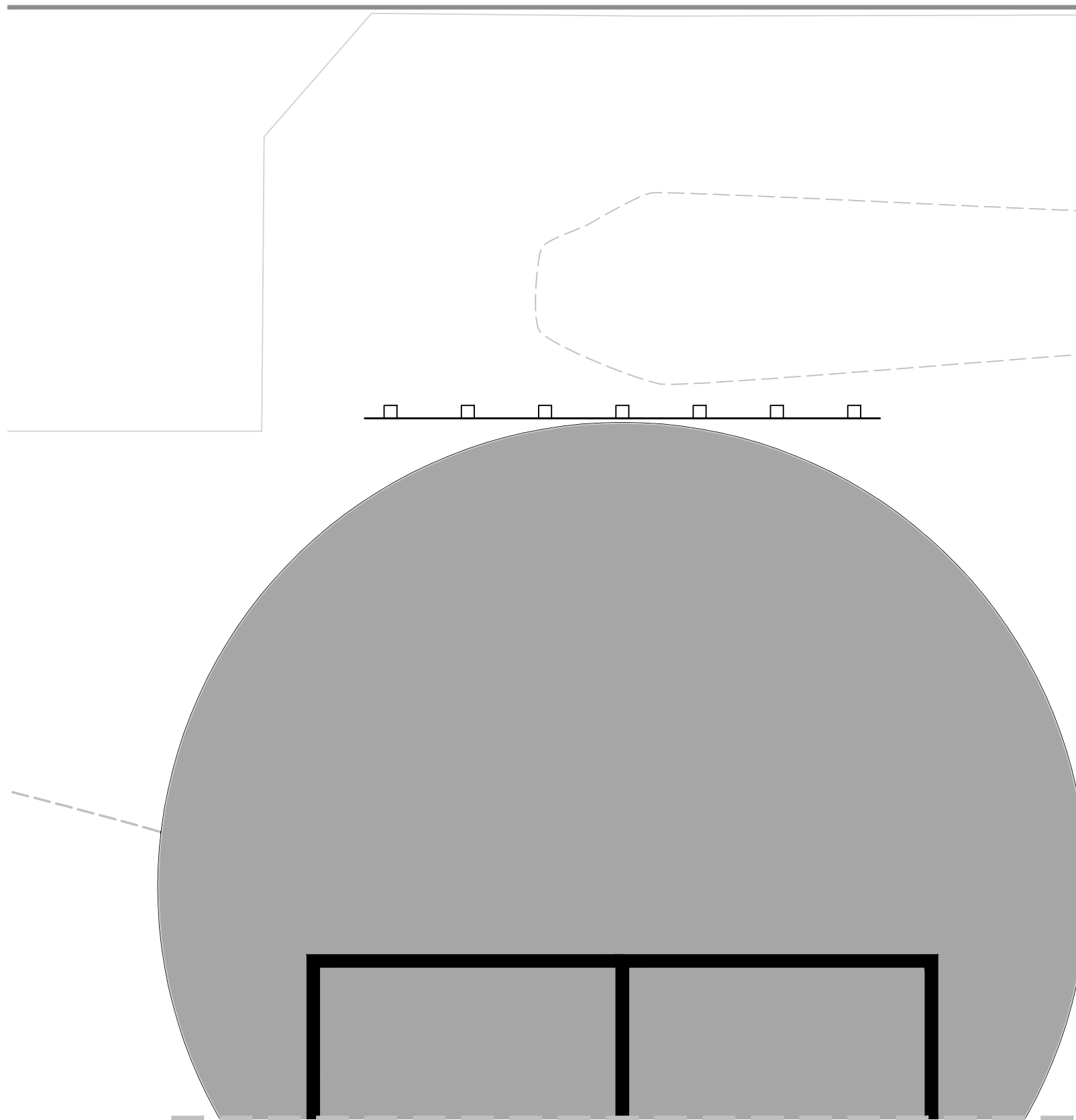
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| DATE | BY | REVISION |
|--|--|-------------------------------------|
| 8/17/24 <td>STAFF<td>DELTA 2 - REVISED PER CITY COMMENTS</td></td> | STAFF <td>DELTA 2 - REVISED PER CITY COMMENTS</td> | DELTA 2 - REVISED PER CITY COMMENTS |
| 8/18/24 <td>STAFF<td>DELTA 1 - REVISED PER CITY COMMENTS</td></td> | STAFF <td>DELTA 1 - REVISED PER CITY COMMENTS</td> | DELTA 1 - REVISED PER CITY COMMENTS |

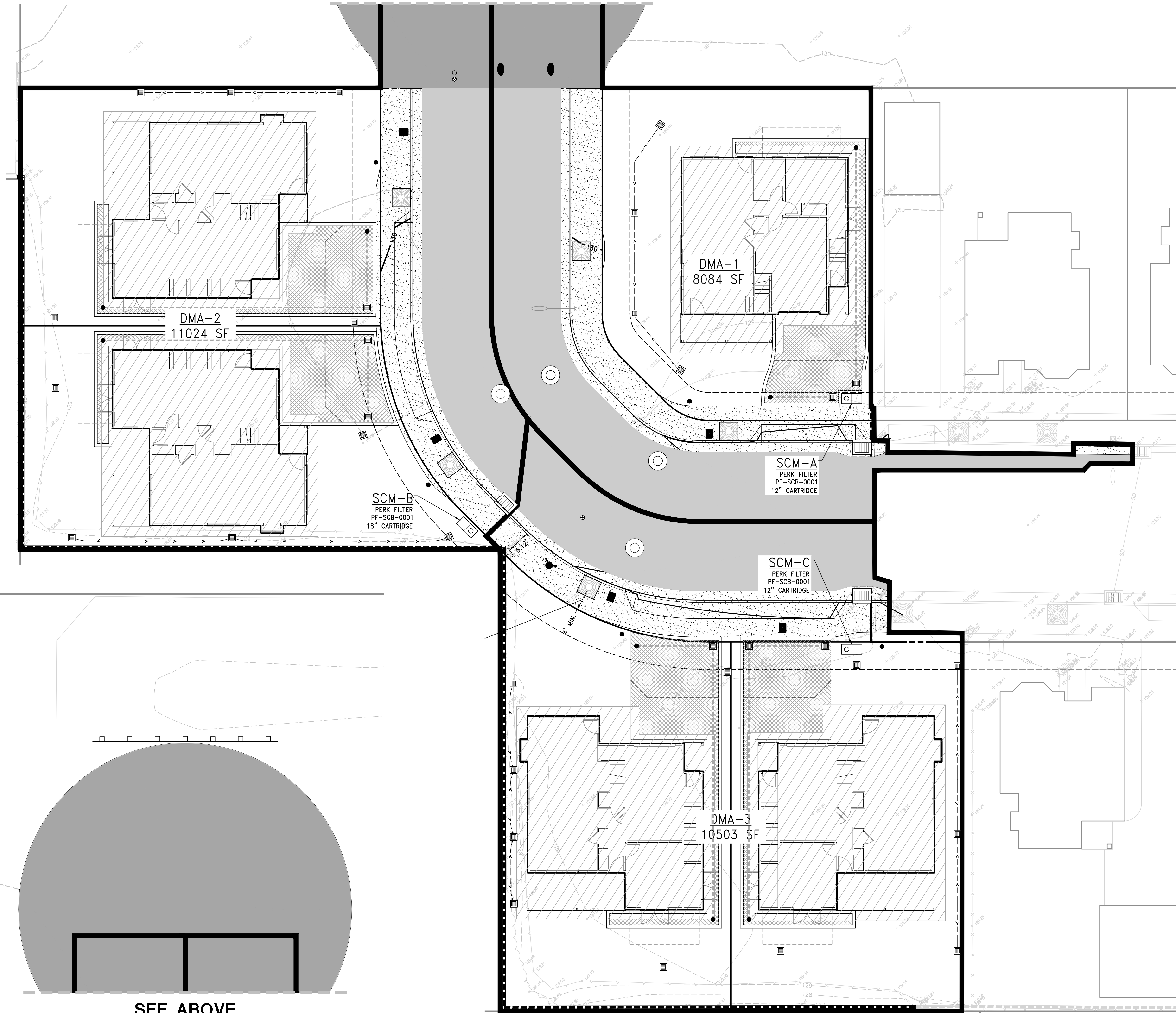
I:_PROJECTS\2021\21021 WALD (DWG)\1 - DD PHASE\3.0-SWCP.dwg 17Sep24 06:05:54 AM mregon © IFLAND ENGINEERS, INC.

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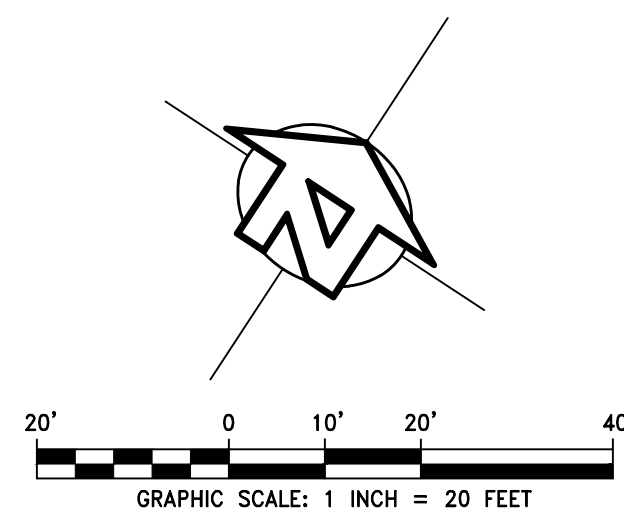


LEGEND:

- ROOF
- PERMEABLE CONCRETE
- CONCRETE
- ASPHALT
- TEMPORARY AC TURNAROUND

NOTES:

1. THE TEMPORARY TURNAROUND IS LOCATED ON THE CITY OWNED PARCEL THAT IS TO BE DEVELOPED AS PHASE III OF THE EVAN CIRCLE SUBDIVISION. THE TURNAROUND IS REQUIRED FOR FIRE TRUCK ACCESS AND WILL BE REMOVED AS PART OF PHASE III.
2. THE TEMPORARY TURNAROUND IS NOT INCLUDED IN THE DRAINAGE CALCULATIONS. RUNOFF FROM THE TURNAROUND WILL BE DIRECTED TO ADJACENT LANDSCAPING.
3. DMAs 1B AND 2B REPRESENT FUTURE ROAD AREA ACCOUNTED FOR IN THE SIZING CALCULATIONS FOR THE PHASE II STORMWATER MITIGATION FACILITIES.



NOT FOR CONSTRUCTION

PRELIMINARY

STORMWATER CONTROL PLAN
EVAN CIRCLE - PHASE II

EVAN CIRCLE, WATSONVILLE, CALIFORNIA

APN 015-391-43 & 49
DESIGN DEVELOPMENT

DATE 8/30/2023
DESIGN MUR
DRAWN STAFF

SHEET
C3.0

JOB NO. 21021

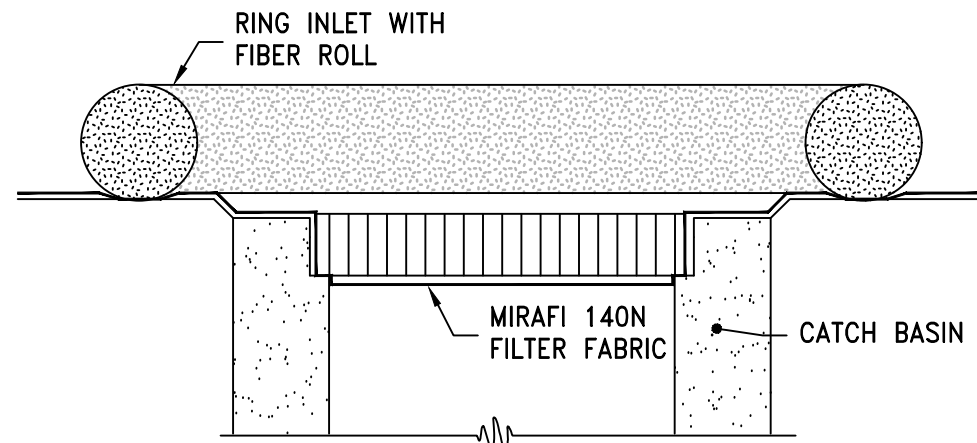
Attachment 1: Page 17 of 20

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STAFF: DELTA 2 - REVISED PER CITY COMMENTS 8/17/24
BY: DELTA 1 - REVISED PER CITY COMMENTS 8/18/24
DATE: _____

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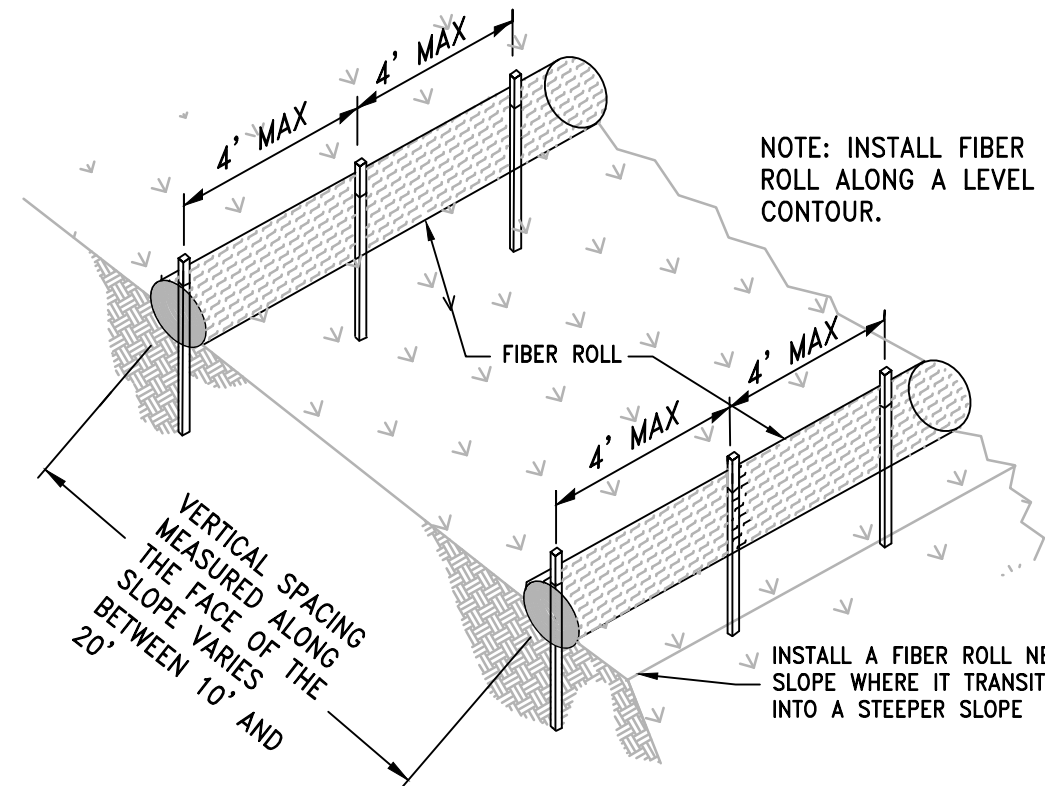
INSPECTION AND MAINTENANCE:

1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM – 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

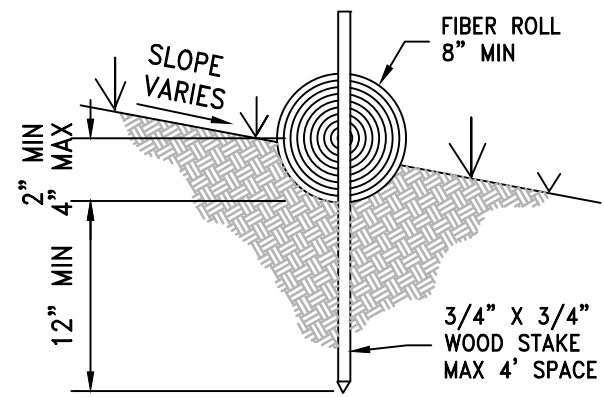
CATCH BASIN PROTECTION

NTS

2



TYPICAL INSTALLATION



ENTRENCHMENT DETAIL

FIBER ROLLS

NTS

| SLOPE INSTALLATION TABLE | |
|--------------------------|-----------------------------|
| SLOPE | MAX FIBER ROLL SPACING (FT) |
| 4:1 (OR FLATTER) | 20 |
| 4:1 TO 2:1 | 15 |
| GREATER THAN 2:1 | 10 |

CONSTRUCTION SPECIFICATIONS

1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

INSTALLATION AND MAINTENANCE

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

SITE HOUSEKEEPING NOTES

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND

- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL DIRECTION, DETAILS, AND REQUIREMENTS ARE INCLUDED IN THE SWPPP. CONTRACTOR SHALL WORK WITH THE PROJECT'S QUALIFIED SWPPP PRACTITIONER (QSP) THROUGHOUT CONSTRUCTION TO ENSURE THE SITE IS PROPERLY PROTECTED FROM POSSIBLE POLLUTANTS. THE QSP HAS AUTHORIZATION TO ADD OR REMOVE BMP MEASURES THROUGHOUT CONSTRUCTION AS SPECIFIED IN THE SWPPP DOCUMENT.
2. THE QSP SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED BY THE SWPPP AND ALL RECORDS ARE RETAINED ONSITE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 1ST AND APRIL 30TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 1ST AND APRIL 30TH, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
7. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
8. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
9. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION REQUIRED BY SECTION 16.19.140 SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 1ST AND APRIL 30TH. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
11. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
13. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE SPILL RESPONSE REQUIREMENTS SPECIFIED IN THE SWPPP DOCUMENT AND THE CONTRACTORS O&M STANDARDS.

PRELIMINARY

EROSION CONTROL NOTES AND DETAILS

EVAN CIRCLE - PHASE II

EVAN CIRCLE, WATSONVILLE, CALIFORNIA

APN 015-391-43 & 49
DESIGN DEVELOPMENT

DATE 8/30/2023
DESIGN MUR
DRAWN STAFF

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JOB NO. 21021

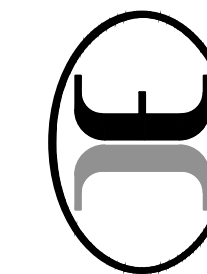
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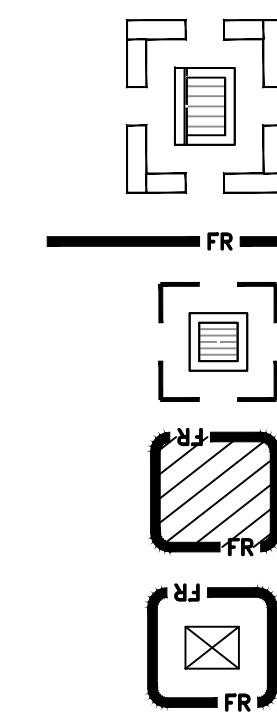
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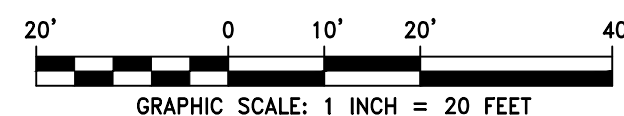
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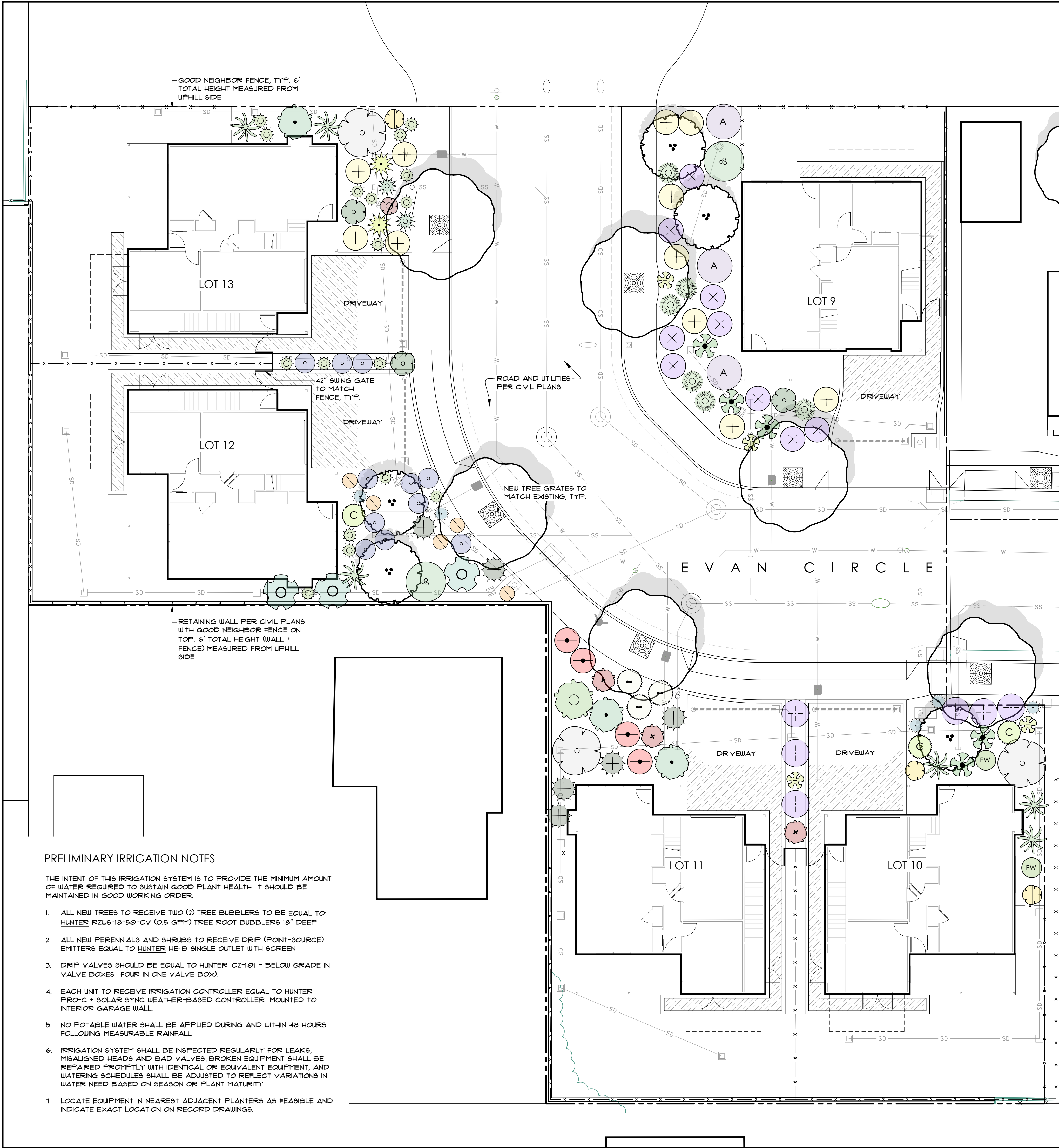


PORTABLE TOILET WITH
FIBER ROLLS 2' MIN.
AROUND ALL SIDES

1. SEE EROSION CONTROL NOTES AND DETAILS SHEET AS PART OF THIS PLAN SET.
2. CONTRACTOR TO DETERMINE LOCATION OF CONCRETE WASHOUT.



Attachment 1: Page 19 of 20



| PLANT LEGEND | | | | |
|-----------------------|---|--------|-----|------------------------|
| TREES | BOTANICAL NAME / COMMON NAME | SIZE | QTY | MATURE HT/WIDTH WUCOLS |
| | LAURUS NOBILIS / SWEET BAY (MULTI-TRUNK) | 15 GAL | 10 | 12' X 12' L |
| | PISTACIA CHINENSIS 'KEITH DAVEY' / FRUITLESS CHINESE PISTACHE | 15 GAL | X | 40' X 40' L |
| SHRUBS AND PERENNIALS | BOTANICAL NAME / COMMON NAME | SIZE | QTY | MATURE HT/WIDTH WUCOLS |
| | ACACIA COGNATA 'COUSIN ITT' / LITTLE RIVER WATTLE | 1 GAL | 1 | 2' X 4' L |
| | ABUTILON 'GOLDEN BALLERINA' / YELLOW FLOWERING MAPLE | 5 GAL | 3 | 6' X 4' M |
| | ABUTILON 'ALBUS' / WHITE FLOWERING MAPLE | 5 GAL | 3 | 8' X 8' M |
| | AGAVE ATTENUATA / FOX TAIL AGAVE | 1 GAL | 6 | 4' X 6' L |
| | AGAVE ATTENUATA 'KARA'S STRIPE' / variegated FOX TAIL AGAVE | 1 GAL | 4 | 4' X 4' L |
| | ALYOGYNE HUEGELII 'SANTA CRUZ' / BLUE Hibiscus | 5 GAL | 3 | 1' X 8' L |
| | CISTUS SALVIFOLIUS 'PROSTRATUS' / SAGELEAF ROCK ROSE | 1 GAL | 3 | 1' X 6' L |
| | COLEONEMA FULCHELLUM 'SUNSET GOLD' / BREATH OF HEAVEN | 1 GAL | 3 | 3' X 5' L |
| | EUPHORBIA CHARACIAS SSP WULFENII / EUPHORBIA | 1 GAL | 2 | 3' X 4' L |
| | FATSIA JAPONICA / JAPANESE ARALIA | 1 GAL | 6 | 6' X 6' M |
| | LANTANA CAMARA 'RADIATION' / RADIATION BUSH LANTANA | 1 GAL | 6 | 5' X 5' L |
| | LANTANA X 'SUNBURST' / SUNBURST™ SPREADING LANTANA | 1 GAL | 11 | 2' X 6' L |
| | LANTANA SELLOWIANA / TRAILING LANTANA | 1 GAL | 10 | 1' X 5' L |
| | LEUCADENDRON 'RED GEM' / RED GEM CONEBUSH | 1 GAL | 1 | 3' X 3' L |
| | LEUCADENDRON 'SAFARI GOLDSTRIKE' / SAFARI GOLDSTRIKE YELLOW CONEBUSH | 1 GAL | 3 | 5' X 5' L |
| | OLEA EUROPAEA 'MONTRA' / LITTLE OLLIE DWARF OLIVE | 5 GAL | 3 | 6' X 6' L |
| | PITTOSPORUM TENUIFOLIUM 'SILVER MAGIC' / KOHUHU | 5 GAL | 2 | 10' X 8' L |
| | ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / ROSEMARY | 1 GAL | 11 | 1.5' X 4' L |
| | SALVIA 'DARA'S CHOICE' / DARA'S CHOICE SAGE | 1 GAL | 6 | 18" X 6' L |
| | SENECIO FICOIDES 'SKYSCRAPER' (MOUNT EVEREST) / MOUNT EVEREST BLUE CHALK STICKS | 1 GAL | 5 | 4' X 2' L |
| | YUCCA GLORIOSA 'WALBRISTAR' / BRIGHT STAR YUCCA | 1 GAL | 2 | 1.5' X 5' L |
| | YUCCA GLORIOSA 'VARIEGATA' / VARIEGATED YUCCA | 1 GAL | 2 | 1.5' X 5' L |
| GRASSES | BOTANICAL NAME / COMMON NAME | SIZE | QTY | MATURE HT/WIDTH WUCOLS |
| | ANEMANTHELE LESSONIANA (STIPA ARUNDINACEA 'SIROCCO') / NEW ZEALAND WIND GRASS | 1 GAL | 4 | 3' X 3' L |
| | CORDYLINE 'RED SENSATION' / SENSATION CORDYLINE | 5 GAL | 3 | 4' X 4' L |
| | CORDYLINE AUSTRALIS 'ALBERTII' / GRASS PALM | 5 GAL | 1 | 15' X 8' L |
| | CORDYLINE AUSTRALIS 'TORBAY DAZZLER' / GRASS PALM | 5 GAL | 3 | 15' X 8' L |
| | LOMANDRA HYSTRIX 'TROPIC BELLE' / TROPIC BELLE MAT RUSH | 1 GAL | 11 | 3' X 3' L |
| | THAMNOCHORTUS INSIGNIS / THATCHING REED | 1 GAL | 6 | 5' X 1' L |

PLANTING NOTES

- TOTAL LANDSCAPED AREA = 4,606 SF
- IN PLANTING AREAS, SOIL SHALL BE TILLED TO A DEPTH OF 6" AND AMENDED WITH 6CY OF ORGANIC MATERIAL PER 1,000 SQUARE FEET TO PROMOTE INFILTRATION AND WATER RETENTION.
- ALL OTHER PLANTING ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4". NO GORILLA HAIR SHALL BE USED.
- THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.

LANDSCAPING BY LOT

| |
|---------------------------------|
| LOT 9 |
| TOTAL LOT SIZE: 4,023 SF |
| SIZE LANDSCAPED: 1,301 SF = 32% |
| LOT 10 |
| TOTAL LOT SIZE: 4,000 SF |
| SIZE LANDSCAPED: 800 SF = 20% |
| LOT 11 |
| TOTAL LOT SIZE: 4,200 SF |
| SIZE LANDSCAPED: 856 SF = 20% |
| LOT 12 |
| TOTAL LOT SIZE: 4,198 SF |
| SIZE LANDSCAPED: 840 SF = 20% |
| LOT 13 |
| TOTAL LOT SIZE: 4,011 SF |
| SIZE LANDSCAPED: 803 SF = 20% |

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE

UPON BUILDING DEPARTMENT SUBMITTAL, THE PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH ANY OF THE CITY OF WATSONVILLE WATER EFFICIENT LANDSCAPE ORDINANCES.

PRELIMINARY IRRIGATION NOTES

THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH. IT SHOULD BE MAINTAINED IN GOOD WORKING ORDER.

- ALL NEW TREES TO RECEIVE TWO (2) TREE BUBBLERS TO BE EQUAL TO HUNTER RZWS-10-50-CV (0.5 GPM) TREE ROOT BUBBLERS 16" DEEP
- ALL NEW PERENNIALS AND SHRUBS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO HUNTER HE-B SINGLE OUTLET WITH SCREEN
- DRIP VALVES SHOULD BE EQUAL TO HUNTER ICZ-101 - BELOW GRADE IN VALVE BOXES FOUR IN ONE VALVE BOX
- EACH UNIT TO RECEIVE IRRIGATION CONTROLLER EQUAL TO HUNTER PRO-C + SOLAR SYNC WEATHER-BASED CONTROLLER. MOUNTED TO INTERIOR GARAGE WALL
- NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL
- IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES. BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT, AND WATERING SCHEDULES SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
- LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON RECORD DRAWINGS.

mbLA

megan bishop

LANDSCAPE ARCHITECTURE

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LICENSED LANDSCAPE ARCHITECT

MEGAN BLENOWE BISHOP

NO. 5706

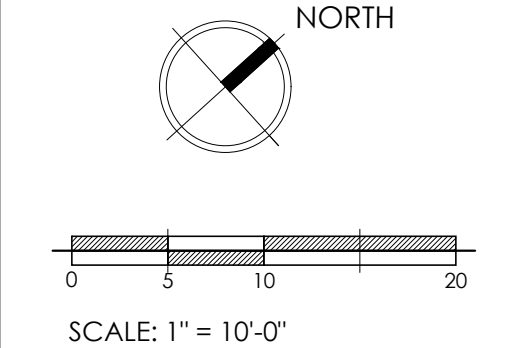
Exp. 4/11/26

STATE OF CALIFORNIA

THIS SHEET TO BE PRINTED AT 24" X 36"

EVAN CIRCLE PHASE TWO

EVAN CIRCLE
WATSONVILLE, CA
APN#015-391-43,49



| PLAN REVISIONS | |
|----------------|-------------------|
| 6/24/2024 | PLANNING COMMENTS |
| 9/17/2024 | PLANNING COMMENTS |

| | |
|------|------------|
| DATE | 12/22/2022 |
| JOB | 2223 |

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.0