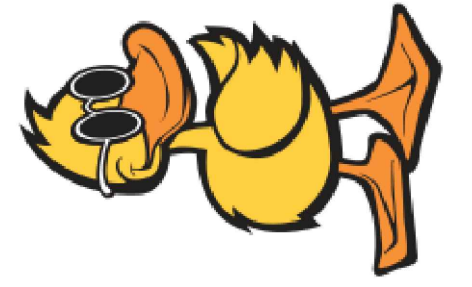


STORE #33-059
 APN: 017-321-02
 632 E LAKE AVE
 WATSONVILLE, CA 95076
 SANTA CRUZ COUNTY



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
 STORE #33-059
 APN: 017-321-02
 632 E. LAKE AVE
 WATSONVILLE, CA 95076
 SANTA CRUZ COUNTY

DATE DESCRIPTION

- 6/3/2024 1ST ROUND COMMENTS



COVER SHEET, PROJECT
 INFORMATION AND
 DRAWING INDEX

DATE: 09/14/2023
 TAIT JOB #: 000076

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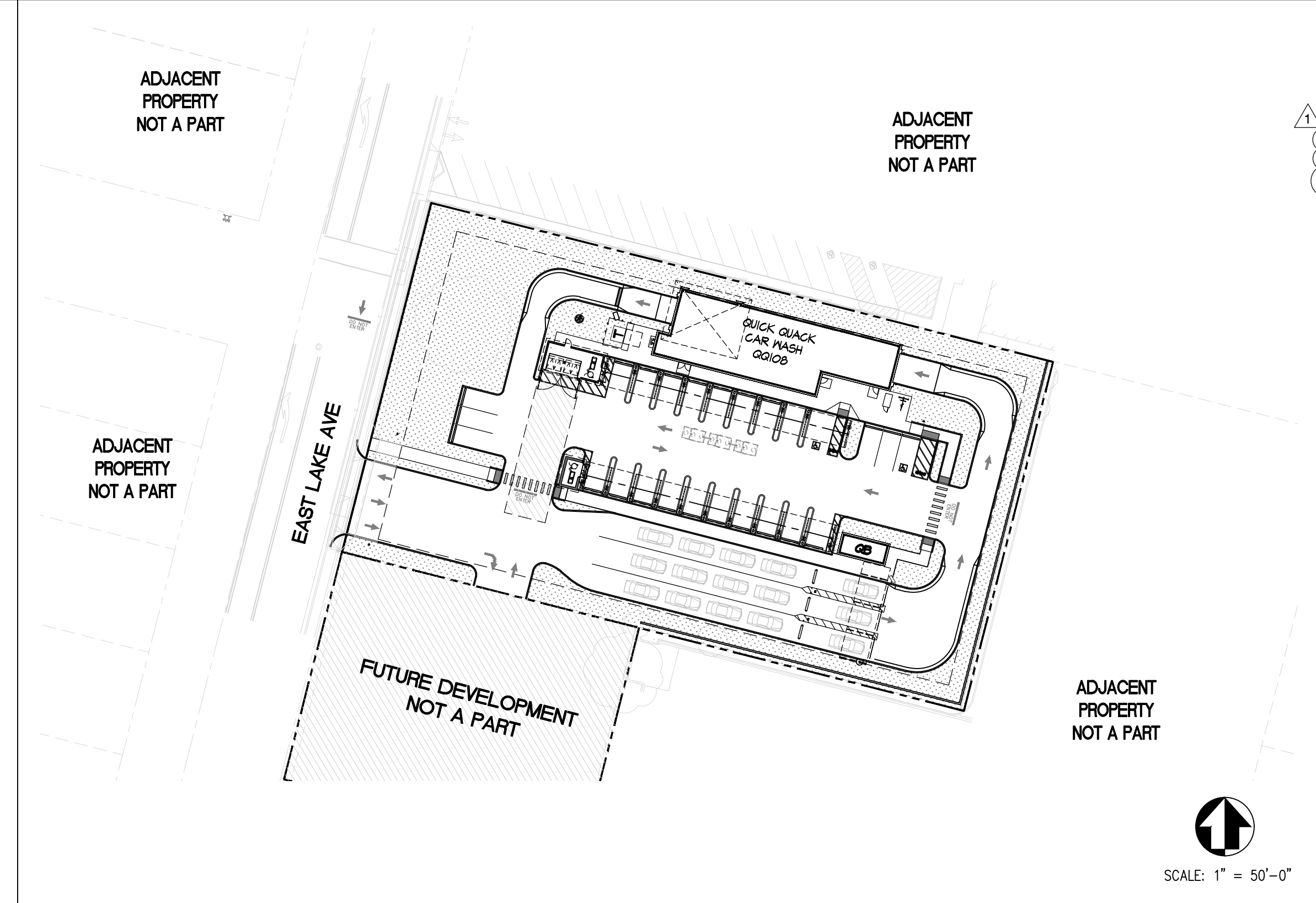
PLANNING PACKAGE

A0.01

LEGAL DESCRIPTION

SITUATED IN THE RANCHO BOLSA DEL PAJARO, AND BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE CENTER LINE OF EAST LAKE AVENUE FROM WHICH THE NORTHERLY CORNER OF THE LANDS DESCRIBED AS PARCEL 6 IN THE DECREE OF FINAL DISTRIBUTION OF THE ESTATE OF ROSE HAWKINS RECORDED NOVEMBER 6, 1957 IN VOLUME 1157, PAGE 124, OFFICIAL RECORDS OF SANTA CRUZ COUNTY, AND AS SAID LANDS ARE SHOWN ON A RECORD OF SURVEY MAP, A COPY OF WHICH IS FILED FOR RECORD IN VOLUME 37, PAGE 47, SANTA CRUZ COUNTY RECORDS, BEARS SOUTH 14° 20' 20" WEST, 554.20 FEET DISTANT AND ALSO FROM WHICH A 2 INCH PIPE BEARS SOUTH 75° 39' 40" WEST, 30.00 FEET DISTANT; THENCE FROM SAID POINT OF BEGINNING AND LEAVING SAID EAST LAKE AVENUE, SOUTH 75° 39' 40" EAST, 348.00 FEET TO A 2 INCH PIPE; THENCE NORTH 14° 20' 20" EAST, 170.00 FEET TO A 2 INCH PIPE; THENCE NORTH 75° 39' 40" WEST, 348.00 FEET TO A POINT ON THE CENTER LINE OF EAST LAKE AVENUE FROM WHICH A 2 INCH PIPE BEARS SOUTH 75° 39' 40" EAST, 30.00 FEET DISTANT; THENCE ALONG SAID CENTER LINE OF EAST LAKE AVENUE, SOUTH 14° 20' 20" WEST, 170.00 FEET TO THE POINT OF BEGINNING.

SITE PLAN



PARKING ANALYSIS

GENERAL REQUIREMENTS
 EACH LOT PLAN FOR COMMERCIAL USE (B) SHALL HAVE OFF-STREET PARKING AT A RATIO OF NOT LESS THAN 1 PARKING SPACE FOR EACH 250 SQUARE FEET OF GROSS BUILDING AREA.

RULES FOR COMPUTING NUMBER OF PARKING SPACES
 (1) USABLE SPACE SHALL MEAN THE NET FLOOR AREA OF THE SPECIFIC USE, INCLUDING OUTSIDE DISPLAY OR SELLING AREA.

EMPLOYEE PARKING STALLS
 STANDARD STALL (9' W X 18' D)
 ADA STALL (9' & 8' W X 18' D)
 TOTAL STALLS

NET SPECIFIC USE AREA = 431.11 S.F. / 250 = 1.72
 THEREFORE 2 PARKING STALLS REQUIRED

VACUUM STALLS
 STANDARD STALL (13' W X 18' D)
 ADA STALL (10' & 8' W X 18' D)
 TOTAL STALLS PROVIDED

BICYCLE PARKING
 SHORT-TERM BIKE PARKING
 LONG-TERM BIKE PARKING

APPLICABLE CODES + STANDARDS

- ALL WORK SHALL COMPLY WITH REGULATIONS, CODES AND AUTHORITIES OF THE:
 - 2022 CALIFORNIA BUILDING CODE (CBC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2022 CALIFORNIA FIRE CODE (CFC)
 - 2022 CALIFORNIA ENERGY CODE (CEC)
 - 2022 GREEN BUILDING STANDARDS CODE (GBSC)
- ALL CODES TO BE USED IN CONJUNCTION WITH THE LOCAL AMENDMENTS - ORDINANCE 1454-23 (CM).
- ALL WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE ADOPTED BUILDING REGULATIONS FOR THE LOCAL GOVERNING AGENCIES:
 - A) PLANNING DEPARTMENT
 - B) BUILDING INSPECTION DIVISION
 - C) PUBLIC WORKS DEPARTMENT
 - D) ENVIRONMENTAL HEALTH DIVISION
 - E) FIRE DEPARTMENT

SCOPE OF WORK

CONSTRUCTION OF:
 NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES, AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT.

PROJECT SUMMARY

PROJECT ADDRESS: 632 E LAKE AVE
 WATSONVILLE, CA 95076
 APN NO: 017-321-02
 EXISTING ZONING: CNS: NEIGHBORHOOD SHOPPING CENTER
 PROPOSED ZONING: CNS: NEIGHBORHOOD SHOPPING CENTER
 LOT AREA: 1.18 AC (+/-51,509 SF)

QUICK QUACK PARKING
 VACUUM STALL PARKING: 19 STALLS (1 ADA)
 PARKING STALLS: 6 STALLS (1 ADA)
 TOTAL PARKING: 25 STALLS

CAR WASH BUILDING AREA: 3,366 SF
PAY STATION: 242 SF
TOTAL PROPOSED ENCLOSURE AREA: 3,633 SF
TOTAL PROPOSED ENCLOSURE AREA: 429 SF
TOTAL COMBINED AREA: 7,670 SF
F.A.R. OF AREA OF WORK: 14.89%

PROPOSED CARWASH AREA: 3,366 SF
 NUMBER OF STORIES: 1
 BUILDING HEIGHT: 29'-0"
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: B
 SPRINKLERS: NO

PROPOSED PAY STATION AREA: 3,366 SF
 NUMBER OF STORIES: 1
 BUILDING HEIGHT: 15'-4"
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: B
 SPRINKLERS: NO

PROPOSED PAY STATION CANOPY AREA: 673 S.F.
 NUMBER OF STORIES: 1
 BUILDING HEIGHT: 9'-9"
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: B
 SPRINKLERS: NO

PROPOSED VACUUM CANOPY AREA: 2,960 S.F.
 NUMBER OF STORIES: 1
 BUILDING HEIGHT: 9'-9"
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: B
 SPRINKLERS: NO

PROPOSED TRASH ENCLOSURE AREA: 187 S.F.
 NUMBER OF STORIES: 1
 BUILDING HEIGHT: 11'-0"
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: N/A
 SPRINKLERS: NO

PROPOSED VACUUM ENCLOSURE AREA: 242 SF
 NUMBER OF STORIES: 1
 BUILDING HEIGHT: 11'-0"
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: N/A
 SPRINKLERS: NO

ALLOWABLE AREA ANALYSIS
 (ALLOWABLE AREAS PER CBC TABLE 602)
 CAR WASH BUILDING: 3,366 S.F.
 PAY STATION: 242 S.F.
 VACUUM CANOPY: 2,960 S.F.
 TRASH ENCLOSURE: 187 S.F.
 VACUUM ENCLOSURE: 242 S.F.
 AGGREGATE AREA PER CBC 503.12: 7,670 S.F.
 ALLOWABLE AREA: 9,000 SF

PROJECT DIRECTORY

APPLICANT
 QUICK QUACK CAR WASH
 1380 LEAD HILL BLVD, #260
 ROSEVILLE, CA. 95661
 PHONE: (916) 742-9991
 EMAIL: vshannon@dontdrivedirty.com
 CONTACT: VANCE SHANNON

ARCHITECT OF RECORD:
 QUICK QUACK CAR WASH
 1380 LEAD HILL BLVD, #260
 ROSEVILLE, CA. 95661
 PHONE: (916) 532-2636
 EMAIL: dlivingston@dontdrivedirty.com
 CONTACT: DOUGLAS LIVINGSTON, AIA

CIVIL:
 TAIT AND ASSOCIATES
 11280 TRADE CENTER DRIVE
 RANCHO CORDOVA, CA 95742
 PHONE: (916) 669-1817
 EMAIL: jrromaguera@tait.com
 CONTACT: JON ROMAGUERA

LANDSCAPE ARCHITECT:
 OLIVE STREET LANDSCAPE
 2010 OLIVE STREET
 PETALUMA, CA 94952
 PHONE: (707) 280-8990
 EMAIL: rod@olivestreetlandscape.com
 CONTACT: ROD SCACCALOSI

LIGHTING CONSULTANT:
 HERMITAGE
 3640 TROUSDALE DR
 NASHVILLE, TN 37204
 PHONE: (847) 830-1444
 EMAIL: sfriedman@gohermitage.com
 CONTACT: STEVE FRIEDMAN

SHEET INDEX

SHEET LIST	DESCRIPTION
0 - GENERAL	
A0.01	COVER SHEET, PROJECT INFO AND DRAWING INDEX
1 - CIVIL	
C1.0	PRELIMINARY SITE PLAN
C2.0	PRELIMINARY GRADING PLAN
C3.0	PRELIMINARY WATER QUALITY MGMT. PLAN
2 - LANDSCAPE	
L1	LANDSCAPE PLAN
L1	LANDSCAPE PLAN
L2	IRRIGATION PLAN
3 - ARCHITECTURAL	
A1.01	SITE PLAN
A1.01A	ARCHITECTURAL WALL PLAN AND DETAILS
A1.02	PAY CANOPY
A1.03	VACUUM CANOPY
A1.04	VACUUM CANOPY
A1.05	SITE ELEMENTS
A1.06	SITE ELEMENTS
A2.01	FLOOR PLAN
A2.02	ROOF PLAN
A3.01	NORTH AND EAST EXTERIOR ELEVATIONS
A3.02	SOUTH AND WEST EXTERIOR ELEVATIONS
A3.03	QUARTERBACK STATION EXTERIOR ELEVATIONS
A3.04	NORTH AND EAST EXT. COLOR ELEVATIONS
A3.05	SOUTH AND WEST EXT. COLOR ELEVATIONS
A3.06	QUARTERBACK STATION EXT COLOR ELEV.
4 - LIGHTING	
1 OF 1	LIGHTING PROPOSAL
TOTAL: 23	

OCCUPANT LOAD ANALYSIS

LOAD FACTOR BASED ON USAGE PER CBC TABLE 1004.5
 NUMBER OF EXITS PER CBC SECTION 1006.

BUSINESS USES:
 ROOMS 102, 103, 106, 107 AND 108
 FLOOR AREA GROSS: 503 S.F.
 OCCUPANT LOAD AT 100 S.F. PER OCCUPANT: 5.03

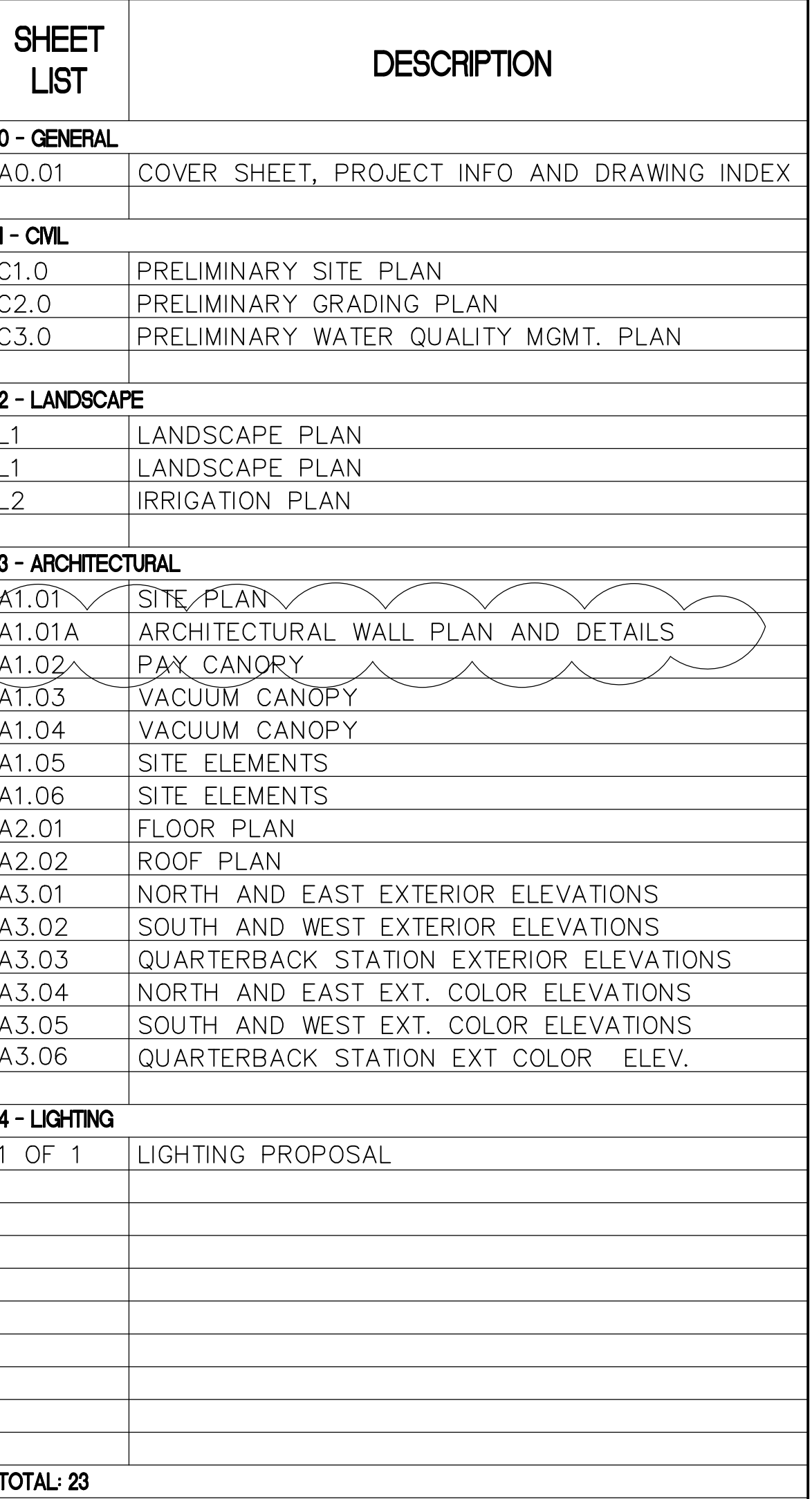
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM USES:
 ROOMS 101, 104, AND 105
 FLOOR AREA GROSS: 3,106 S.F.
 FLOOR AREA NET (EXCLUDING ROOM 101): 683 S.F.
 OCCUPANT LOAD AT 300 S.F. PER OCCUPANT: 2.28

TOTAL OCCUPANT LOAD: 7.31

MINIMUM OF ONE EXIT REQUIRED FROM EACH ROOM OR SPACE.
 MINIMUM EGRESS WIDTH CBC SECTION 1005.1: 0.2 X 7.31 = 1.462" (OK)

NOTE:
 CAR WASH TUNNEL ROOM 101 IS NOT CONSIDERED TO MEET THE CBC SECTION 202 DEFINITION OF AN "OCCUPIABLE SPACE". THE FUNCTION OF THE SPACE IS TO CONVEY VEHICLES THROUGH THE CAR WASH FACILITY. WHEN FUNCTIONING THIS OPERATION IT IS NECESSARY FOR THE ROLL-UP DOORS AT EACH END TO BE IN THE OPEN POSITION.

VICINITY MAP



COVER SHEET, PROJECT INFORMATION AND DRAWING INDEX

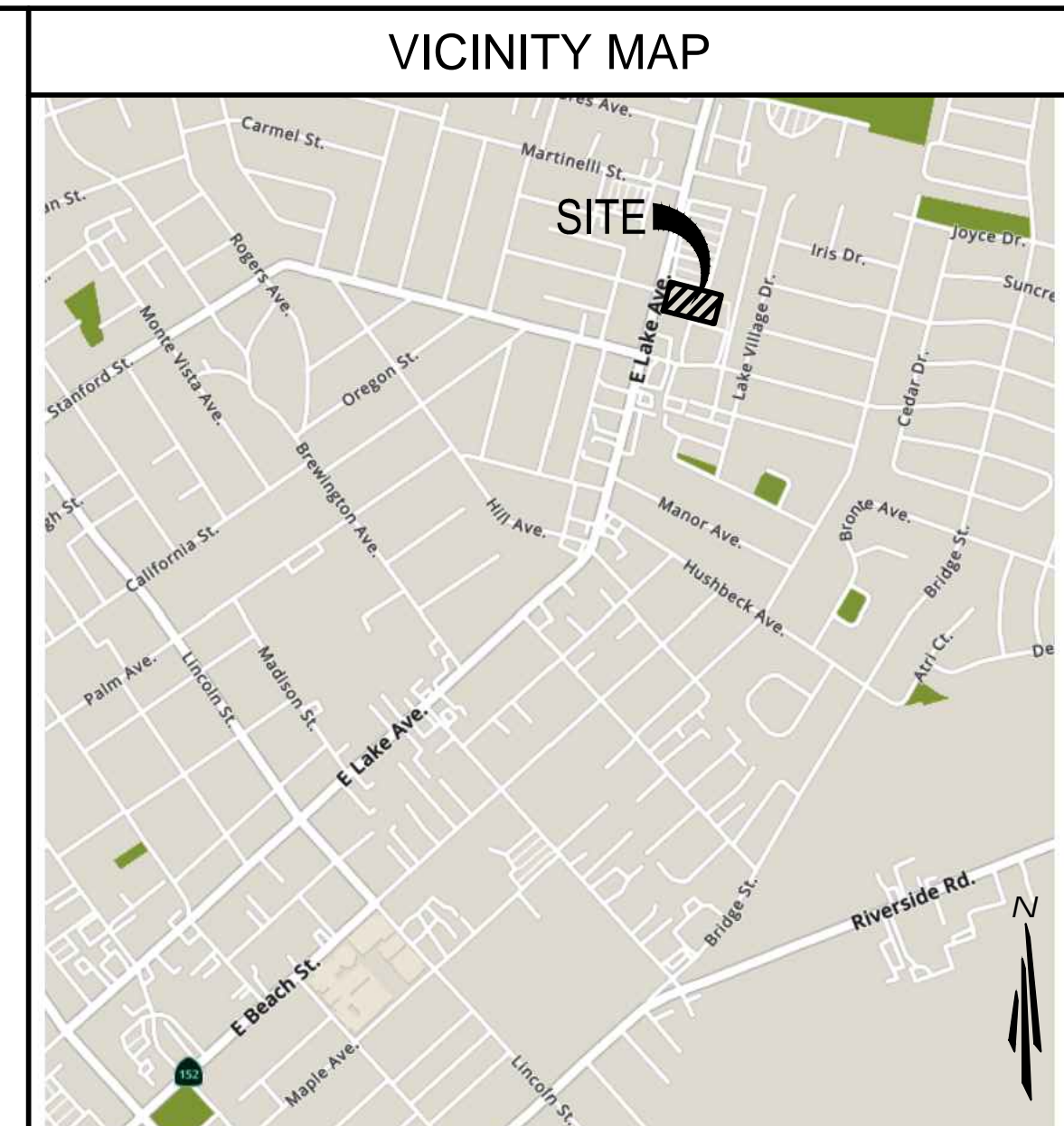
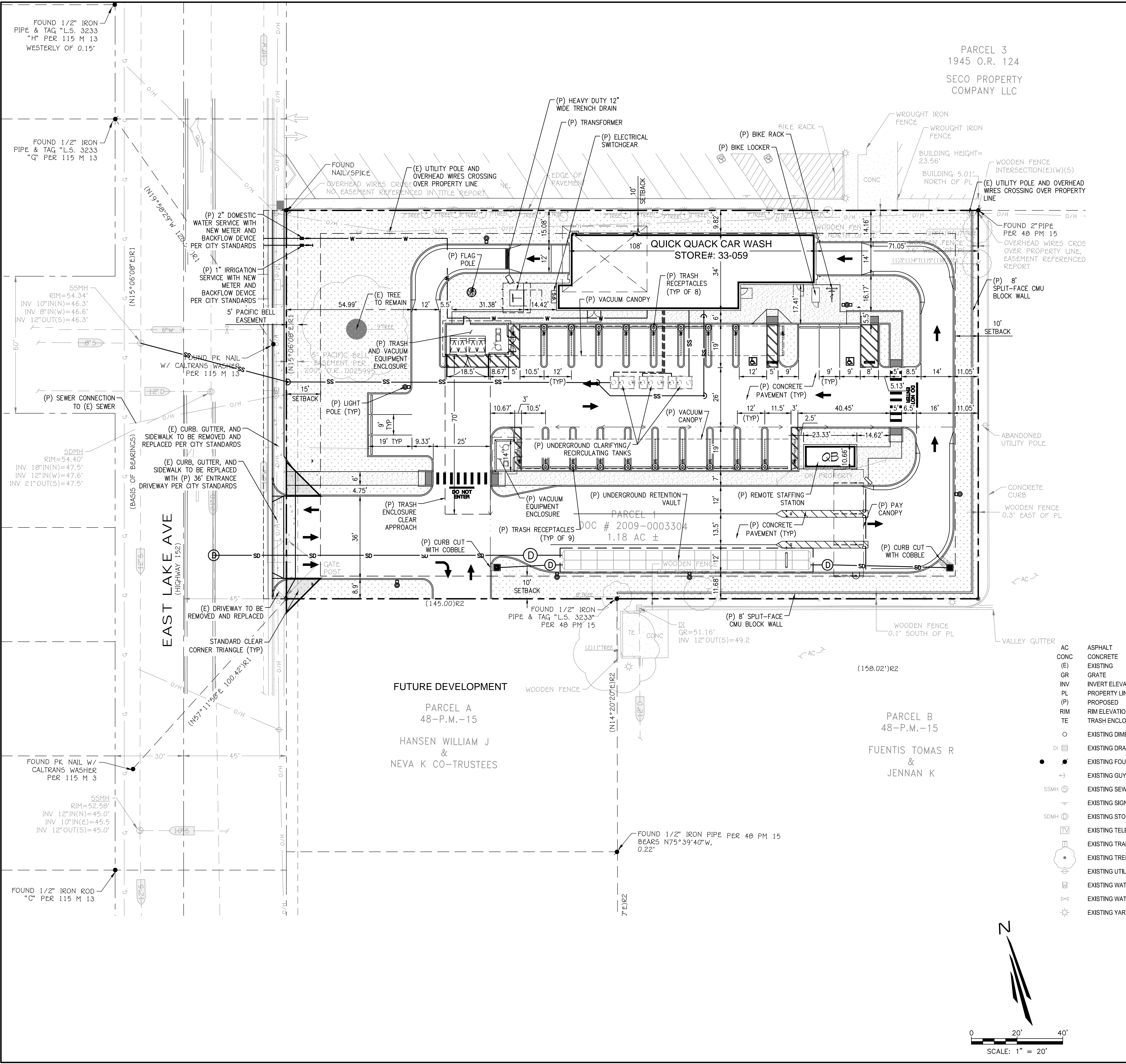
DATE: 09/14/2023
 TAIT JOB #: 000076

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PLANNING PACKAGE

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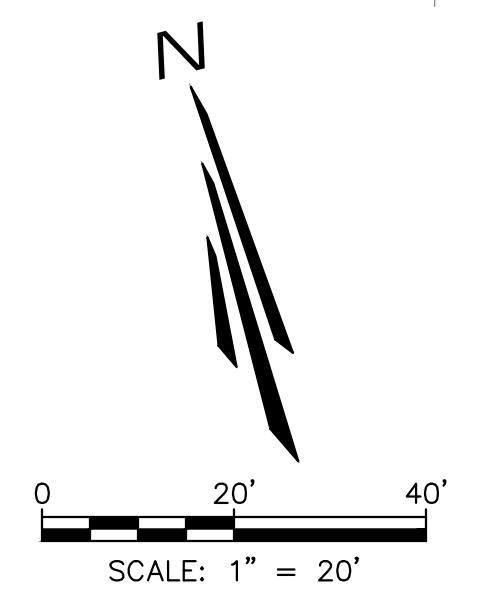
SITE DATA

PROJECT INFORMATION:	
ASSESSOR'S PARCEL NUMBER:	017-321-02
PARCEL SIZE:	±51,509 SF (±1.18 ACRES)
ADDRESS:	632 E. LAKE AVENUE WATSONVILLE, CA 95076
PROJECT DESCRIPTION:	NEW CONSTRUCTION
EXISTING ZONING:	CNS: NEIGHBORHOOD SHOPPING CENTER
EXISTING LAND USE:	VACANT LOT
SETBACKS:	
FRONT (STREET SIDE):	15'
SIDE-(ABUTTING COMMERCIAL):	NONE
SIDE-(ABUTTING "R" ZONE):	10'
REAR-(ABUTTING "R" ZONE):	10'
MINIMUM FRONTAGE:	50'
FLOODPLAIN:	ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN MAP No. 06087C0411E EFFECTIVE DATE: MAY 16, 2012
PARKING REQUIREMENTS:	WATSONVILLE MUNICIPAL CODE SECTION 14-17.1001: AUTOMOTIVE REPAIR, SERVICES, AND GARAGES: 5 SPACES, PLUS 1 SPACE FOR EACH 800 SF FLOOR AREA IN EXCESS OF 3,000 SF
PARKING REQUIRED:	5 SPACES
PARKING PROVIDED:	17 SPACES
VACUUM STALLS:	5 SPACES
ADA STALLS:	2 SPACES

NOTE:
ALL UTILITIES FOR THE PROPOSED PROJECT SHALL BE PLACED UNDERGROUND

LEGEND

AC	ASPHALT	—	PROPOSED BACKFLOW PREVENTER
CONC	CONCRETE	■	PROPOSED CATCH BASIN
(E)	EXISTING	⊙	PROPOSED LIGHT POLE
GR	GRATE	⊕	PROPOSED SANITARY SEWER CLEANOUT
INV	INVERT ELEVATION	⊕	PROPOSED SANITARY SEWER MANHOLE
PL	PROPERTY LINE	⊕	PROPOSED STORM DRAIN MANHOLE
(P)	PROPOSED	■	PROPOSED WATER METER
RIM	RIM ELEVATION	—	CENTER LINE
TE	TRASH ENCLOSURE	---	EASEMENT LINE
O	EXISTING DIMENSION POINT	---	PROPERTY LINE
DI	EXISTING DRAIN INLET	---	EXISTING EDGE OF PAVEMENT
●	EXISTING FOUND MONUMENT	X	EXISTING FENCE
→	EXISTING GUY WIRE	G	EXISTING GAS LINE
SSMH	EXISTING SEWER MANHOLE	O/H	EXISTING OVERHEAD LINE
→	EXISTING SIGN	—S—S—S—	PROPOSED SWALE
SDMH	EXISTING STORM DRAIN MANHOLE	—SS—	PROPOSED SANITARY SEWER LINE
TV	EXISTING TELEPHONE VAULT	---	PROPOSED STORM DRAIN LINE
⊕	EXISTING TRAFFIC SIGNAL PULLBOX	—W—	PROPOSED WATER LINE
⊕	EXISTING TREE	■	CONCRETE PAVING
⊕	EXISTING UTILITY POLE	■	LANDSCAPE AREA
⊕	EXISTING WATER METER		
⊕	EXISTING WATER VALVE		
⊕	EXISTING YARD LIGHT		



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE # 33-059
632 E. LAKE AVENUE
WATSONVILLE, CA 95076

REVISIONS
DATE DESCRIPTION



DATE: 5/17/2024
TAIT JOB #: 000076

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PLANNING PACKAGE
PRELIMINARY SITE PLAN

SHEET 1 OF 3
Attachment 1 - Page 2 of 23

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PARCEL 3
1945 O.R. 124
SECO PROPERTY
COMPANY LLC

LEGEND

- AC ASPHALT
- BW BACK OF WALK
- CONC CONCRETE
- (E) EXISTING
- FS FINISH SURFACE
- FF FINISH FLOOR
- FL FLOW LINE
- GR GRATE
- INV INVERT ELEVATION
- PL PROPERTY LINE
- (P) PROPOSED
- RIM RIM ELEVATION
- TC TOP OF CURB
- TOG TOP OF GRATE
- TE TRASH ENCLOSURE
- EXISTING DIMENSION POINT
- DI EXISTING DRAIN INLET
- EXISTING FOUND MONUMENT
- EXISTING GUY WIRE
- SSMH EXISTING SEWER MANHOLE
- EXISTING SIGN
- SDMH EXISTING STORM DRAIN MANHOLE
- TV EXISTING TELEPHONE VAULT
- ⊕ EXISTING TRAFFIC SIGNAL PULLBOX
- EXISTING TREE
- EXISTING UTILITY POLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING YARD LIGHT
- PROPOSED BACKFLOW PREVENTER
- PROPOSED CATCH BASIN
- PROPOSED LIGHT POLE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER METER
- × 00.0 (00.00)XX EXISTING ELEVATION
- 00.00XX (00.00)XX JOIN EX.
- 00.00XX (00.00)XX JOIN EX.
- PROPOSED ELEVATION
- DRAINAGE ARROWS
- CENTER LINE
- - - EASEMENT LINE
- - - PROPERTY LINE
- - - EXISTING CONTOUR LINE
- - - EXISTING EDGE OF PAVEMENT
- x EXISTING FENCE
- - - EXISTING OVERHEAD LINE
- - - EXISTING STORM DRAIN LINE
- - - PROPOSED CONTOUR LINE
- R - R - R - PROPOSED RIDGE
- S - S - S - PROPOSED SWALE
- SD - PROPOSED STORM DRAIN LINE
- CONCRETE PAVING
- LANDSCAPE AREA



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE # 33-059
632 E. LAKE AVENUE
WATSONVILLE, CA 95076

REVISIONS

#	DATE	DESCRIPTION
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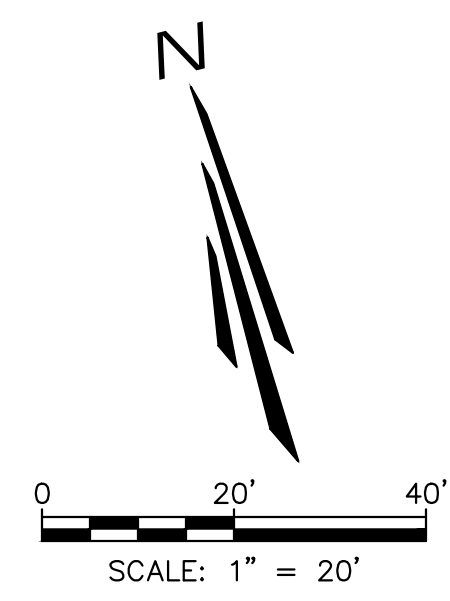
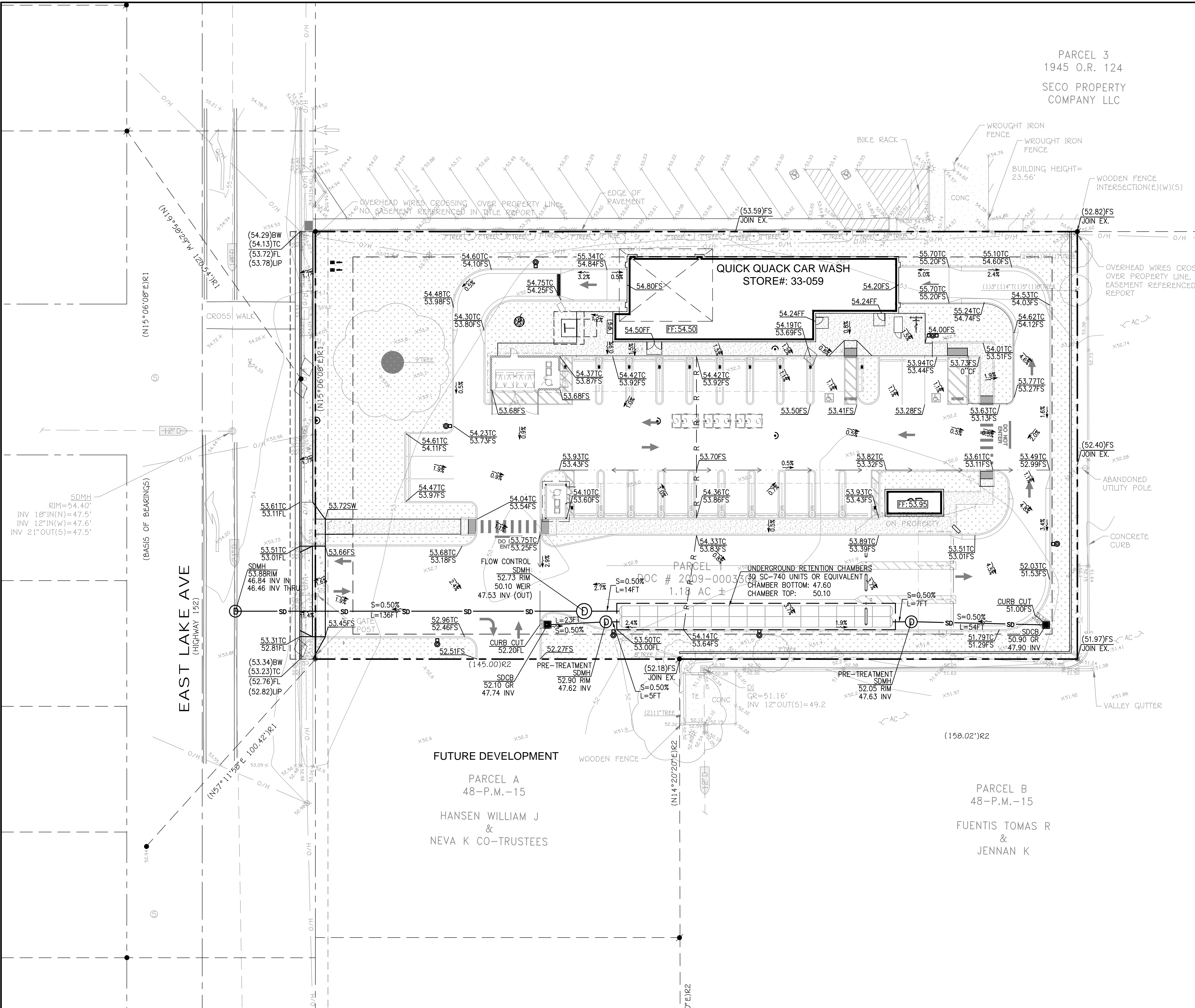
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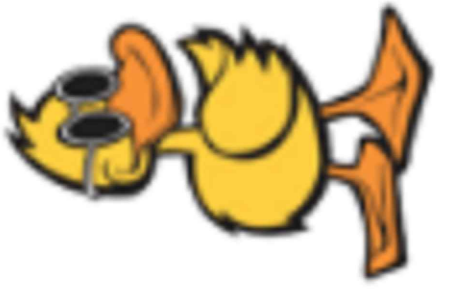
11280 TRADE CENTER DR
RANCHO CORDOVA, CA
95742
P: (916) 635-2444
www.tait.com

DATE: 5/17/2024
 TAIT JOB #: 000076

PLANNING PACKAGE
 PRELIMINARY GRADING PLAN

SHEET 2 OF 3
 Attachment 1- Page 3 of 23





Quick Quack
CAR WASH

6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE # 33-059
632 E. LAKE AVENUE
WATSONVILLE, CA 95076

REVISIONS
DATE DESCRIPTION

- 1
- 2
- 3
- 4
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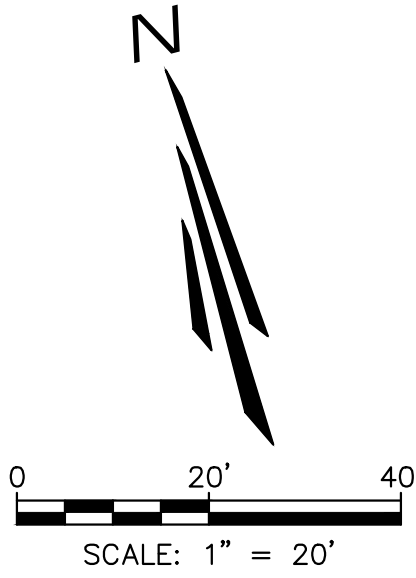
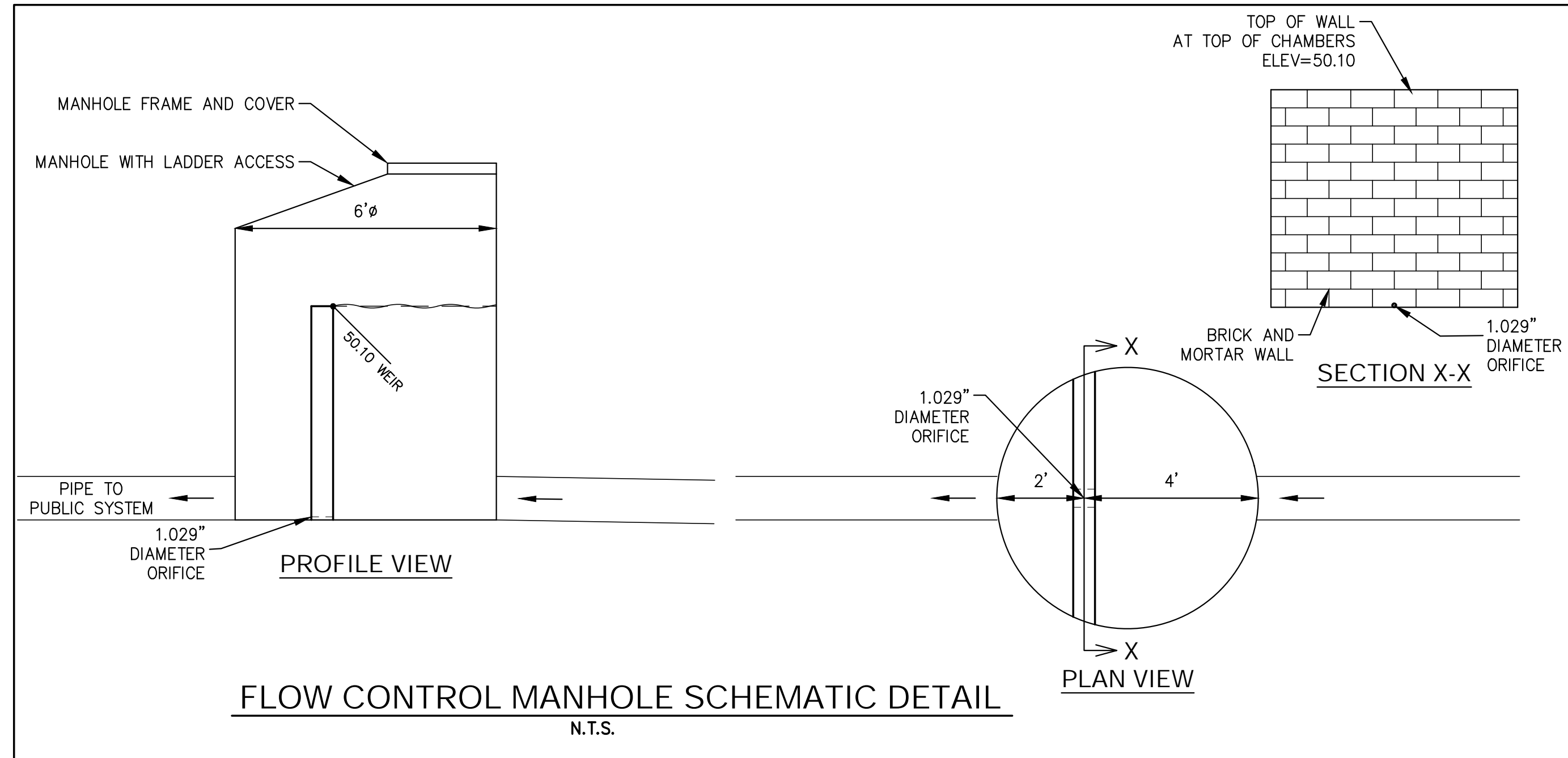
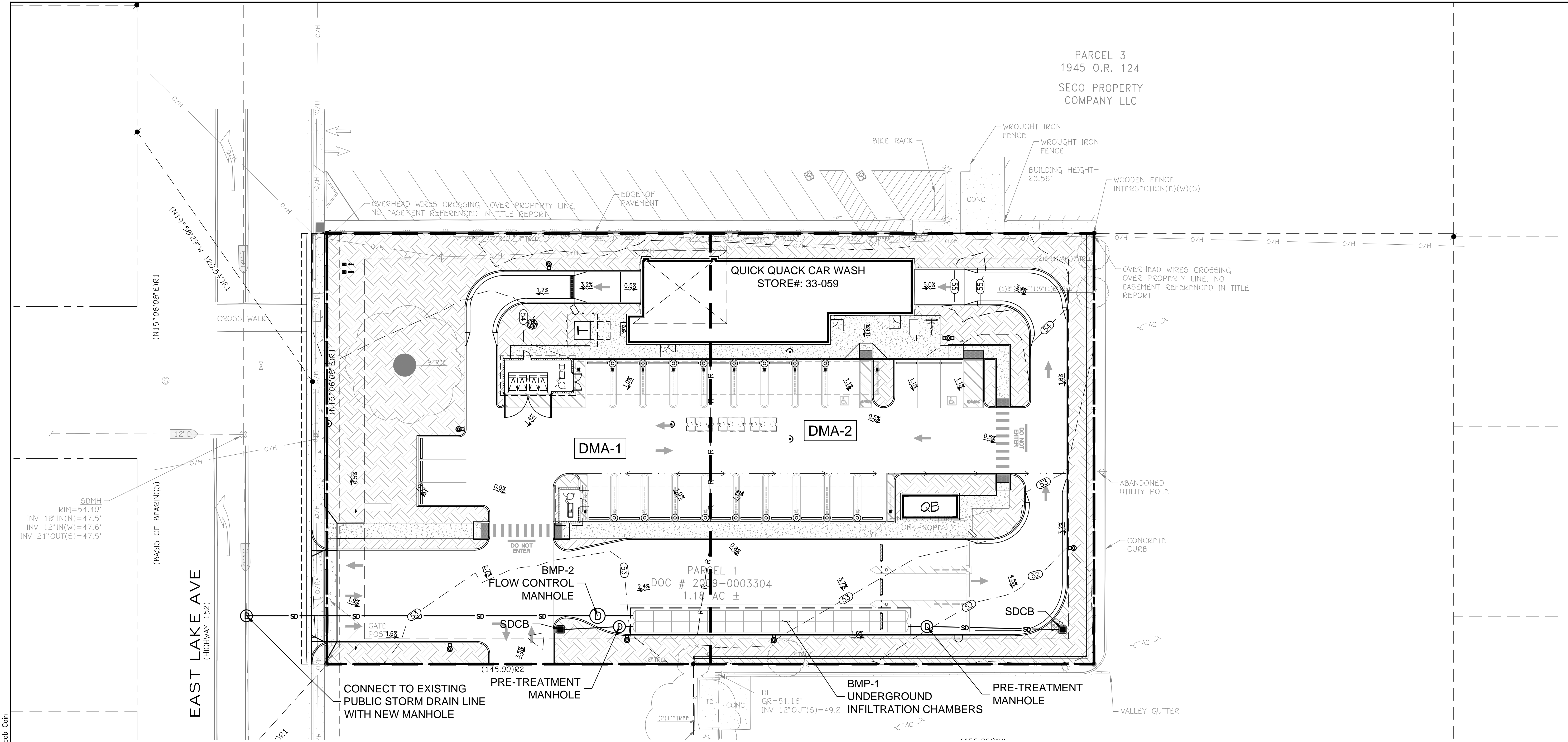


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PLANNING PACKAGE
PRELIMINARY WATER QUALITY MANAGEMENT PLAN

SHEET 3 OF 3



STORM WATER QUALITY MANAGEMENT TABLE						
PROPOSED SITE AREAS						
DMA-#	AREA (SQFT)	AREA (AC)	PERVIOUS AREA (SQFT)	IMPERVIOUS AREA (SQFT)	IMPERVIOUS FRACTION	DRAINS TO
DMA-1	25769	0.592	9420	16349	0.63	BMP-1
DMA-2	25741	0.591	6577	19165	0.74	BMP-1
TOTAL	51510	1.183	15996	35514	0.69	-

BMP-1 (WATER QUALITY TREATMENT & RUNOFF RETENTION)						
TYPE	MODEL	TOTAL CHAMBERS	GRAVEL FOOTPRINT (SQFT)	DESIGN VOLUME (CUFT)	MINIMUM TREATMENT VOLUME (CUFT)	MINIMUM STORAGE VOLUME (CUFT)
UNDERGROUND INFILTRATION CHAMBER	ADS STORMTECH SC-740	30	1163	2691	1662	2478

BMP-2 (PEAK FLOW MANAGEMENT)				
TYPE	MODEL	OVERFLOW WEIR ELEVATION	ORIFICE DIAMETER (IN)	ORIFICE FLOW/MITIGATED DISCHARGE (CFS)
FLOW CONTROL MANHOLE	N/A- CUSTOMIZED ON SITE	50.10 (TOP OF CHAMBERS)	1.029 (1" SCH 40 PVC)	0.059
EXISTING SITE 2-YR/ 5-MIN STORM FLOW (CFS)	EXISTING SITE 10-YR/ 5-MIN STORM FLOW (CFS)	PROPOSED UNMITIGATED SITE 2-YR/ 5-MIN STORM FLOW (CFS)	PROPOSED UNMITIGATED SITE 10-YR/ 5-MIN STORM FLOW (CFS)	DESIGN DRAWDOWN TIME (HRS)
0.099	0.140	1.202	1.689	3.9

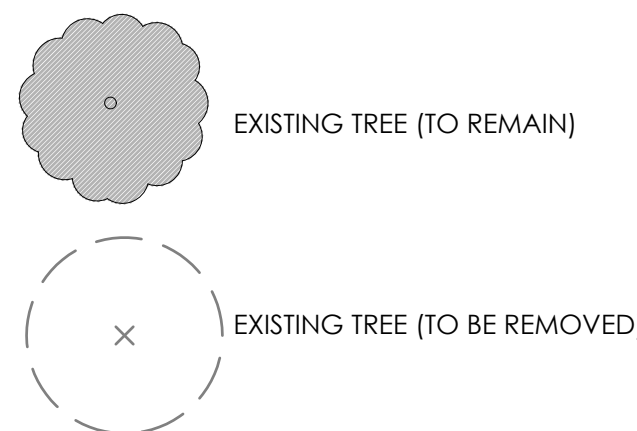
ASSUMPTIONS						
MEASURED INFILTRATION RATE (IN/HR)	EXISTING SITE RUNOFF COEFFICIENT	PROPOSED SITE RUNOFF COEFFICIENT	85%/24-HR STORM DEPTH (IN)	95%/24-HR STORM DEPTH (IN)	2-YR/ 5-MIN STORM INTENSITY (IN/HR)	10-YR/ 5-MIN STORM INTENSITY (IN/HR)
6	0.04	0.48	0.80	1.30	2.10	2.950

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PLANT SCHEDULE

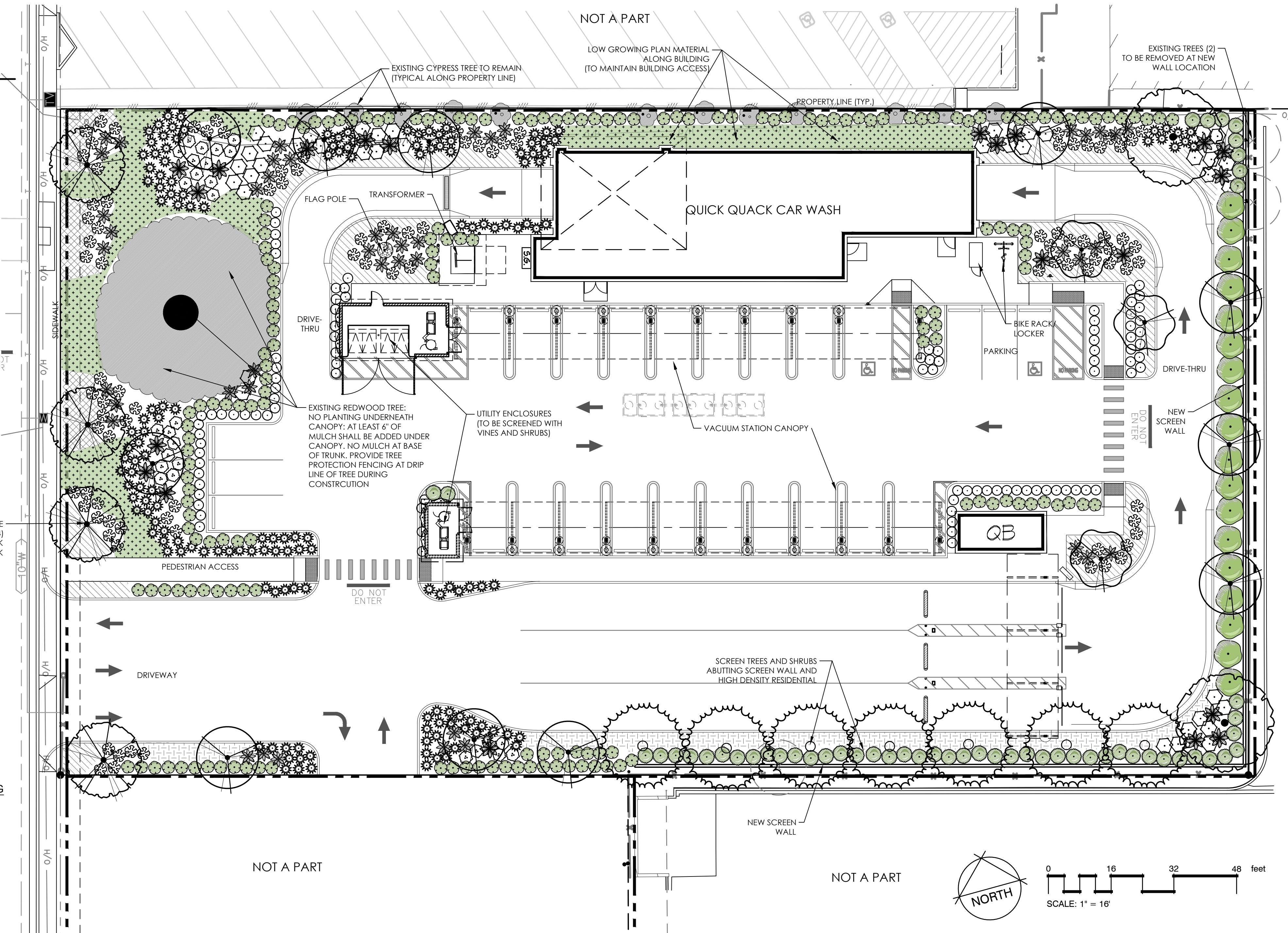
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
TREES					
	2	Arbutus x 'Marina' / Marina Strawberry Tree	24" box	Low	
	3	Cercis occidentalis / Western Redbud	15 gal.	Low	
	11	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	15 gal.	Low	
	7	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24" box	Low	
	4	Magnolia x soulangeana 'Purpurea' / Purple Saucer Magnolia	15 gal.	Moderate	
SHRUBS					
	21	Agave americana 'Marginata' / Variegated Century Plant	5 gal.	Low	
	176	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	5 gal.	Low	
	94	Dianella revoluta 'DR5000' / Little Rev™ Flax Lily	5 gal.	Low	
	163	Lomandra longifolia 'Breeze' / Breeze™ Mat Rush	1 gal.	Low	
	18	Myrica californica 'Buxifolia' / Pacific Wax Myrtle	5 gal.	Low	
	45	Phormium tenax 'Dark Delight' / Dark Delight Flax	5 gal.	Low	
	53	Rhamnus californica 'Mound San Bruno' / California Coffeeberry	5 gal.	Low	
	26	Salvia greggii 'Furmans Red' / Furman's Red Autumn Sage	5 gal.	Mod.	
	40	Salvia x 'Bee's Bliss' / Bee's Bliss Sage	5 gal.	Low	
	99	Yucca x 'Bright Star' / Variegated Spanish Dagger	5 gal.	Low	
VINES/ESPAILLERS					
	5	Macfadyena unguis-cati / Cat's Claw Creeper	5 gal.		
GROUND COVERS					
	79	Myoporum parvifolium / Trailing Myoporum	1 gal.	Low	60" o.c.
	233	Rosa x 'Meigalpio' / Red Drift® Groundcover Rose	2 gal.	Low	30" o.c.
	54	Rosmarinus officinalis 'Prostratus' / Dwarf Rosemary	1 gal.	Low	48" o.c.
	73	Senecio mandraliscae / Blue Fingers	1 gal.	Low	30" o.c.

EXISTING TREE LEGEND



GENERAL NOTES

- All landscape planting areas shall receive a minimum 3" layer of non-combustible organic wood chip mulch top dressing. Area below drip line of existing Redwood tree shall receive at least 6" of wood chip mulch. Mulch shall not be placed against trunk of existing tree.
- All new trees located within 7' of pavement or permanent structure shall have a root barrier.
- All new plant material, shall be irrigated with drip irrigation and a smart controller. Landscape Plans will comply with City of Watsonville Standards.
- Existing trees and shrubs to remain shall be protected and preserved in place.
- Landscape Maintenance shall be the responsibility of the property owner.
- A soils fertility analysis report and recommendations by a certified soils analysis laboratory shall be completed prior to construction. Soil samples shall be collected after site rough grading has been completed.



Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
SHRUBS-LOW	0.2	DRIP	0.81	0.25	15,246	3,764	86123
TREES-MODERATE	0.5	BUBBLERS	0.81	0.62	180	111	2542
TOTALS					15,426	3,876	88665

ETAF Calculations

Total ETAF x Area	3,876
Total Area	15,426
Average ETAF	25%

Note:
 1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

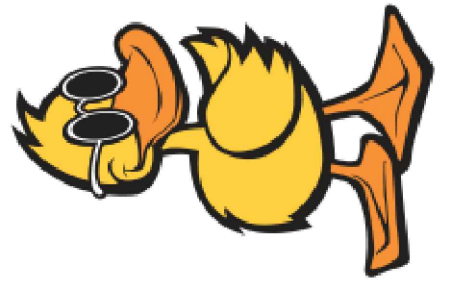
Maximum Applied Water Allowance (MAWA). MAWA= (ETa) (Conversion factor) ((ETAF)(Landscape Area)) + ((1-ETAF) x SLA)
 (36.9) (.62) (.45 x 62,518) + ((1-.45) X 0) = 218205 Gal.

Estimated Total Water use (ETWU). ETWU= (ETa) (Conversion factor) ((ETAF) (Area)).
 (36.9) (.62) (16,244) = 121824 Gal.

COMPLIANCE STATEMENT

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package

Rodney L. Scoccalosi 5-20-24



QUICK QUACK
 STORE #33-059
 APN: 017-921-02
 632 E. LAKE AVE
 WATSONVILLE, CA 95076
 SANTA CRUZ COUNTY

REVISIONS

#	DATE	DESCRIPTION
1	5-14-24	PLANNING



OLIVE STREET
 LANDSCAPE ARCHITECTURE
 P.O. Box 2083
 Petaluma CA 94952
 707-280-8990
 OliveStreetLandscape.com
 rod@olivestreetlandscape.com

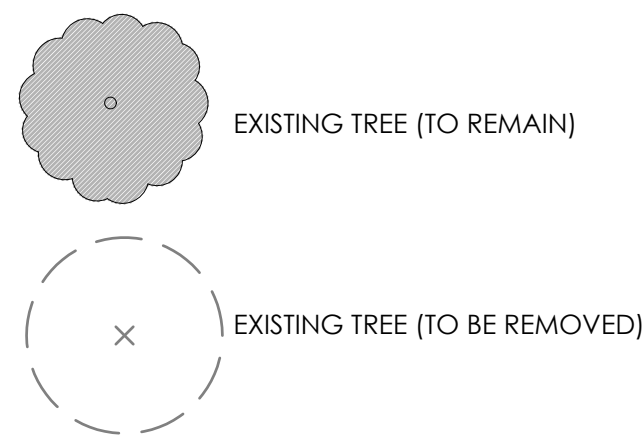
LANDSCAPE PLAN

L1

PLANT SCHEDULE

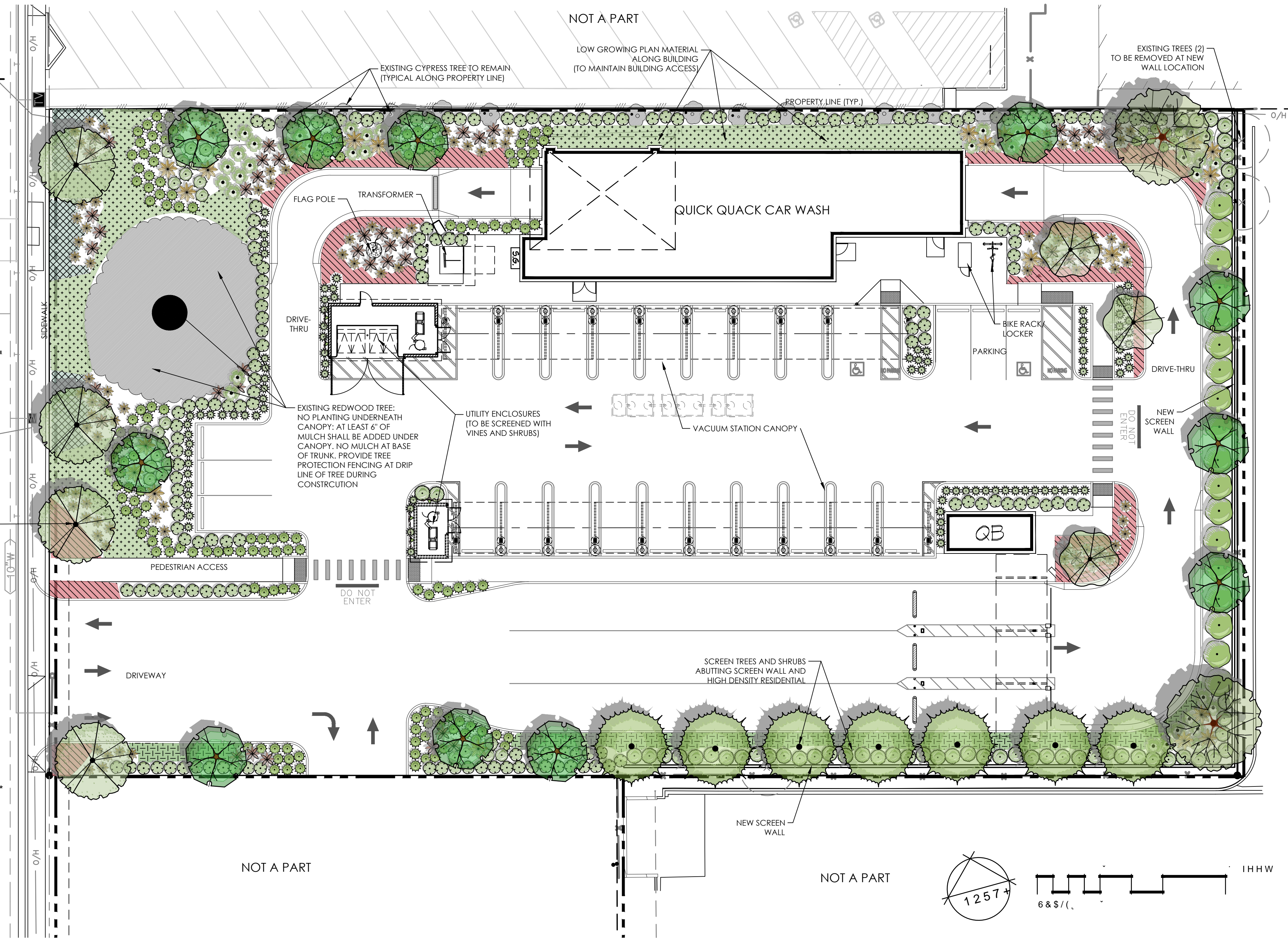
6 < 0 % 2 /	47 <	% 27 \$ 1, & \$ /	& 2 0 0 2 1 1 \$ 0 (& 2 1 7	: 8 & 2 / 6
7 5 (1 6					
2	Arbutus x 'Marina' / Marina Strawberry Tree	24" box	Low		
3	Cercis occidentalis / Western Redbud	15 gal.	Low		
11	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	15 gal.	Low		
7	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24" box	Low		
4	Magnolia x soulangeana 'Purpurea' / Purple Saucer Magnolia	15 gal.	Moderate		
6 + 5 8 % 6					
21	Agave americana 'Marginata' / Variegated Century Plant	5 gal.	Low		
176	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	5 gal.	Low		
94	Dianella revoluta 'DR5000' / Little Rev™ Flax Lily	5 gal.	Low		
163	Lomandra longifolia 'Breeze' / Breeze™ Mat Rush	1 gal.	Low		
18	Myrica californica 'Buxifolia' / Pacific Wax Myrtle	5 gal.	Low		
45	Phormium tenax 'Dark Delight' / Dark Delight Flax	5 gal.	Low		
53	Rhamnus californica 'Mound San Bruno' / California Coffeeberry	5 gal.	Low		
26	Salvia greggii 'Furman's Red' / Furman's Red Autumn Sage	5 gal.	Mod.		
40	Salvia x 'Bee's Bliss' / Bee's Bliss Sage	5 gal.	Low		
99	Yucca x 'Bright Star' / Variegated Spanish Dagger	5 gal.	Low		
9, 1 (6 (6 3 \$ / / , (5 6					
5	Macfadyena unguis-cati / Cat's Claw Creeper	5 gal.			
6 < 0 % 2 /	47 <	% 27 \$ 1, & \$ /	& 2 0 0 2 1 1 \$ 0 (& 2 1 7	: 8 & 2 / 6 6 3 \$ & , 1 *
* 5 2 8 1 ' & 2 9 (5 6					
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EXISTING TREE LEGEND



GENERAL NOTES

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Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
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TOTALS					15,426	3,876	88665

ETAF Calculations

Total ETAF x Area	3,876
Total Area	15,426
Average ETAF	25%

Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

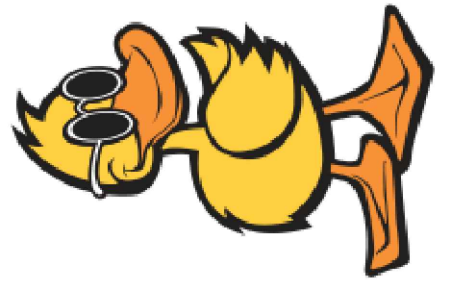
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Estimated Total Water use (ETWU). ETWU= (ETa) (Conversion factor) ((ETAF) (Area)).
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COMPLIANCE STATEMENT

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package

Rodney Scacalosi 5-20-24



QUICK QUACK
STORE #33-059
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632 E. LAKE AVE
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SANTA CRUZ COUNTY

REVISIONS

#	DATE	DESCRIPTION
1	5-14-24	PLANNING



OLIVE STREET
LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
OliveStreetLandscape.com
rod@olivestreetlandscape.com

LANDSCAPE PLAN

L1

IRRIGATION SCHEDULE

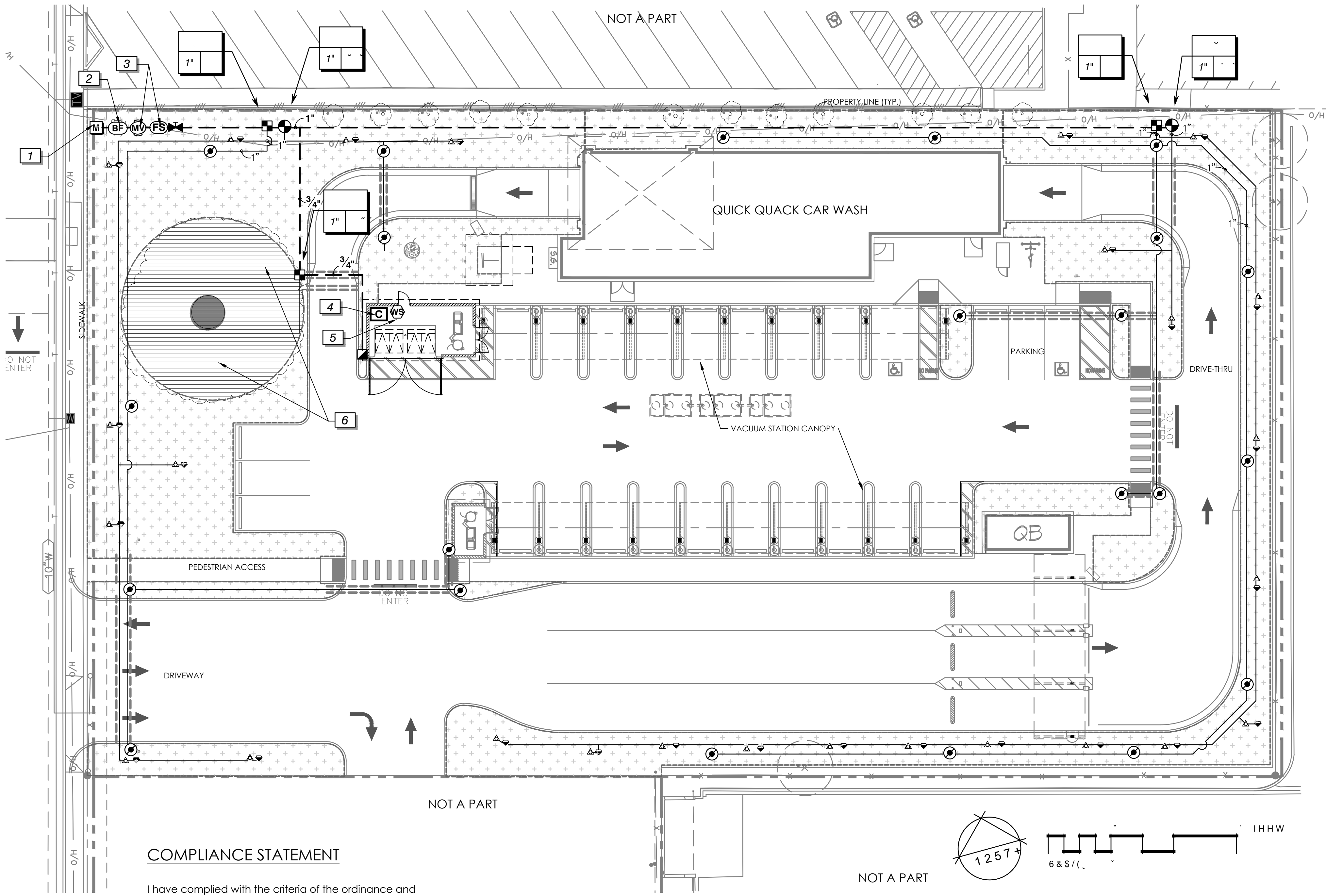
6 < 0 % 2 /	0 (S18) S & 785 (5 02' / (' (6 & 5, 37, 21	47 <	36
1401 1402 1403 1404 1406	Rain Bird 1800-1400 Flood 1401 Fixed flow rate (0.25-2.0GPM), full circle bubbler, 1/2" FIPT. On a flex riser	26	20
1401 1402	Rain Bird RWS-M-B-C-P-SOCK 1401 Mini Root Watering System with 4.0" diameter x 18.0" long with locking grate, semi-rigid mesh tube and Rain Bird 1401 0.25 gpm or 1402 0.5 gpm bubbler as indicated. With Check Valve, Purple Grate, and Sand Sock for sandy soil.	26	20
6 < 0 % 2 /	0 (S18) S & 785 (5 02' / (' (6 & 5, 37, 21	47 <	36
	Rain Bird XCZ-100-IVMQ Wide Flow IVM Drip Control Kit for Commercial Applications. 1in. Ball Valve with 1in. PESBVM Smart Valve w/ factory installed IVM-SOL 0.3-20 gpm and 1in. Pressure Regulating 40psi Quick-Check Basket Filter 0.3-20 gpm	3	
	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6in. drip box.	22	
	Area to Receive Drip Emitters Netafim PC Single Outlet Pressure Compensating Drip Emitter, 5psi Internal Check Valve, with a Barb Inlet, Red= 0.5 GPH, Black= 1.0 GPH, Green= 2.0 GPH. Emitter Notes: 1.0 GPH emitters (1 assigned to each 1 gal. plant) 2.0 GPH emitters (1 assigned to each 5 gal. plant)	13,721 s.f.	10
	Area to Receive Dripline Netafim TLDL-06-24 Techline Pressure Compensating Landscape Dripline, 0.6 GPH emitters at 24" O.C. Dripline laterals spaced at 24" apart, with emitters offset for triangular pattern. Surface and Sub Surface Installations. UV Resistant.	999.1 l.f.	10
6 < 0 % 2 /	0 (S18) S & 785 (5 02' / (' (6 & 5, 37, 21	47 <	
	Rain Bird PEB 1in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2	
	Rain Bird 44-RC 1in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1	
	Buckner-Superior 3000 1" Normally Closed Brass Master Valve that Provides Dirty Water Protection and 3-Way Solenoid Design. Available in 1", 1-1/4", 1-1/2", 2", 2-1/2" and 3" sizes.	1	
	Febco 825Y 1" Reduced Pressure Backflow Preventer	1	
	Hunter I2C-0800-PL 8 Station Outdoor Modular Controller. No Module Required. Commercial Use. Plastic Cabinet.	1	
	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers. install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.	1	
	Hunter HFS-100 Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.	1	
	Water Meter 1"	1	
	Irrigation Lateral Line: PVC Schedule 40 3/4" unless otherwise noted on plan. 12" minimum depth	1,693 l.f.	
	Irrigation Mainline: PVC Schedule 40 1-1/4" unless otherwise noted on plan. 18" minimum depth	348.0 l.f.	
	Pipe Sleeve: PVC Schedule 40 2x the diameter of pipes served and 1" for control wires. Minimum depth of 24"	233.4 l.f.	
	Valve Callout		
#	Valve Number		
#	Valve Flow		
#	Valve Size		

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	Point of connection (POC) @ 1" irrigation meter (verify actual location prior to construction). See Utility plan for additional reference. Irrigation demand at POC shall be 11 GPM and a minimum static pressure of 54 psi. If minimum requirements are not met contact Landscape Architect.
	Backflow preventer (Install Wilkins pressure regulator on down side of device for water pressure reading in excess of 75 psi)
	Install Master Valve and Flow Sensor.
	Install irrigation controller at trash enclosure wall or per client representative. 120 Power to be provided by others. Coordinate actual location with client representative and General Contractor prior to beginning irrigation work.
	Install wireless weather sensor at outside edge of wall and within distance as specified by manufacturer. Weather sensor location shall be free from any overhead obstruction. Actual location to be coordinated with Client Representative.
	Area under existing Redwood tree shall have dedicated drip irrigation/ valve: Irrigation drip lines shall be placed on grade (so not to impact existing soil and grade conditions) and shall not extend beyond the drip line of the tree. Irrigation driplines shall be placed 2' away from trunk of tree. No trenching shall occur within dripline of tree.

GENERAL IRRIGATION NOTES

- Locate all irrigation equipment in landscape planters. equipment shown in pavement and offsite is for clarity only. All valve boxes shall be located at least 1' from any pavement.
- No trenching shall occur under existing Redwood tree dripline.
- Drip irrigation lateral line layout as shown on plan is conceptual: Actual layout shall be determined in the field.
- Irrigation sleeves as indicated on legend shall be installed at all pavement/hardscape crossings.
- Contact USA North (811) prior to commencing construction to verify existing underground utilities.
- Certificate of completion shall be fully executed by the Project Owner /Representative and/or Owner's Landscape Architect. Water Audit to be performed by a 3rd party I.A., certified company/individual.



COMPLIANCE STATEMENT

I have complied with the criteria of the ordinance and have applied them accordingly for the efficient use of water in the irrigation design plan.

Rodney Deccalosi 5-20-24

CRITICAL ANALYSIS

Generated: 2024-05-20 17:21

P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.5 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 65 PSI
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20 ft
Pressure Available: 63 PSI

DESIGN ANALYSIS
Maximum Station Flow: 10.4 GPM
Flow Available at POC: 37.5 GPM
Residual Flow Available: 27.1 GPM

Critical Station: 5
Design Pressure: 20 PSI
Friction Loss: 11.3 PSI
Fittings Loss: 0.56 PSI
Elevation Loss: 0 PSI
Loss through Valve: 1.77 PSI
Pressure Req. at Critical Station: 33.6 PSI
Loss for Fittings: 0.52 PSI
Loss for Main Line: 5.25 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 12.2 PSI
Loss for Master Valve: 0.57 PSI
Loss for Water Meter: 0.55 PSI
Critical Station Pressure at POC: 52.7 PSI
Pressure Available: 63 PSI
Residual Pressure Available: 10.3 PSI

Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
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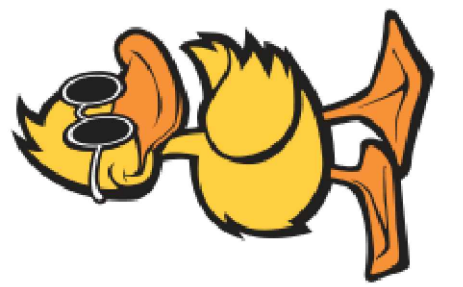
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HYDROZONE TABLE

VALVE CIRCUIT #	PLANT TYPE	VALVE GPM	AREA (SF)	AREA (%)	PRECIP RATE
1 (RDWD TREE-DRIP)	LW	11.8	1705	11%	0.70
2 (SHRUBS- DRIP)	LW	10.40	6,774	44%	0.25
3 (TREES-BUBBLERS)	MW	5.50	180	1%	0.80
4 (SHRUBS-DRIP)	LW	10.40	6447	42%	0.28
5 (TREES-SHRUBS)	LW	8.50	320	2%	0.80
			15426	100%	



QUICK QUACK
STORE #33-059
APN: 017-921-02
632 E. LAKE AVE
WATSONVILLE, CA 95076
SANTA CRUZ COUNTY

REVISIONS # DATE DESCRIPTION

5-14-24	PLANNING
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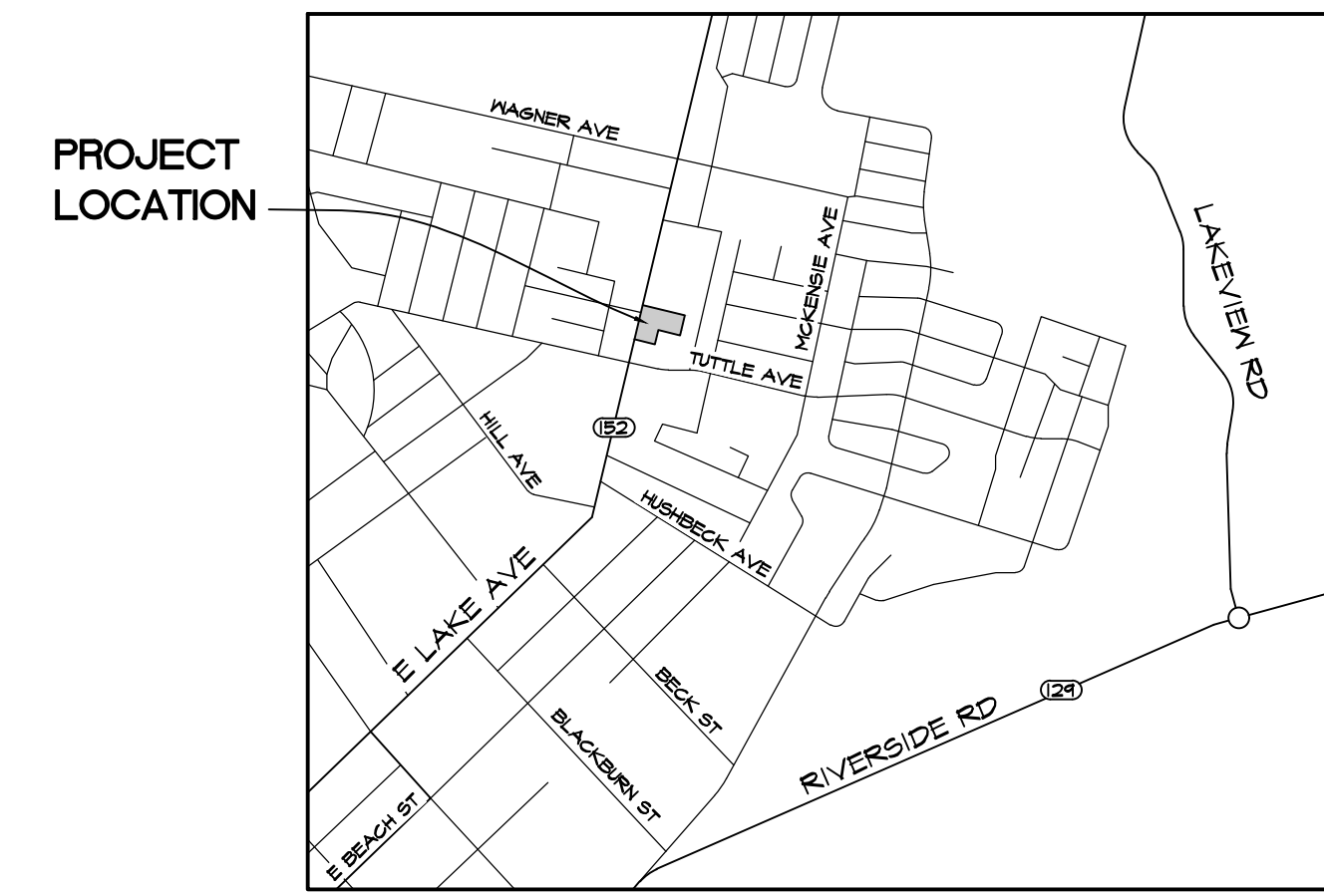
OLIVE STREET
LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
olivestreetlandscape.com
rod@olivestreetlandscape.com

IRRIGATION PLAN

L2

KEYNOTES

- | | | |
|--|--|--|
| 1 PROPERTY LINE. REFERENCE CIVIL DRAWINGS. | 16 VACUUM EQUIPMENT ENCLOSURE. REFERENCE DETAILS ON SHEET A1.06. | 32 8' CMU MASONRY WALL |
| 2 ACCESSIBLE PATH OF TRAVEL. | 17 ROLLED CURB. REFERENCE CIVIL DRAWINGS. | 33 WAIT/GO SIGN |
| 3 POLE MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE PATH OF TRAVEL. | 18 6" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE (TYPICAL 2 PLACES). | 34 MENU BOARD |
| 4 TOW AWAY ACCESSIBILITY PARKING SIGN AT ENTRANCE. | 19 UNDERGROUND RECLAIM TANKS. REFERENCE CIVIL DRAWINGS. | 35 GRADE BREAK LINE. REFERENCE CIVIL DRAWINGS. |
| 5 VAN ACCESSIBLE PARKING STALL. PAINT ACCESSIBLE LOADING ZONE WITH 4" WIDE STRIPING WITH TWO COATS OF HIGHWAY BLUE PAVEMENT MARKING PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE. | 20 PARKING STRIPING PER CITY STANDARDS (TYP). | 36 6" CONCRETE CURB OR CURB AND GUTTER. REFERENCE CIVIL DRAWINGS. |
| 6 INTERNATIONAL SYMBOL AT PARKING STALL. | 21 PAVEMENT DIRECTIONAL ARROW. | 37 FLUSH SURFACE AT TRANSITION (TYPICAL). |
| 7 ACCESSIBLE PARKING SIGN. (TYPICAL 2 PLACES). | 22 "DO NOT ENTER" PAVEMENT MARKING. | 38 FLAG POLE PROVIDED AND INSTALLED BY VENDOR. GC TO INSTALL FOOTING. |
| 8 TRUNCATED DOMES (TYPICAL). | 23 STOP SIGN PER CITY STANDARDS. | 39 4" THICK CONCRETE WALK WITH MEDIUM BROOM FINISH. PERPENDICULAR TO PATH OF TRAVEL. |
| 9 ELECTRICAL TRANSFORMER AND PAD. VERIFY EXACT LOCATION WITH ELECTRICAL COMPANY. | 24 PEDESTRIAN STRIPING (TYPICAL 3 PLACES). | 40 CONCRETE DRIVE. REFERENCE CIVIL DRAWINGS. |
| 10 SWITCHGEAR | 25 DRIVEWAY LANE STRIPING. | 41 AUTOMATIC GATE ARM (TYPICAL 3 PLACES). |
| 11 LED SITE LIGHTS. REFERENCE PHOTOMETRIC DRAWING. | 26 PAY CANOPY. | 42 EXISTING PUBLIC CONCRETE CURB, AND GUTTER TO REMAIN (REPAIR AS REQUIRED BY PUBLIC WORKS). |
| 12 BIKE RACK | 27 LICENSE PLATE RECOGNITION CAMERA (TYPICAL 2 PLACES). | 43 EXISTING FIRE HYDRANT TO REMAIN. |
| 13 LONG TERM BIKE LOCKER | 28 VACUUM CANOPY. | 44 SPEED BUMP (TYPICAL 3 PLACES) |
| 14 TRENCH DRAIN. REFERENCE CIVIL PLANS. | 29 VACUUM PARKING STRIPING. | 45 THICKENED SLAB PER DETAIL 6/A1.05. |
| 15 TRASH ENCLOSURE. REFERENCE DETAILS ON SHEET A1.05. | 30 TRASH RECEPTACLES (TYPICAL 16 PLACES). | |
| | 31 LANDSCAPING. REFERENCE LANDSCAPE DRAWINGS. | |

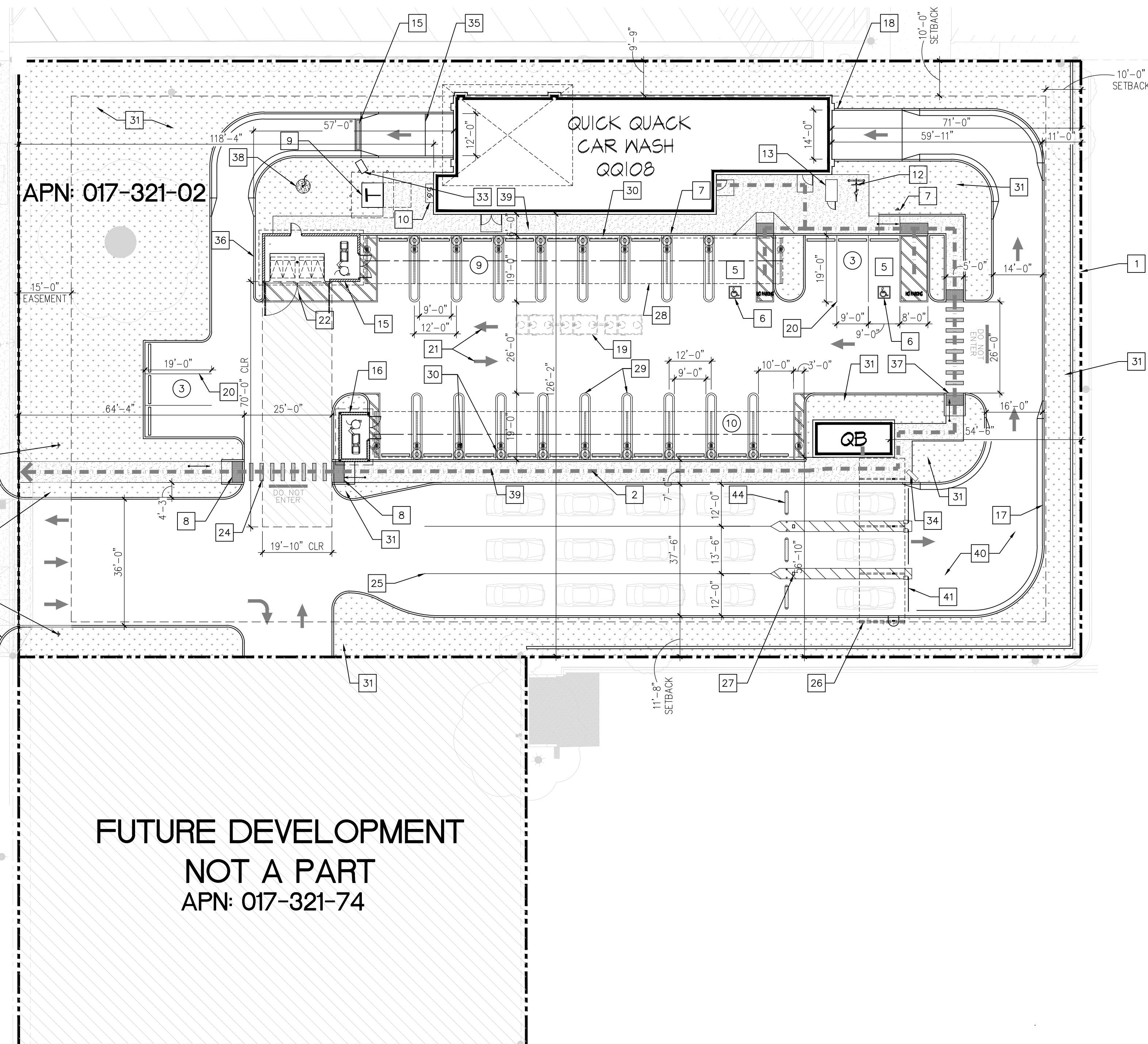


VICINITY MAP
SCALE: NTS



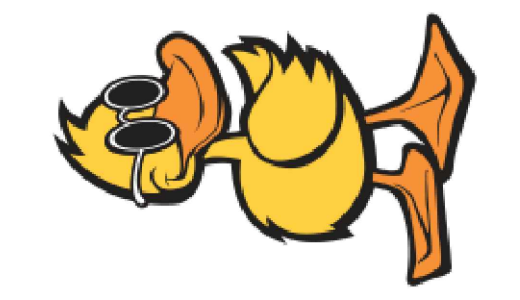
PARKING SUMMARY

9'-0" X 19'-0" STANDARD PARKING STALL	5 STALLS
9'-0" X 19'-0" ADA PARKING STALL	1 STALL
TOTAL PARKING STALLS	6 STALLS
14'-0" X 19'-0" VACUUM STALL	18 STALLS
12'-0" X 19'-0" ADA VACUUM STALL	1 STALL
TOTAL VACUUM STALLS	19 STALLS
GRAND TOTAL STALLS	22 STALLS
BIKE PARKING SPACES	5 SPACES
LONG TERM BIKE PARKING SPACES	1 SPACES



LEGEND

- LOT LINES (PROPERTY)
- ACCESSIBLE PATH OF TRAVEL
- PROPOSED CURB AND GUTTER
- PROPOSED PARKING LOT STRIPING
- BUILDING AND LANDSCAPE SETBACK
- EXISTING CURB AND GUTTER
- WALKWAY
- LANDSCAPE AREA
- PAY AND VACUUM CANOPIES
- INDICATES NUMBER OF PARKING SPACES
- LIGHT STAND. REFERENCE ELECTRICAL DRAWINGS
- SLOPE DOWNWARD SYMBOL



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #33-059
APN: 017-321-02
632 E. LAKE AVE
WATSONVILLE, CA 95076
SANTA CRUZ COUNTY

#	DATE	DESCRIPTION
1	6/3/2024	1ST ROUND COMMENTS



SITE PLAN

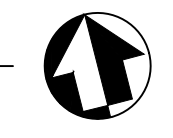
DATE: 09/14/2023
TAIT JOB #: QQ0076

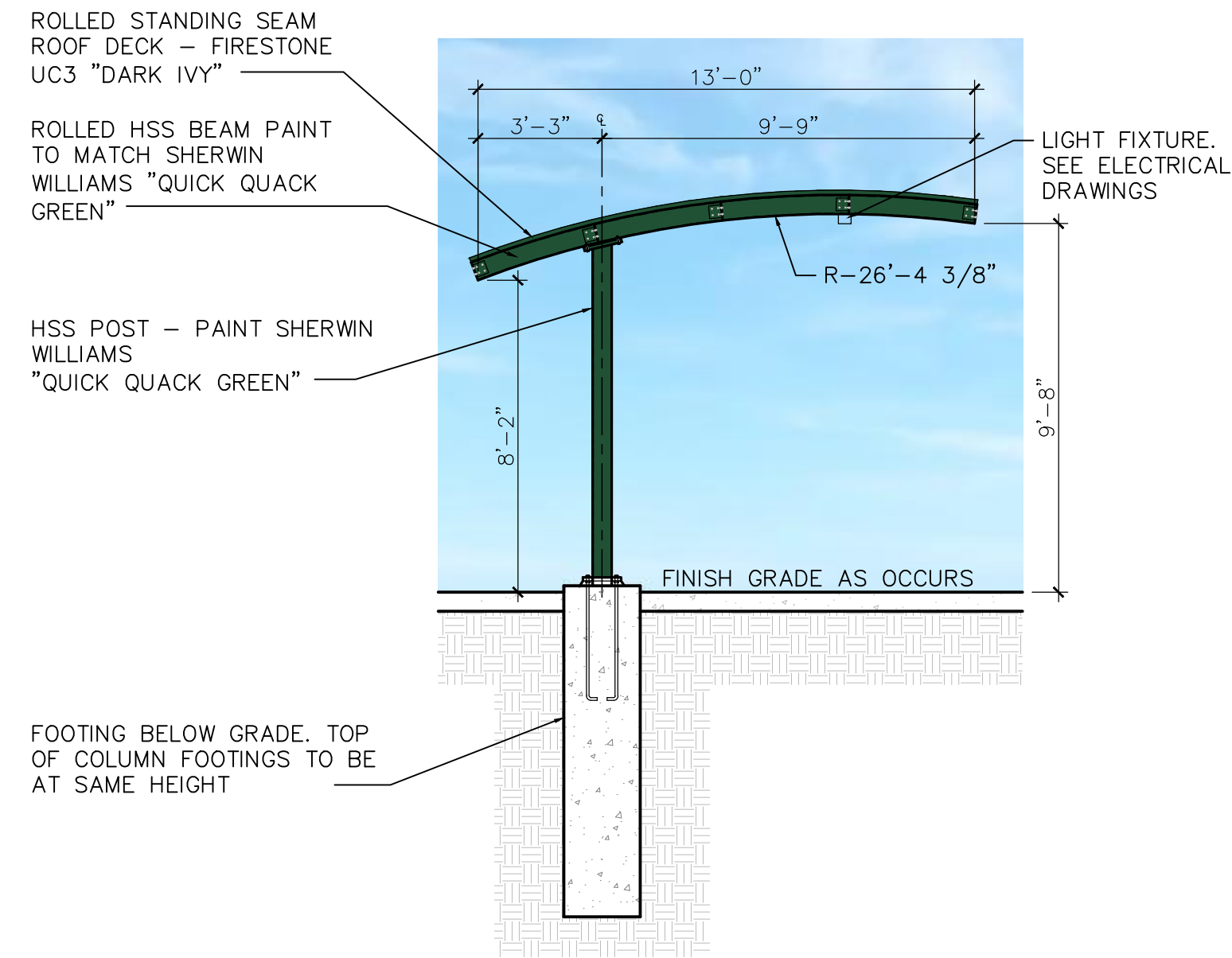
THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN ARE AN INSTRUMENT OF PROFESSIONAL SERVICES IN THE POSSESSION OF QUICK QUACK CAR WASH AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF QUICK QUACK CAR WASH

PLANNING PACKAGE

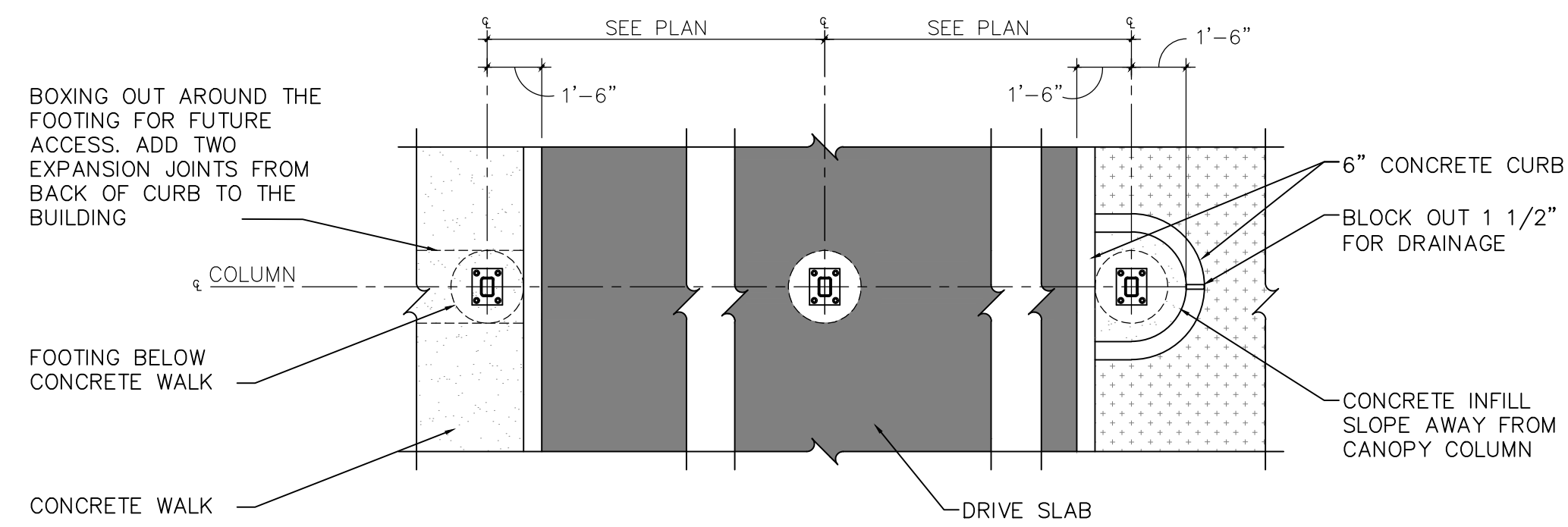


1 SITE PLAN
SCALE: 1" = 20'

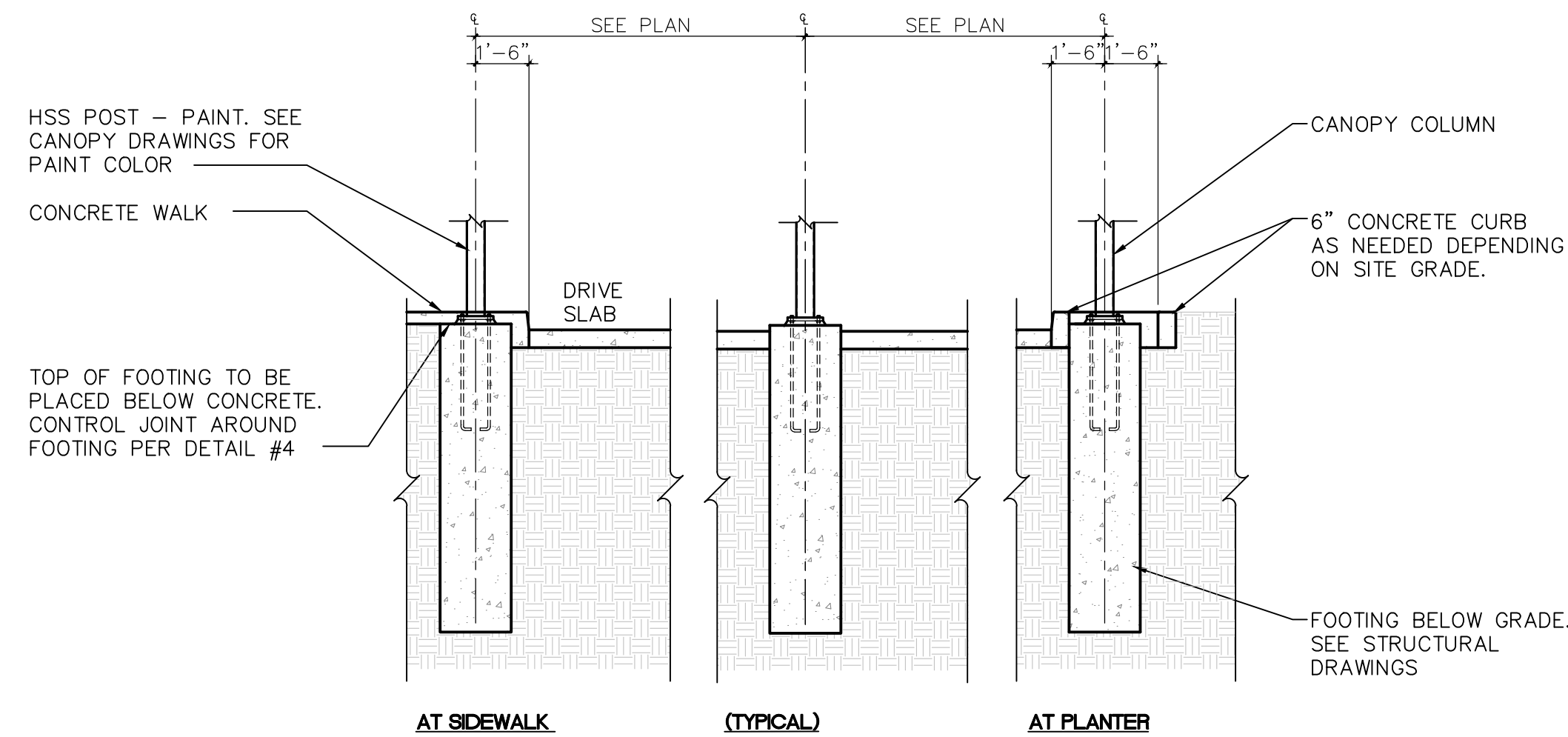




4 PAY STATION CANOPY SECTION
SCALE: 1/4" = 1'-0"

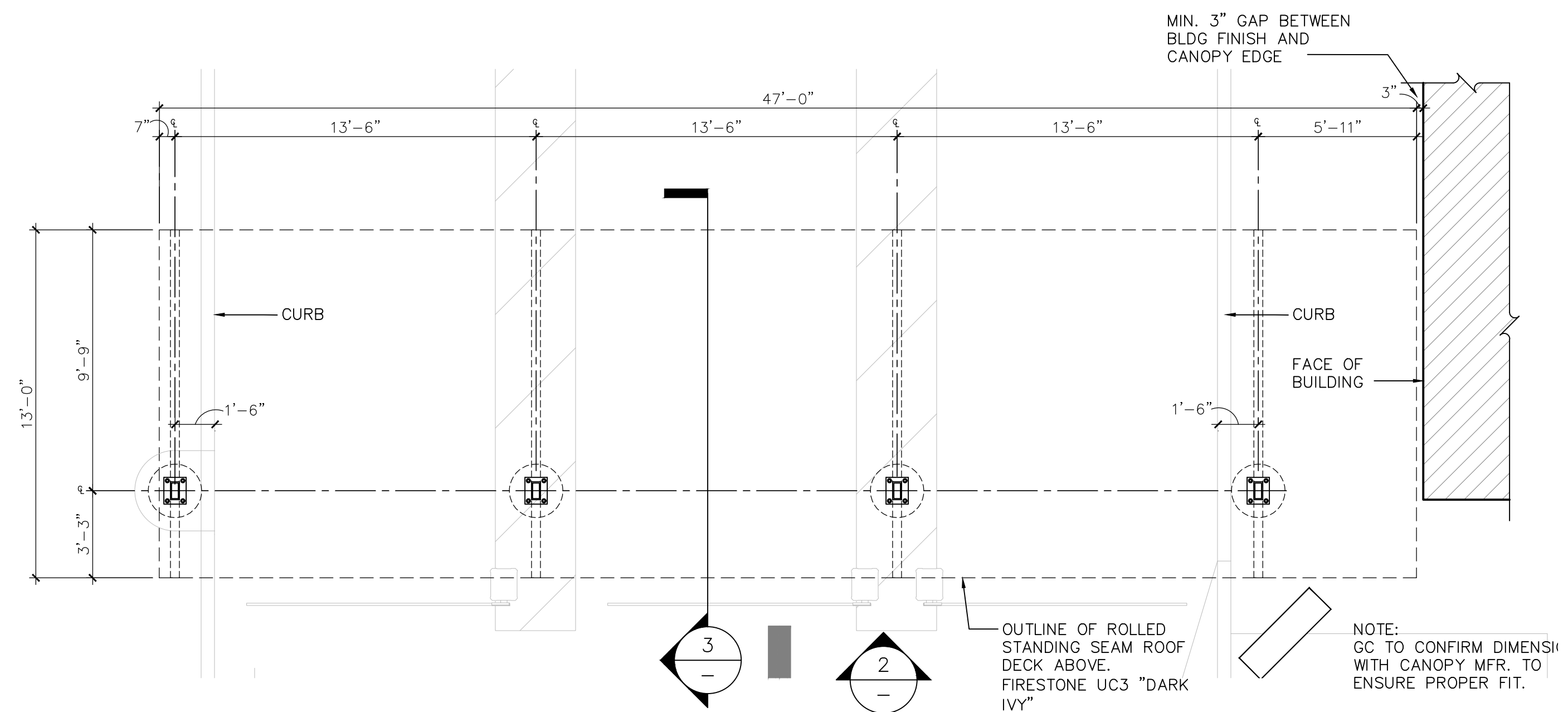


5 PAY STATION CANOPY CROSS SECTION PLAN
SCALE: 1/4" = 1'-0"

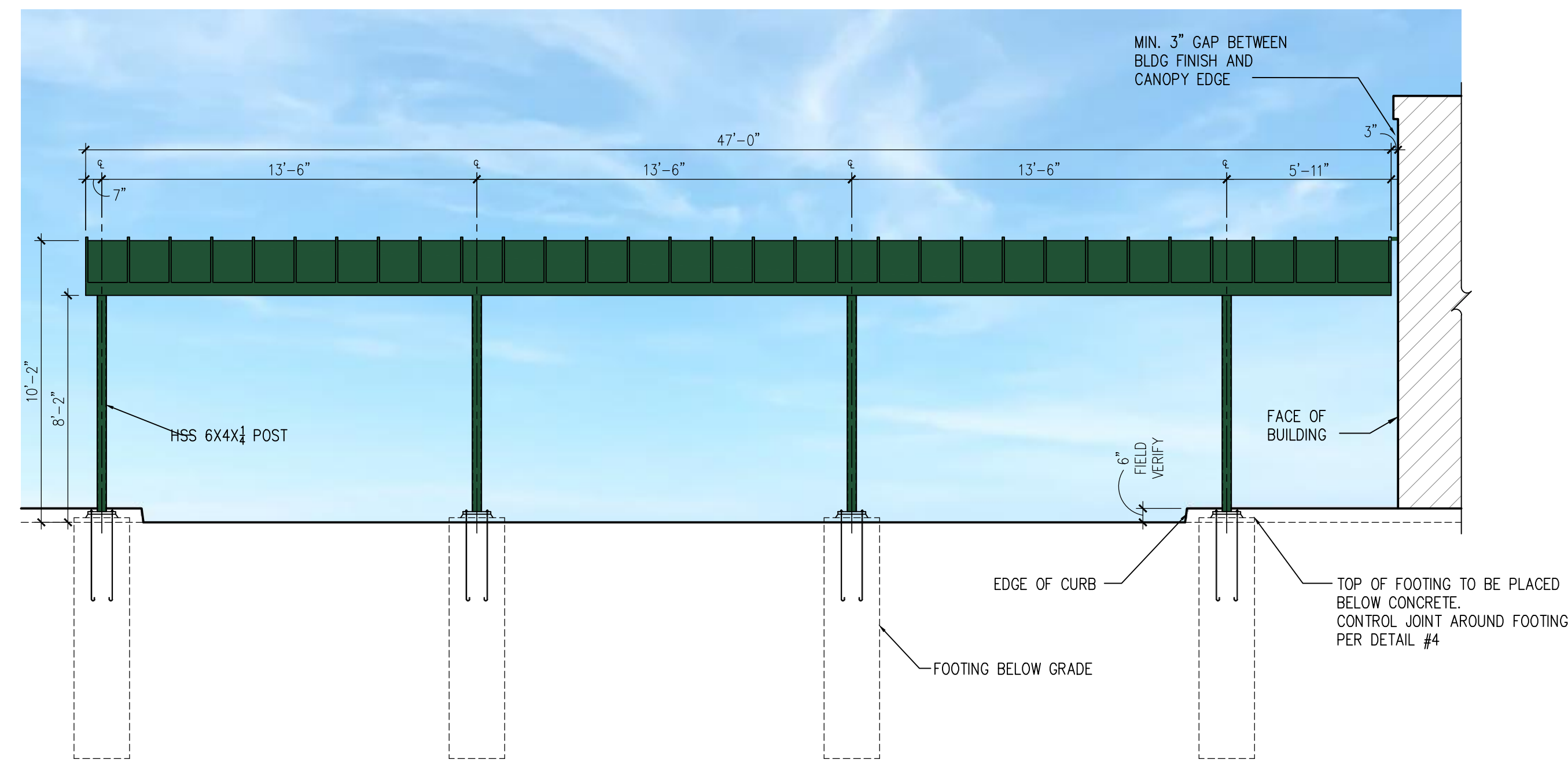


6 PAY STATION CANOPY CROSS SECTION
SCALE: 1/4" = 1'-0"

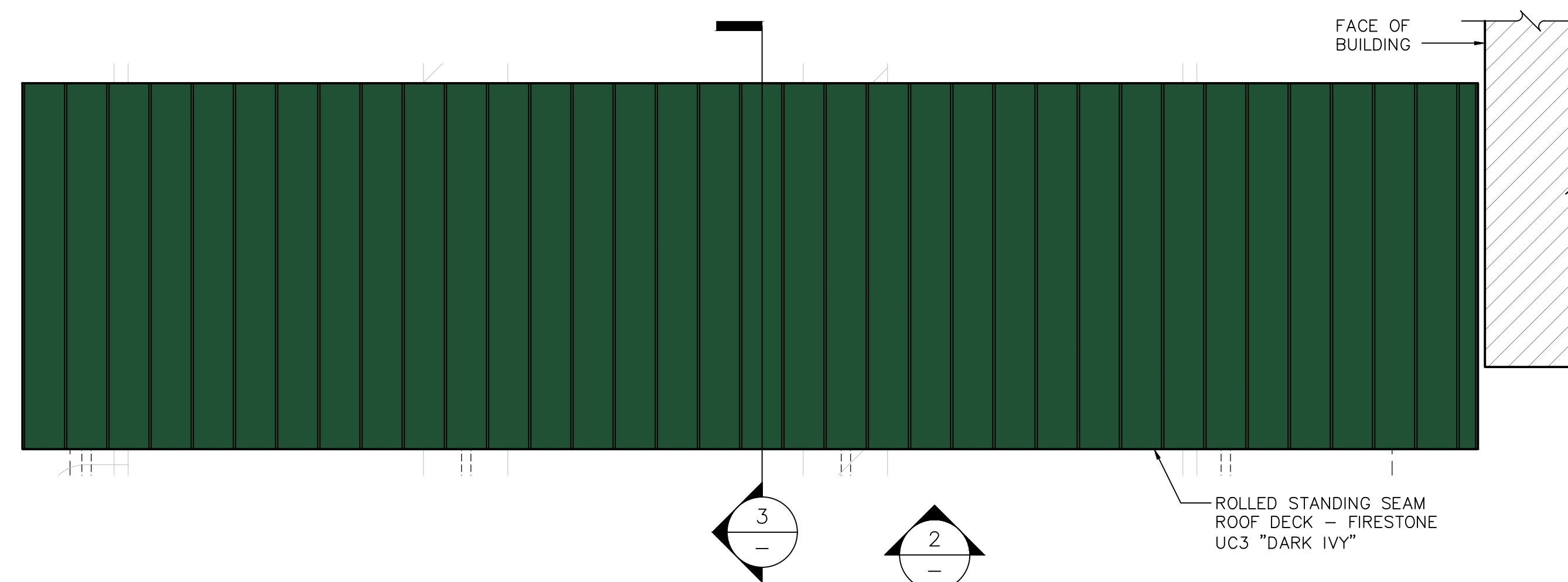
- CANOPY FOOTING NOTES:
- FOR EACH CANOPY (PAY OR VACUUM), THE TOP OF EACH FOOTING SHALL BE THE SAME ELEVATION.
 - THE ELEVATION OF EACH SET OF FOOTINGS WILL BE DETERMINED BY THE HIGHEST GRADE ADJACENT TO THE CONTROL FOOTING.
 - THE CONTROL FOOTING IS SET 2" ABOVE THE HIGHEST ADJACENT FINISHED CONCRETE PAVEMENT GRADE.



1 PAY STATION CANOPY FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PAY STATION CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



3 PAY STATION CANOPY ROOF PLAN
SCALE: 1/4" = 1'-0"



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #33-059
APN: 017-321-02
632 E. LAKE AVE
WATSONVILLE, CA 95076
SANTA CRUZ COUNTY

#	DATE	DESCRIPTION
1	6/3/2024	1ST ROUND COMMENTS



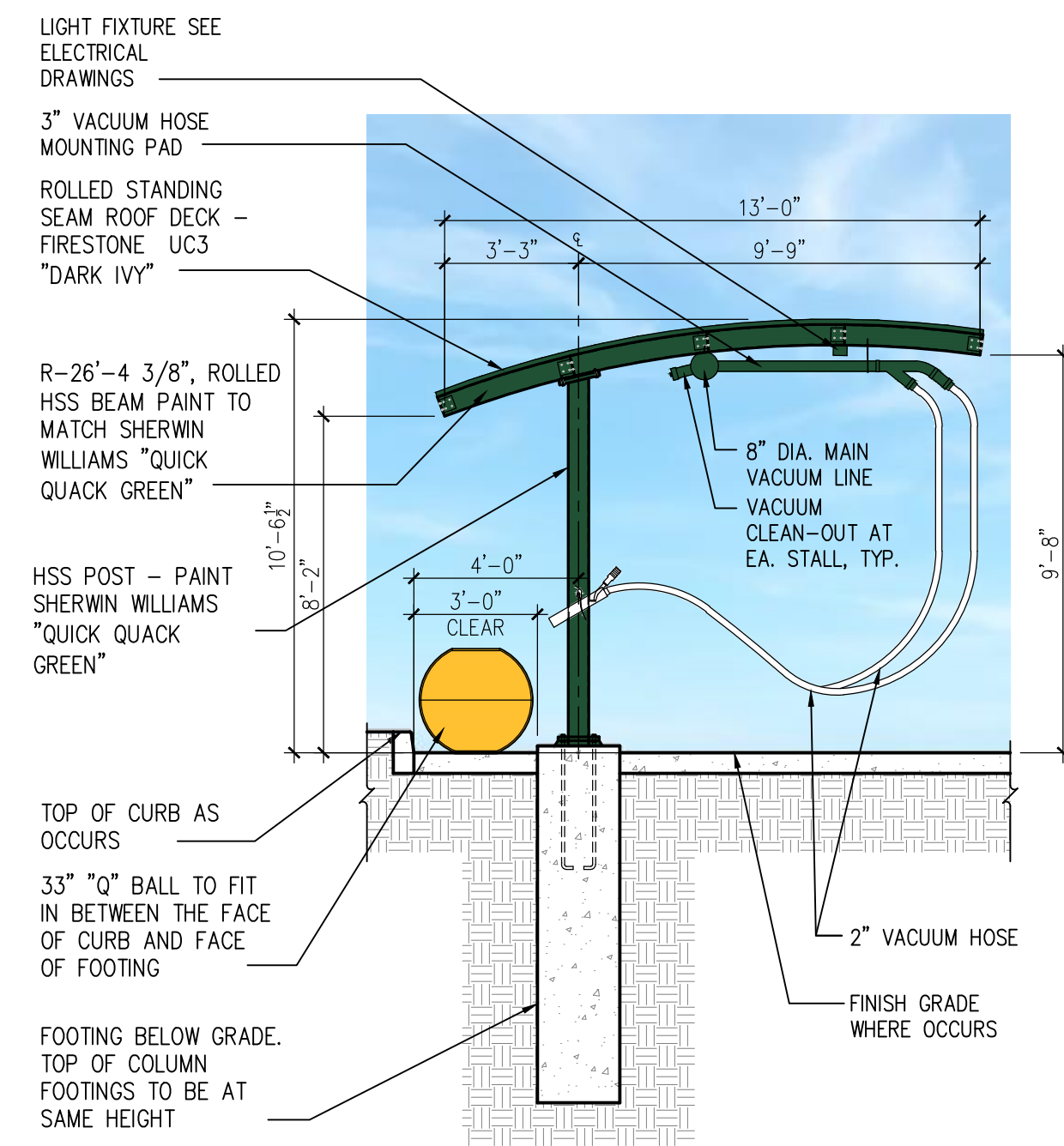
PAY CANOPY

DATE: 09/14/2023
TAIT JOB #: QO0076

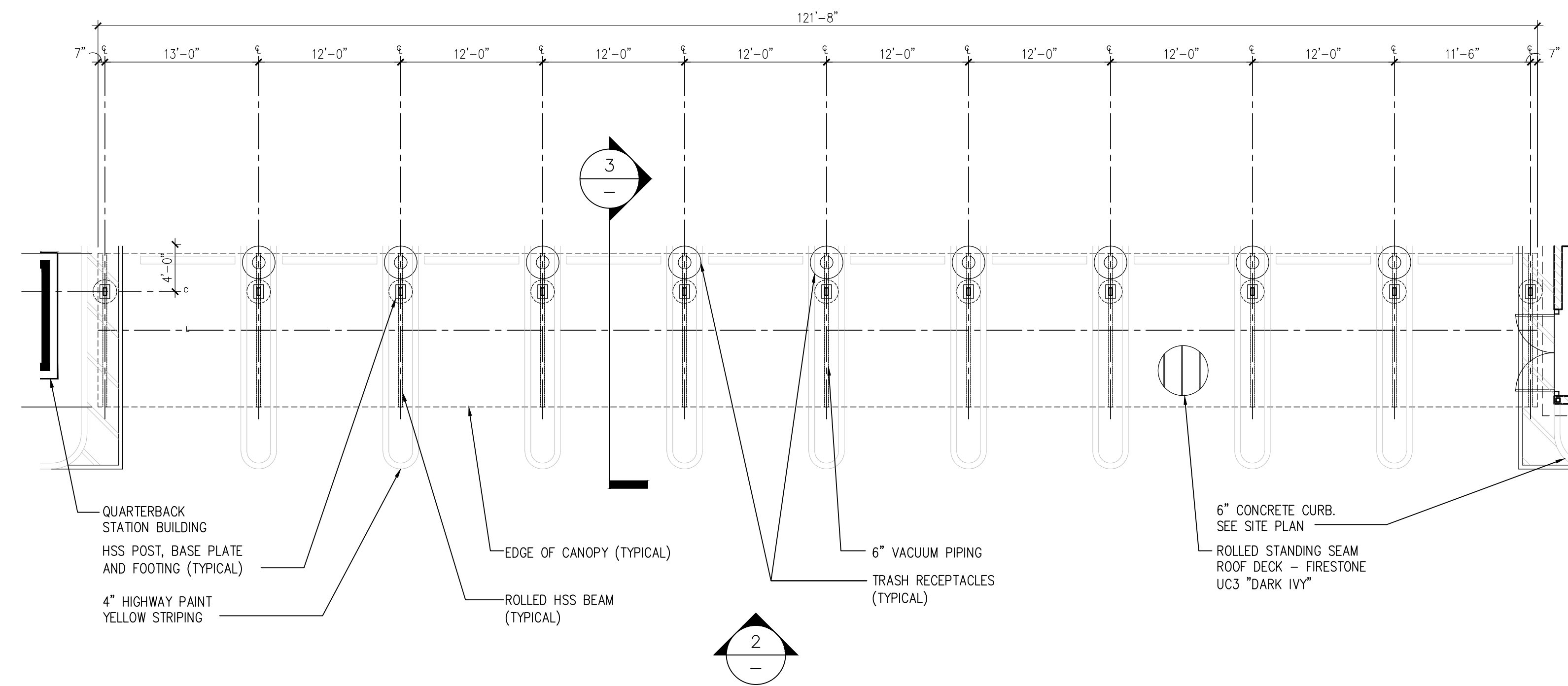
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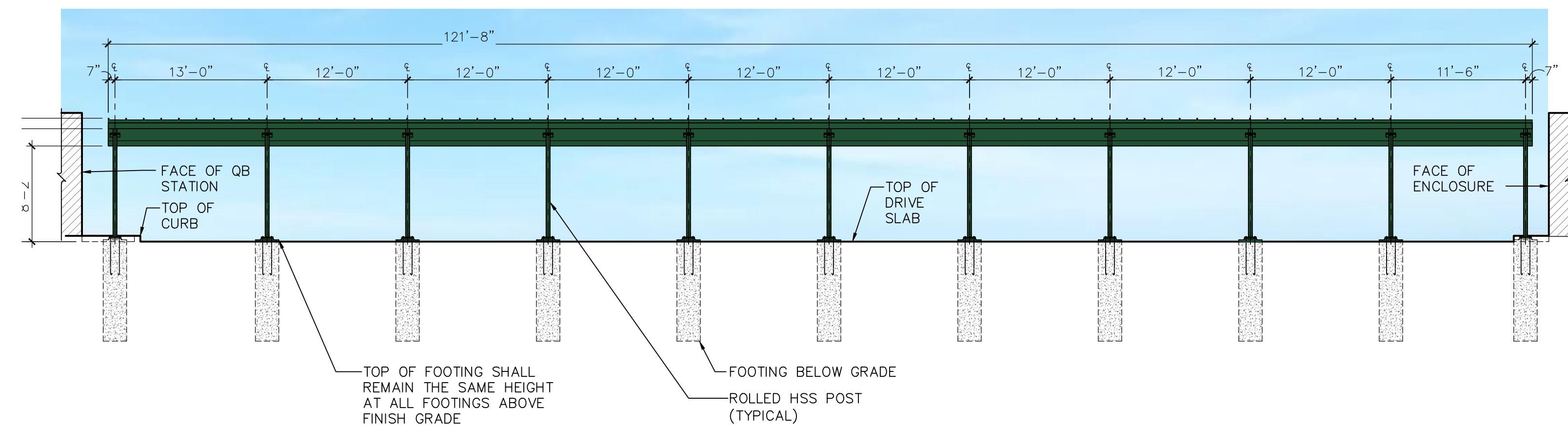
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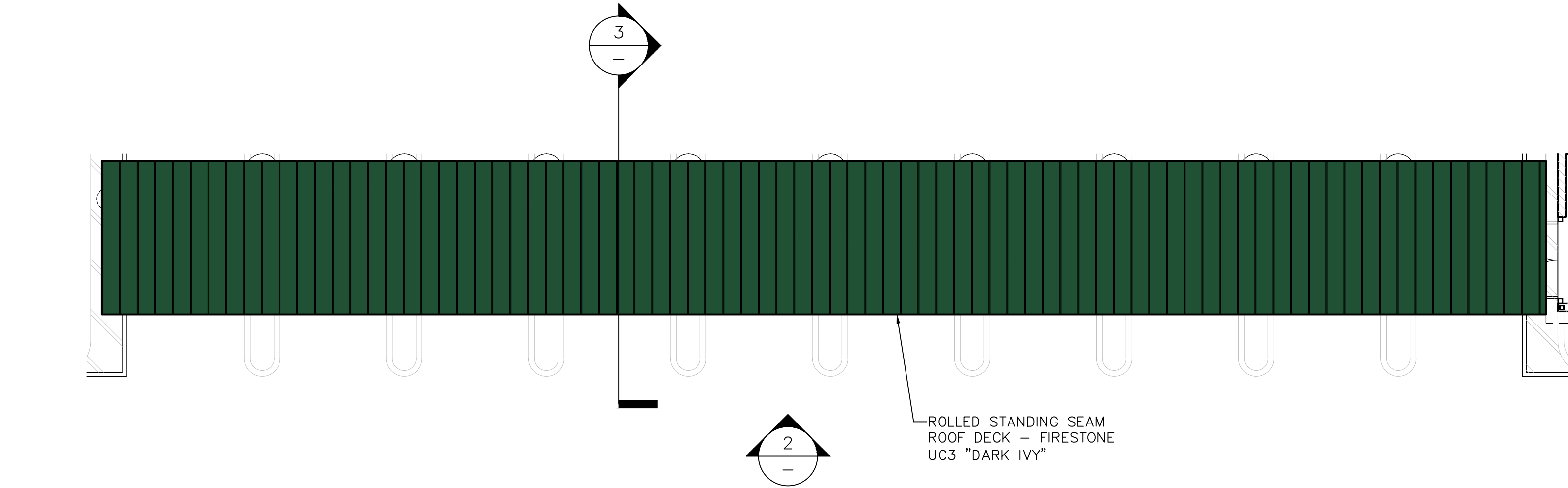
4 VACUUM CANOPY SECTION
SCALE: 1/4" = 1'-0"



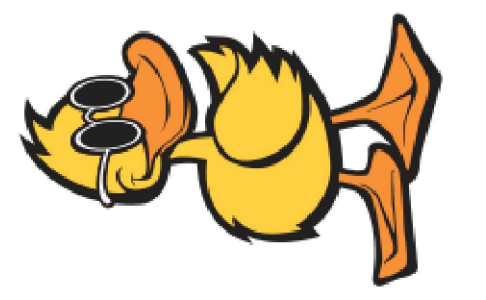
1 VACUUM CANOPY FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 VACUUM CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



3 VACUUM CANOPY ROOF PLAN
SCALE: 1/4" = 1'-0"



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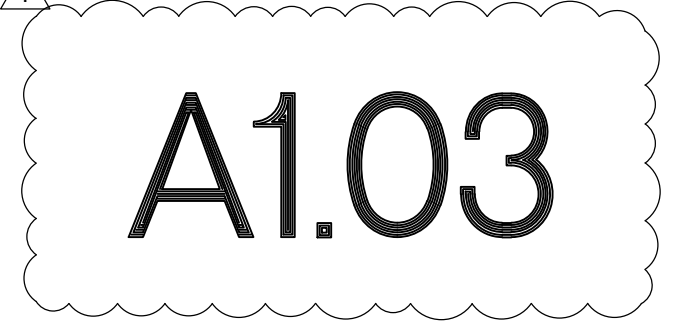


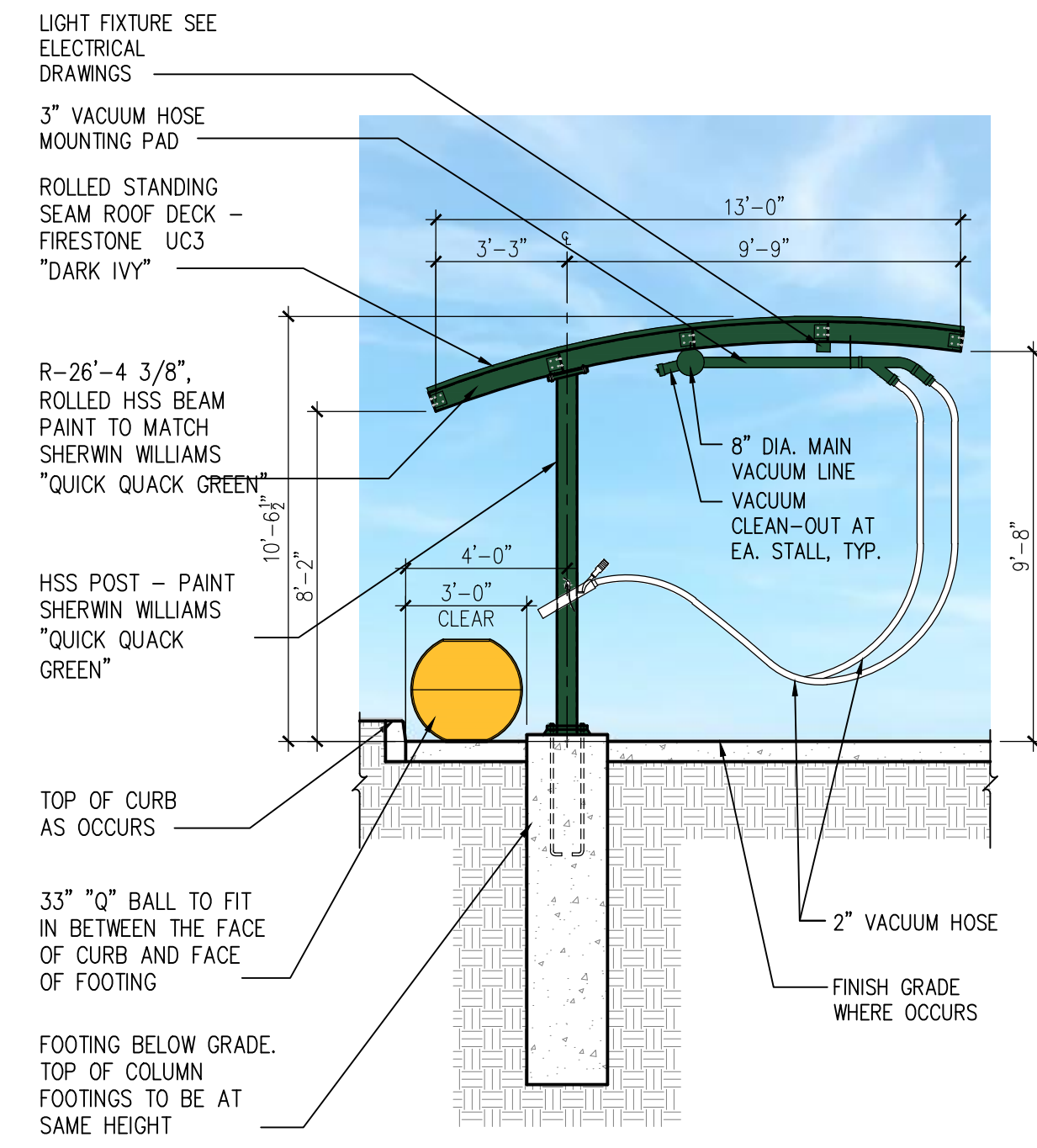
VACUUM CANOPY

DATE: 09/14/2023
TAIT JOB #: QO0076

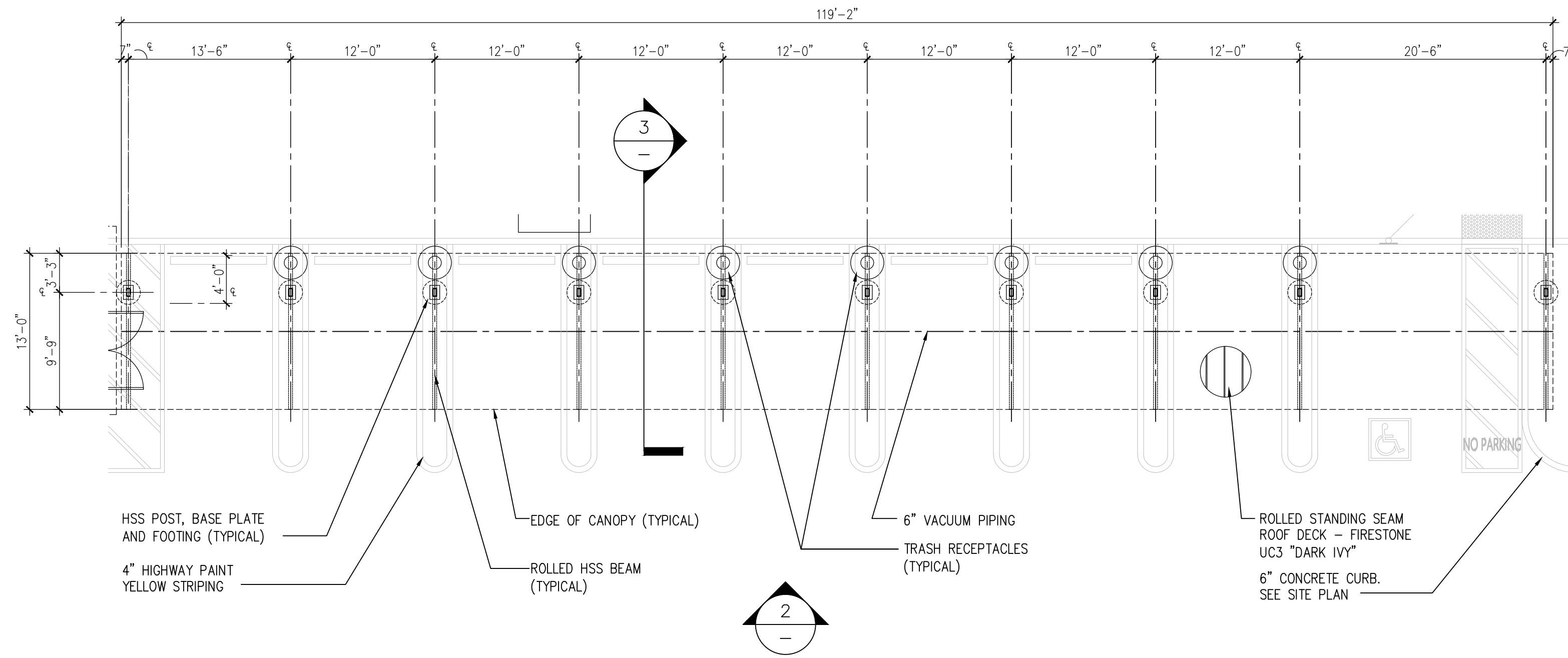
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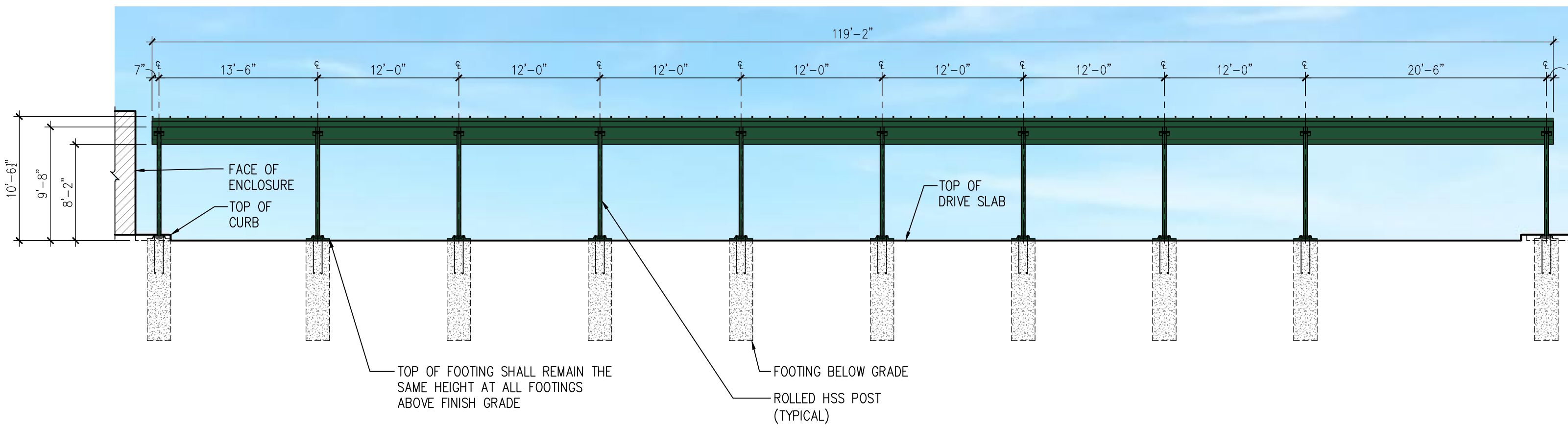




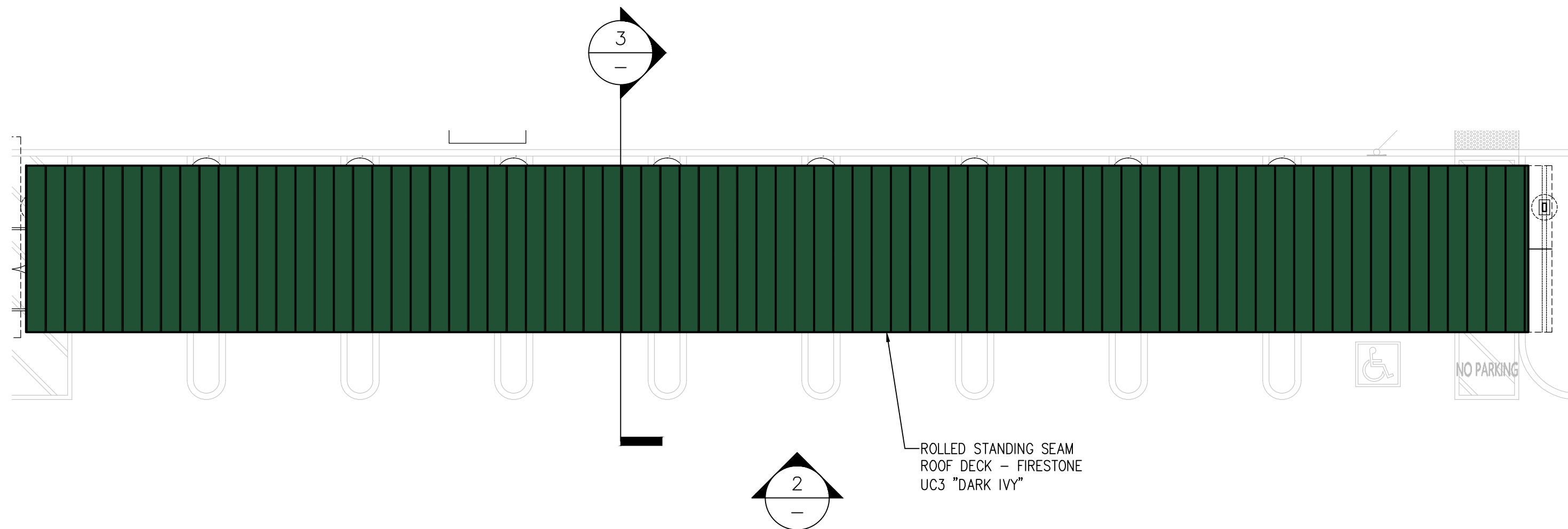
4 VACUUM CANOPY SECTION
SCALE: 1/4" = 1'-0"



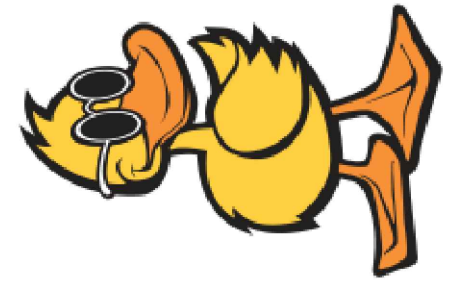
1 VACUUM CANOPY FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 VACUUM CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



3 VACUUM CANOPY ROOF PLAN
SCALE: 1/4" = 1'-0"



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3		
4		



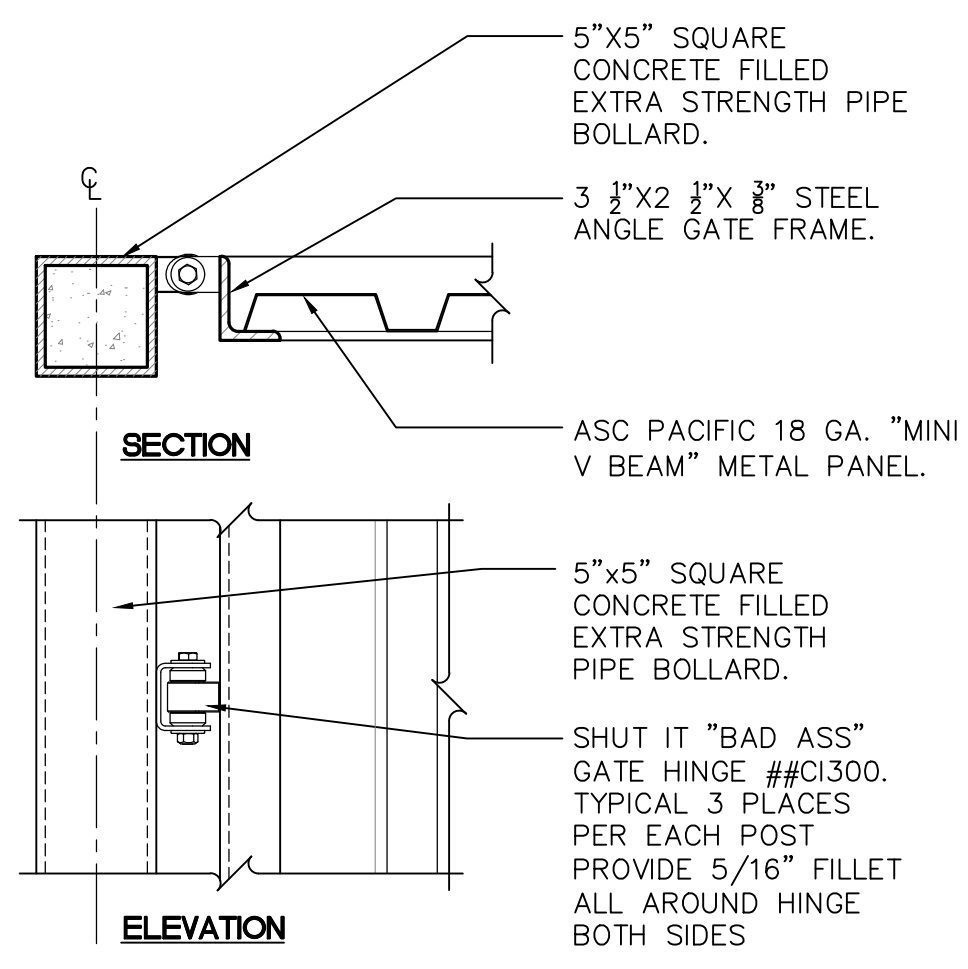
VACUUM CANOPY

DATE: 09/14/2023
TAIT JOB #: 000076

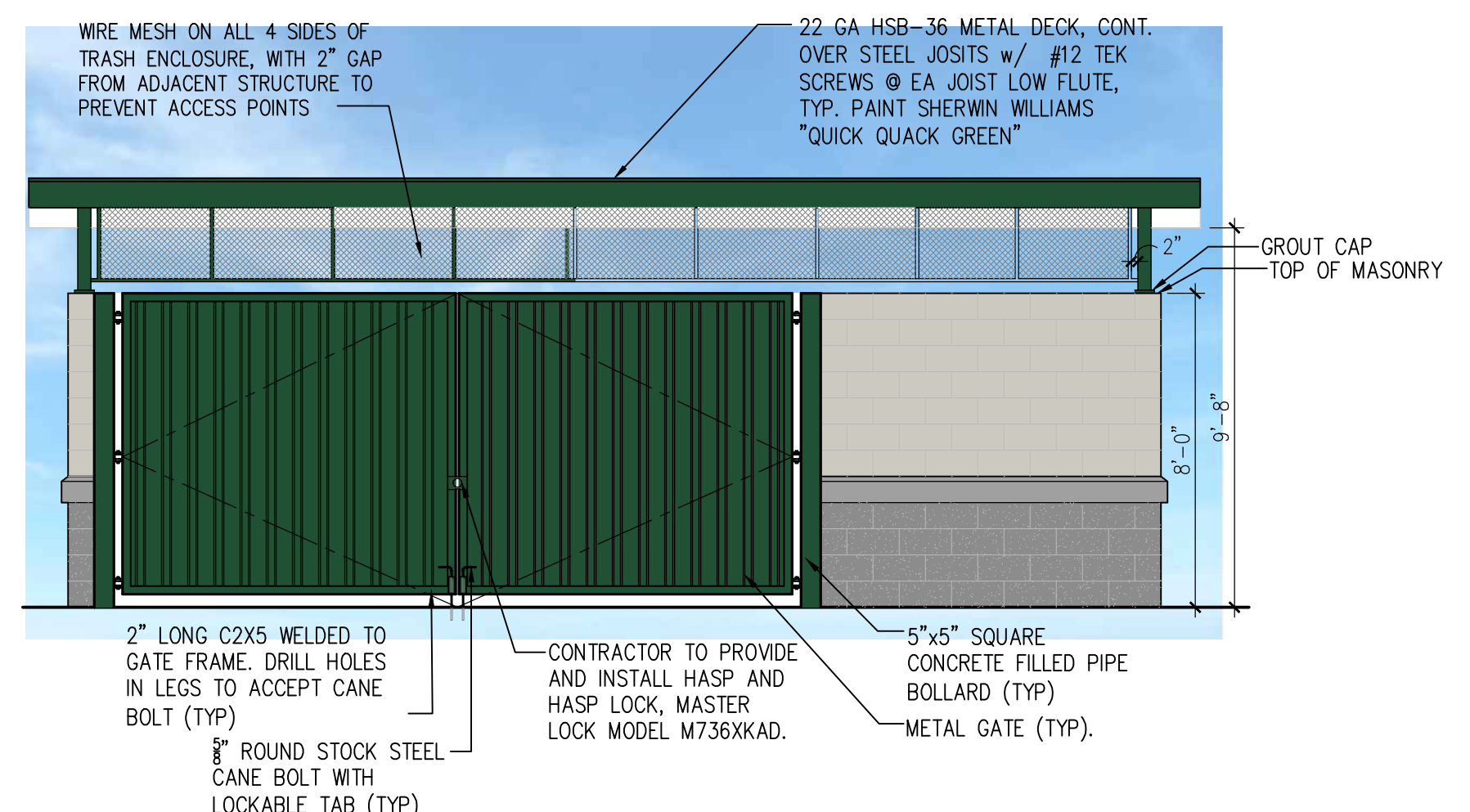
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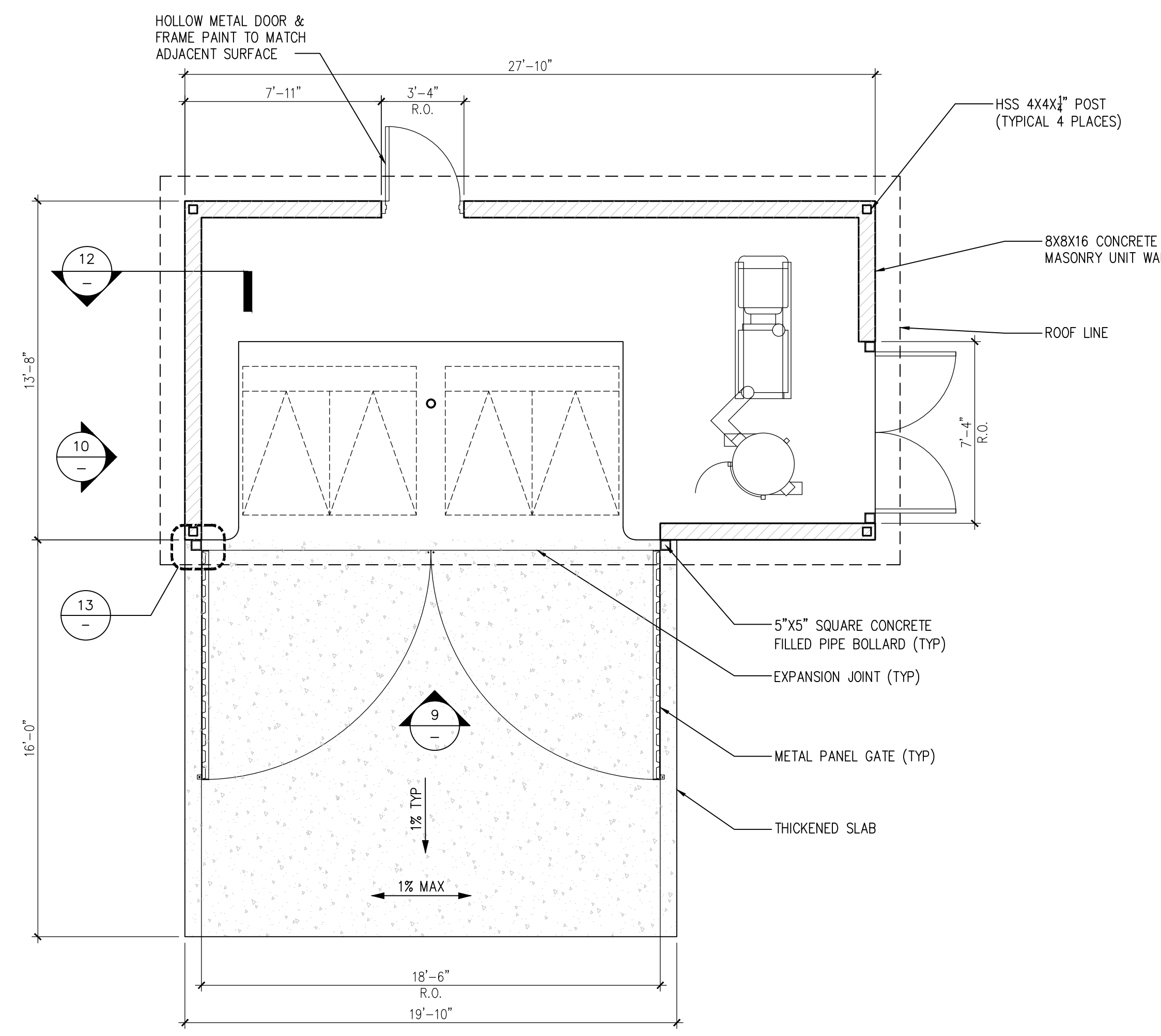
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13 SCALE: 1 1/2"=1'-0" TRASH ENCLOSURE GATE HINGE
FILE: A105-13 GATE HINGE

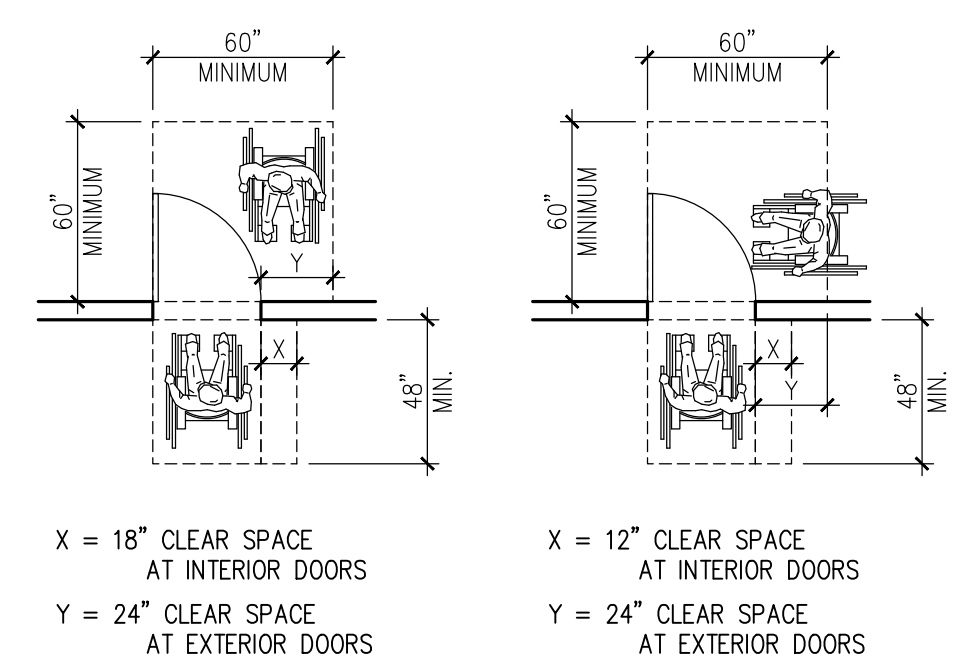


9 SCALE: 1/4"=1'-0" TRASH/VACUUM ENCLOSURE FRONT ELEVATION
FILE: A105-09 TRASH ENCL. FRONT ELEV.

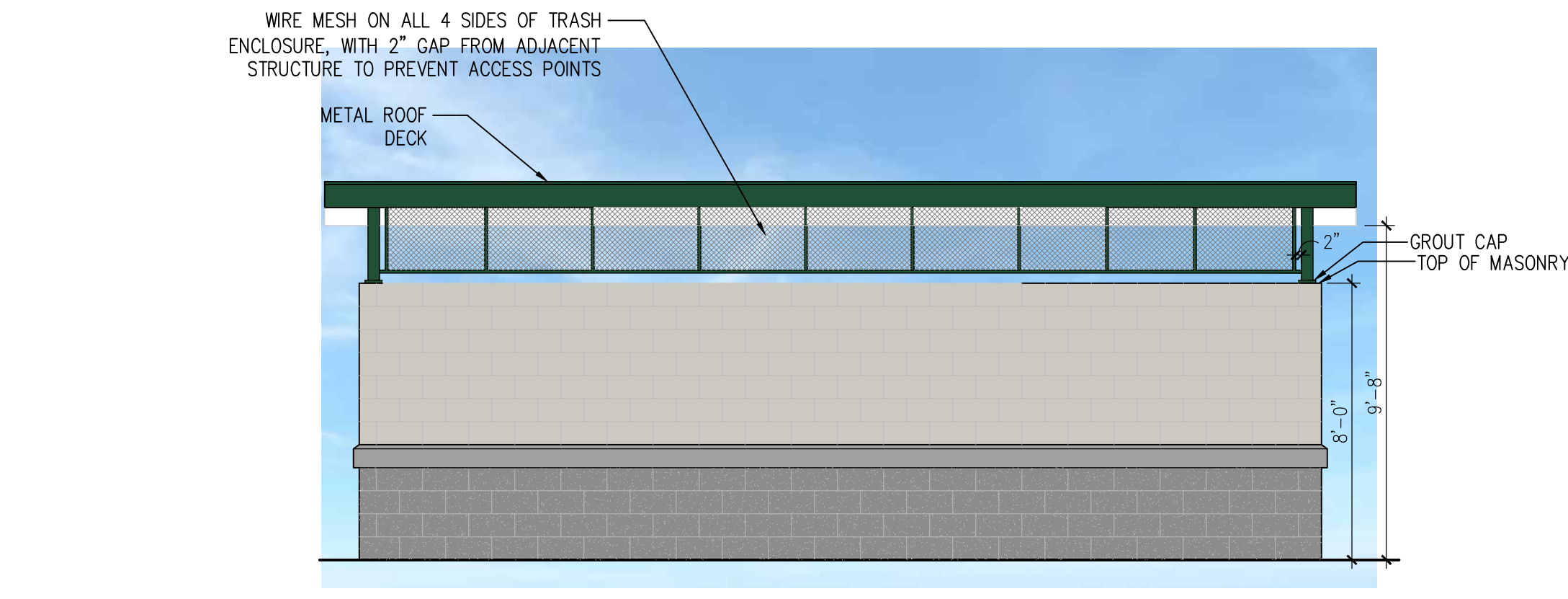


6 SCALE: 1/4"=1'-0" MASONRY TRASH AND VACUUM ENCLOSURE PLAN
FILE: A105-06 TRASH ENCL.

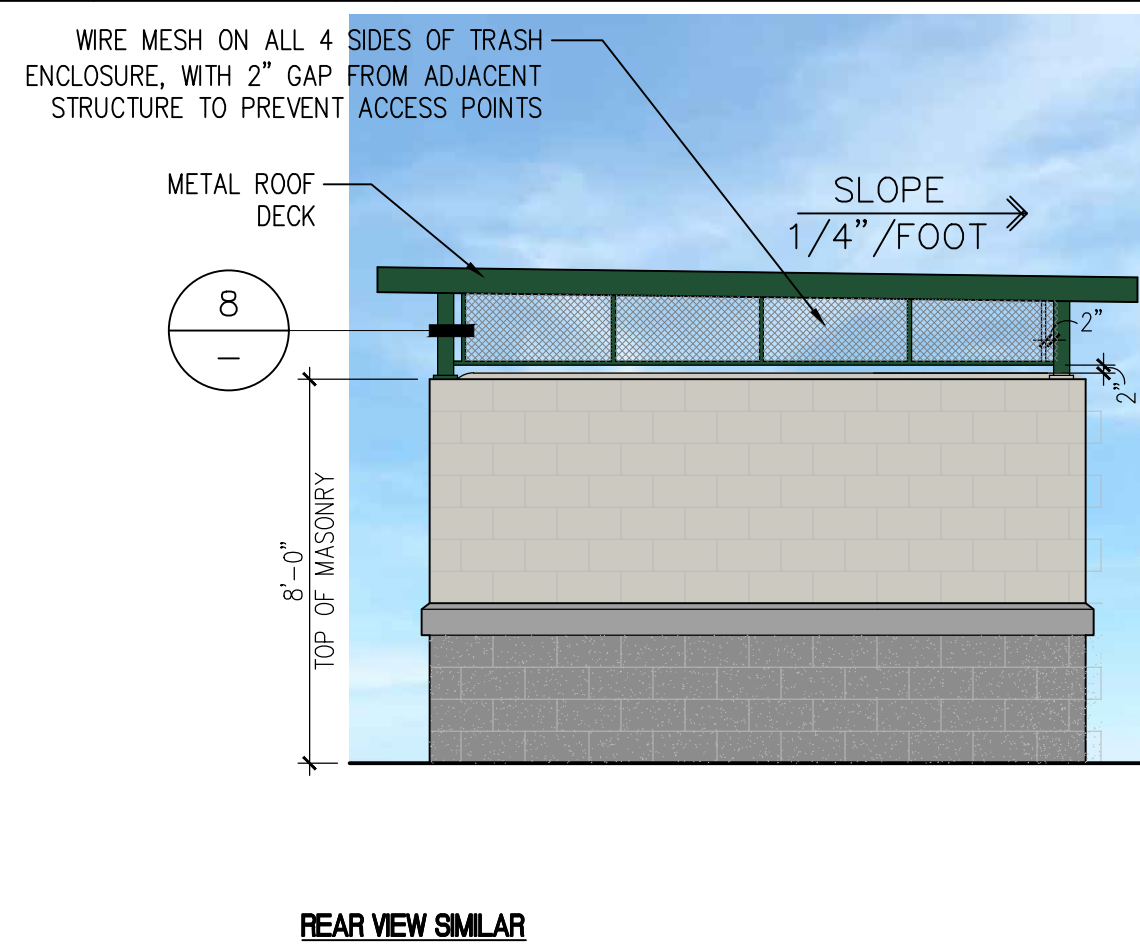
- ACCESS NOTES**
- ACCESS GATE SHALL BE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE CENTERED BETWEEN 34" AND 44" ABOVE FLOOR.
 - THE OPENING FORCE FOR ACCESS GATE SHALL NOT EXCEED 5 LBS.
 - IF THE ACCESS GATE HAS A CLOSER, THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION 90 DEGREES THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM PER CBC CHAPTER 11B.
 - ACCESS GATE LANDING SHALL HAVE A MAXIMUM SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
 - BOTTOM 10" OF ACCESS SHALL BE OF A SMOOTH SURFACE.
 - PROVIDE LOCK FOR ACCESS GATE AS REQUESTED BY OWNER.
 - PROVIDE CLEARANCES FOR ACCESS GATE AS SHOWN BELOW.
 - OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST PER CBC CHAPTER 11B.
 - SWINGING DOOR AND GATE SURFACES WITHIN 10" OF FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING FULL WIDTH OF THE DOOR OR GATE PER CBC CHAPTER 11B.



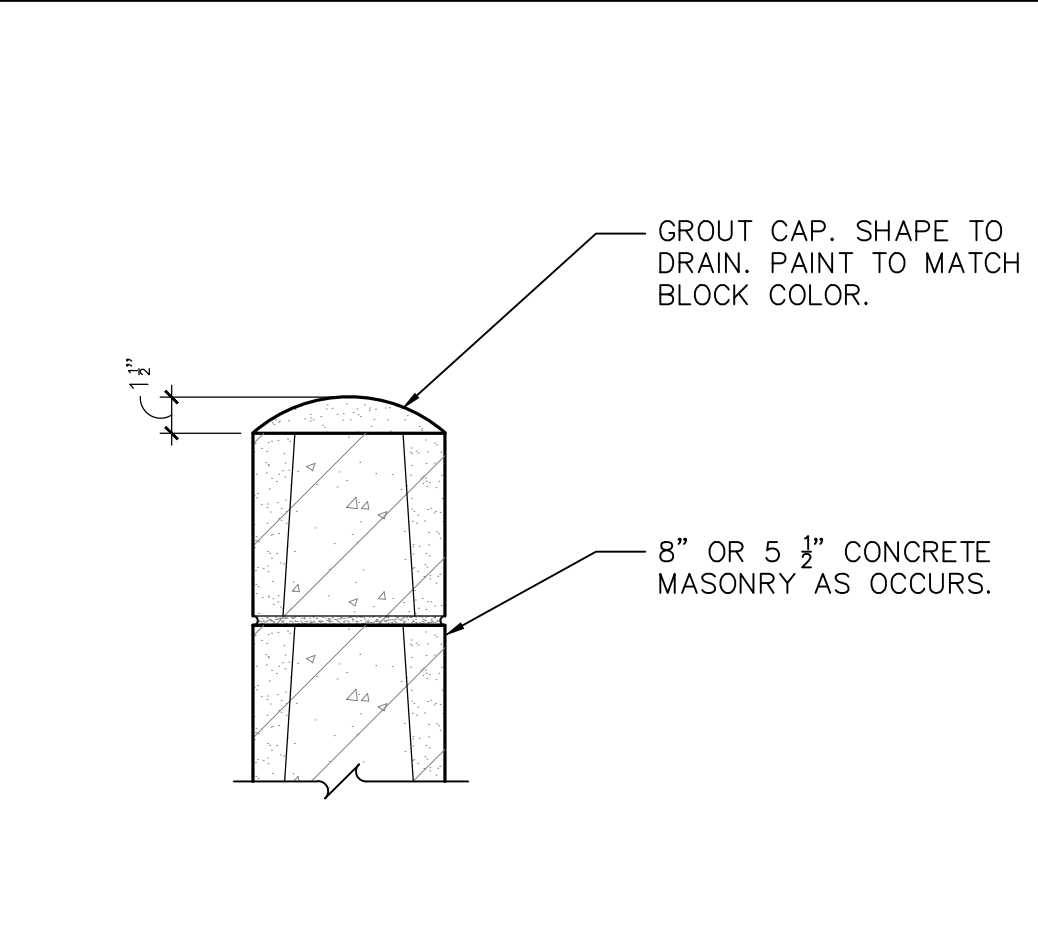
15 SCALE: 1/4"=1'-0" ACCESS NOTES
FILE: A105-15 ACCESS NOTES



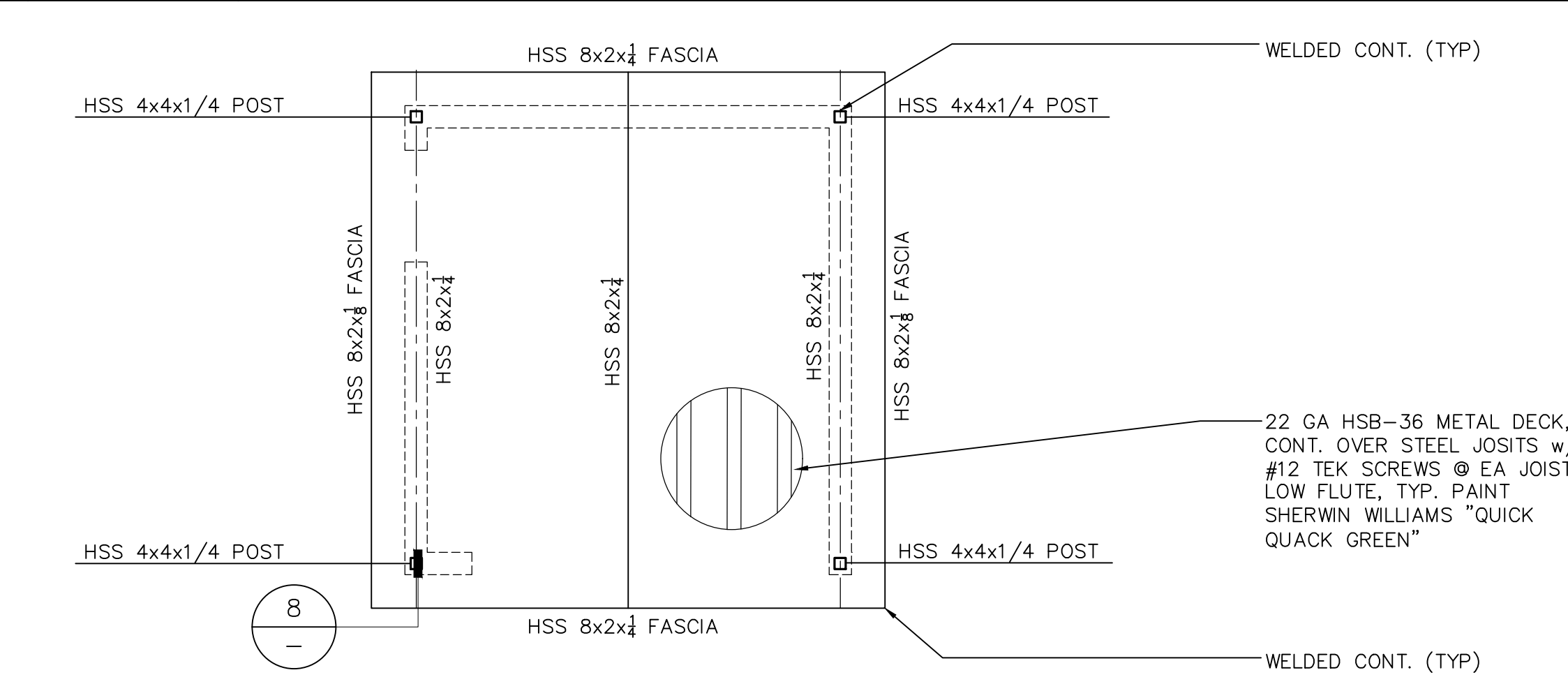
10 SCALE: 1/4"=1'-0" TRASH/VACUUM ENCLOSURE BACK ELEVATION
FILE: A105-10 TRASH ENCL. FRONT ELEV.



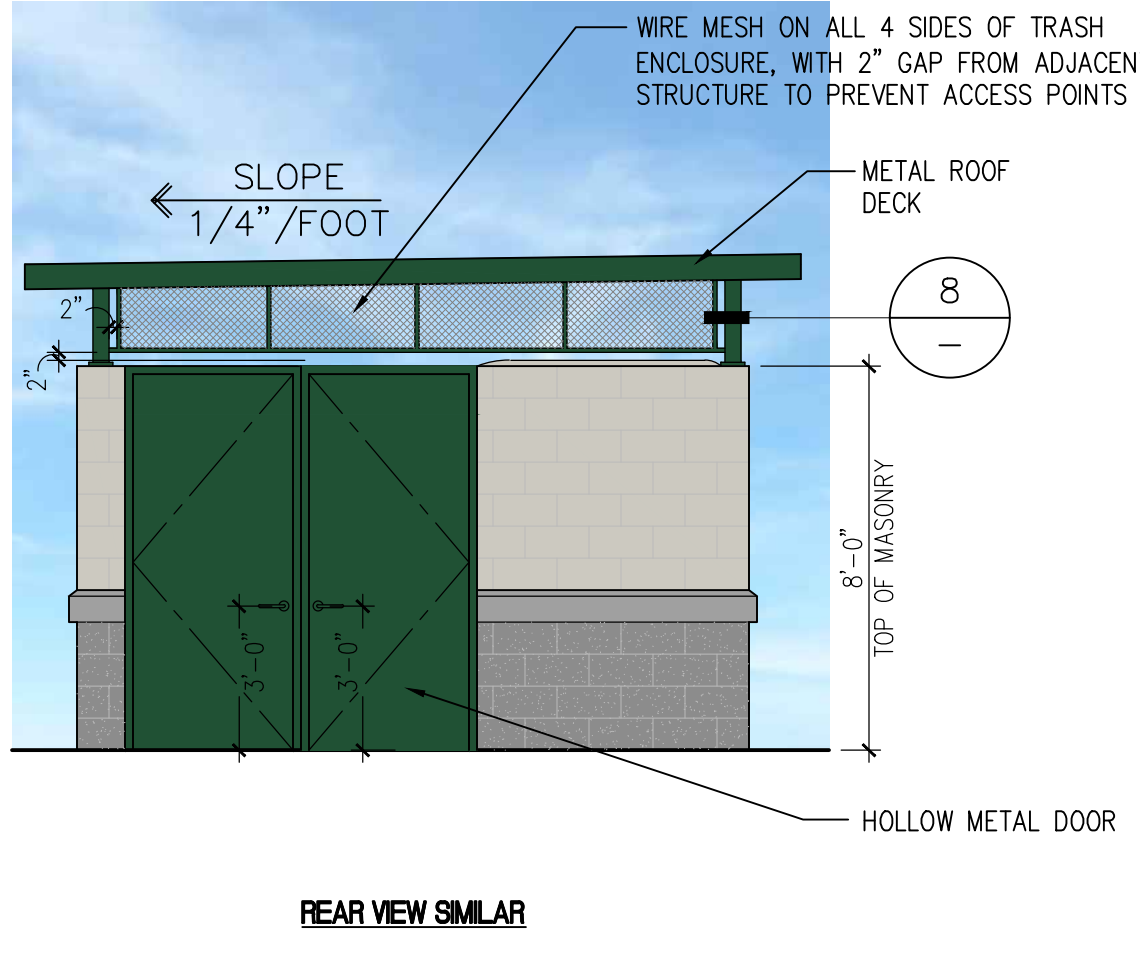
14 SCALE: 1/4"=1'-0" TRASH/VACUUM ENCLOSURE SIDE ELEVATION
FILE: A105-14 TRASH ENCL. SIDE ELEV.



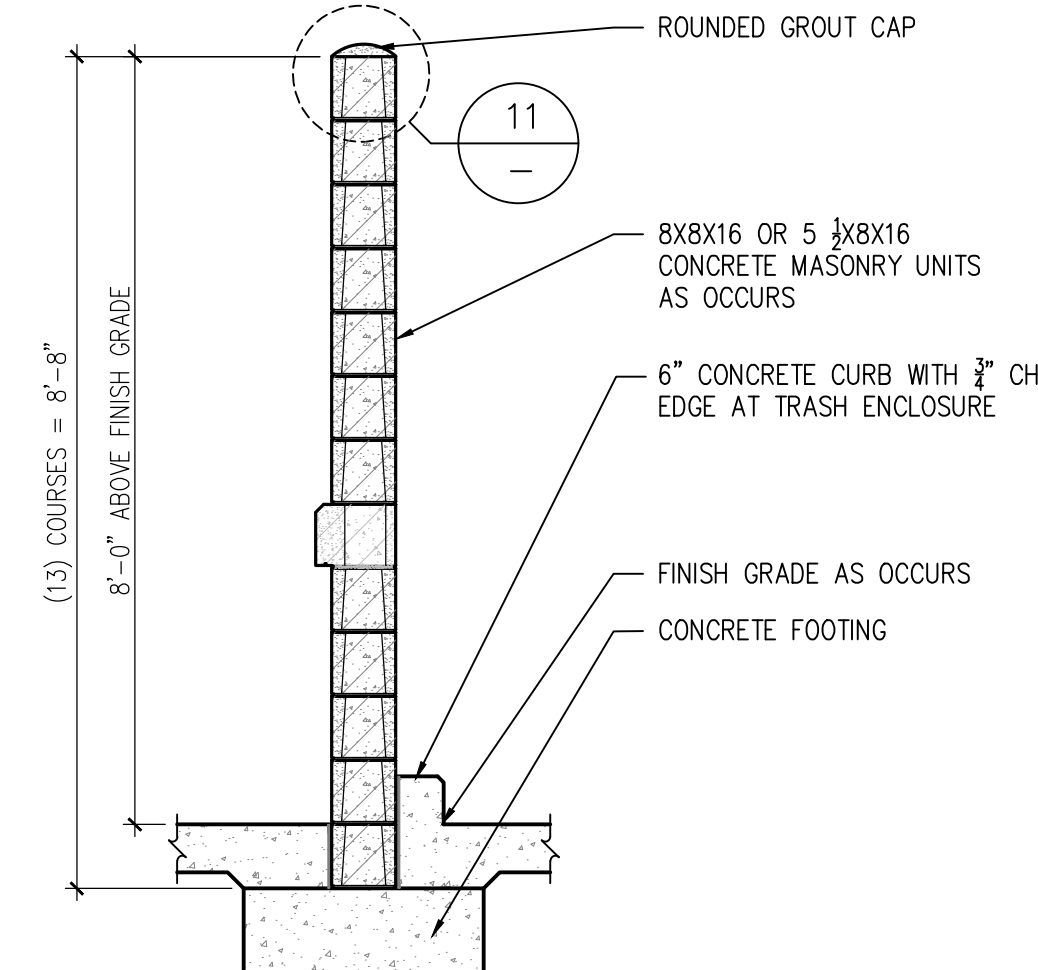
11 SCALE: 1 1/2"=1'-0" WALL CAP DETAIL
FILE: A105-11 WALL CAP



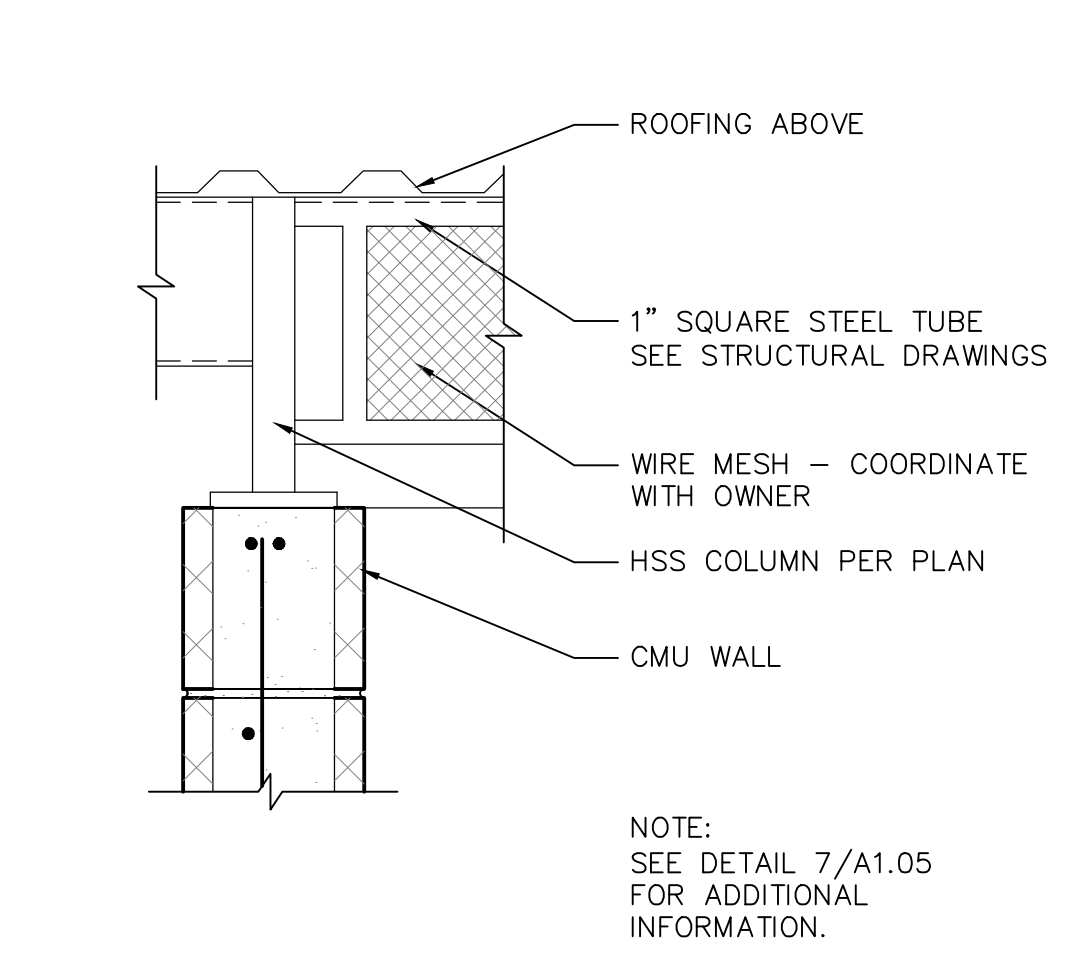
8 SCALE: 1 1/2"=1'-0" ROOF MESH DETAIL
FILE: A105-08 ROOF MESH



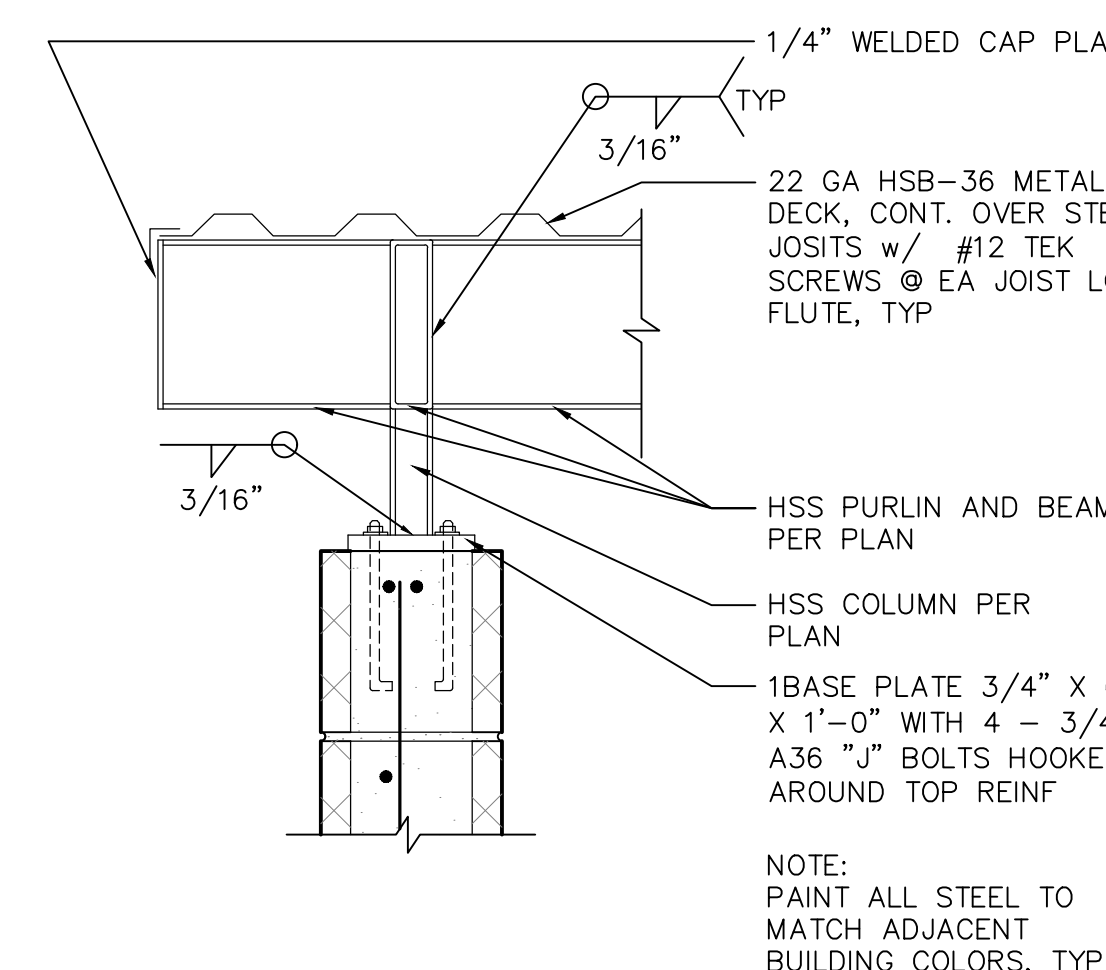
16 SCALE: 1/4"=1'-0" TRASH/VACUUM ENCLOSURE SIDE ELEVATION
FILE: A105-16 TRASH ENCL. SIDE ELEV.



12 SCALE: 1/2"=1'-0" WALL SECTION
FILE: A105-12 WALL SECTION



8 SCALE: 1 1/2"=1'-0" ROOF MESH DETAIL
FILE: A105-08 ROOF MESH



4 SCALE: 1 1/2"=1'-0" ROOF SLEEVE HINGE DETAIL
FILE: A105-04 ROOF SLEEVE HINGE



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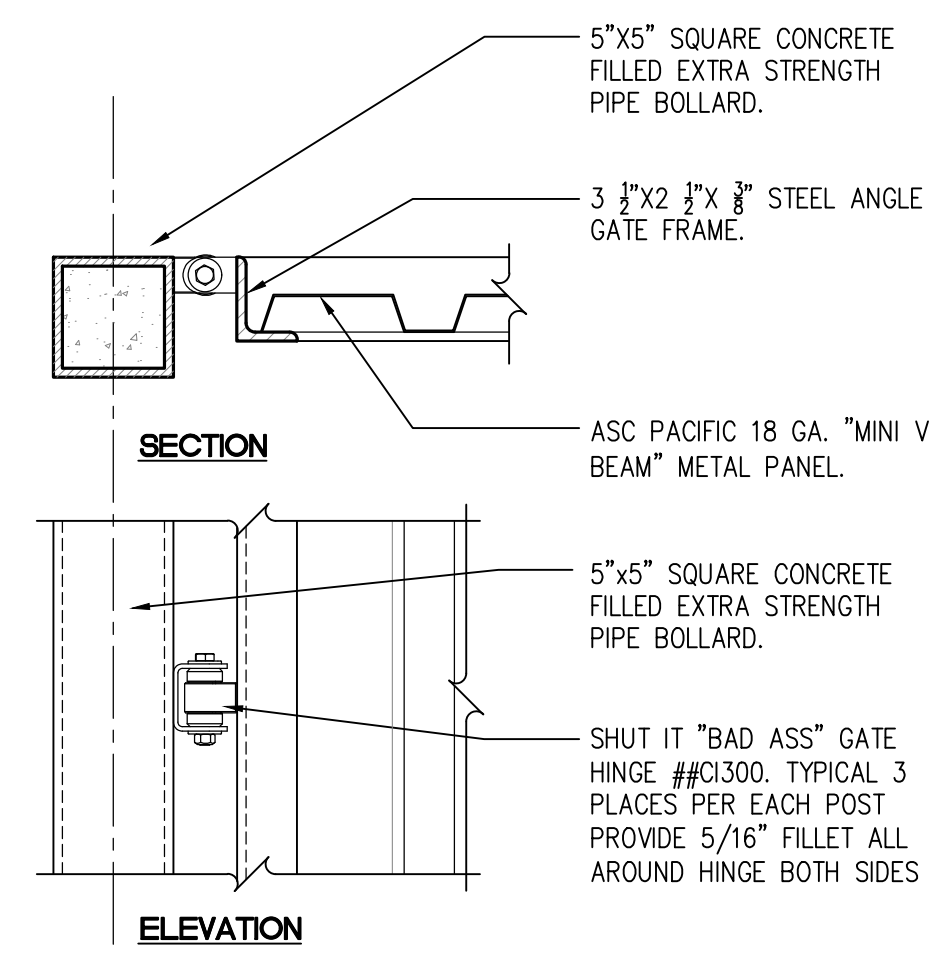
SITE ELEMENTS

DATE: 09/14/2023
TAIT JOB #: 000076

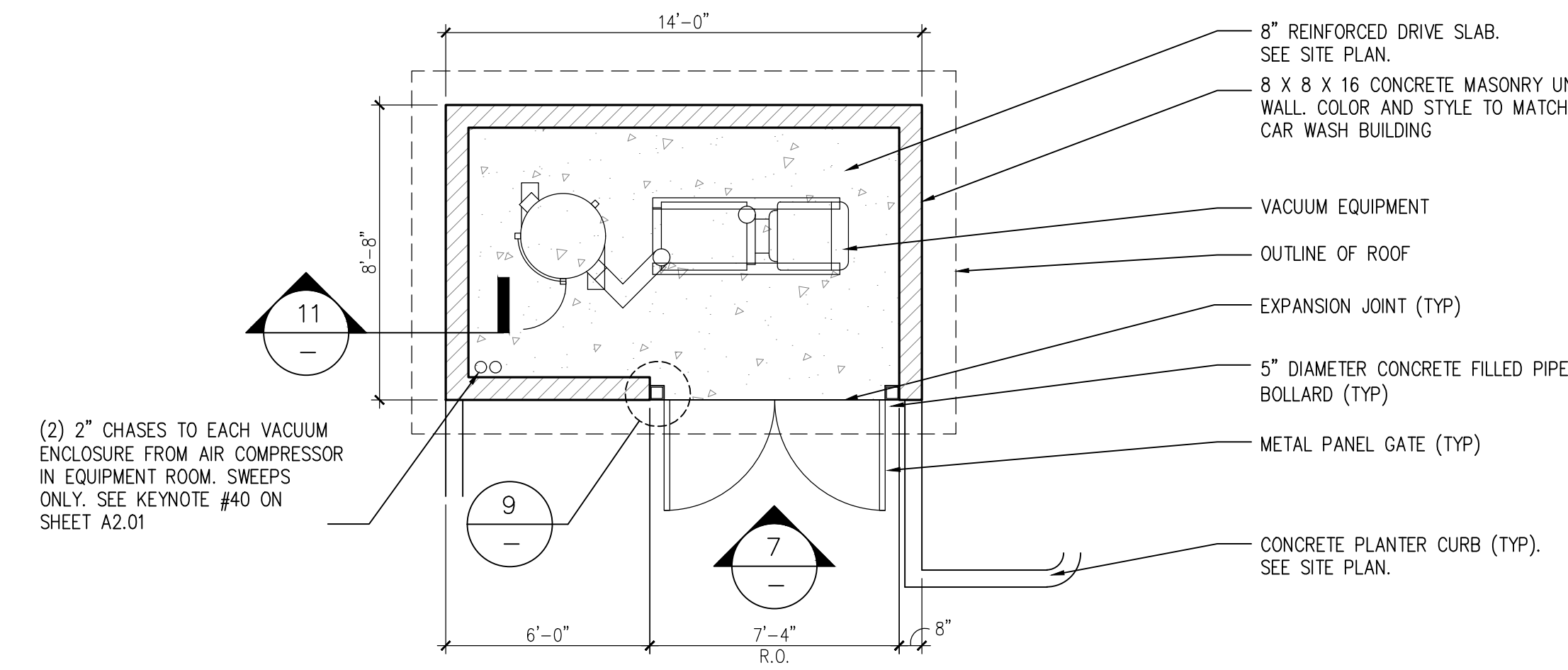
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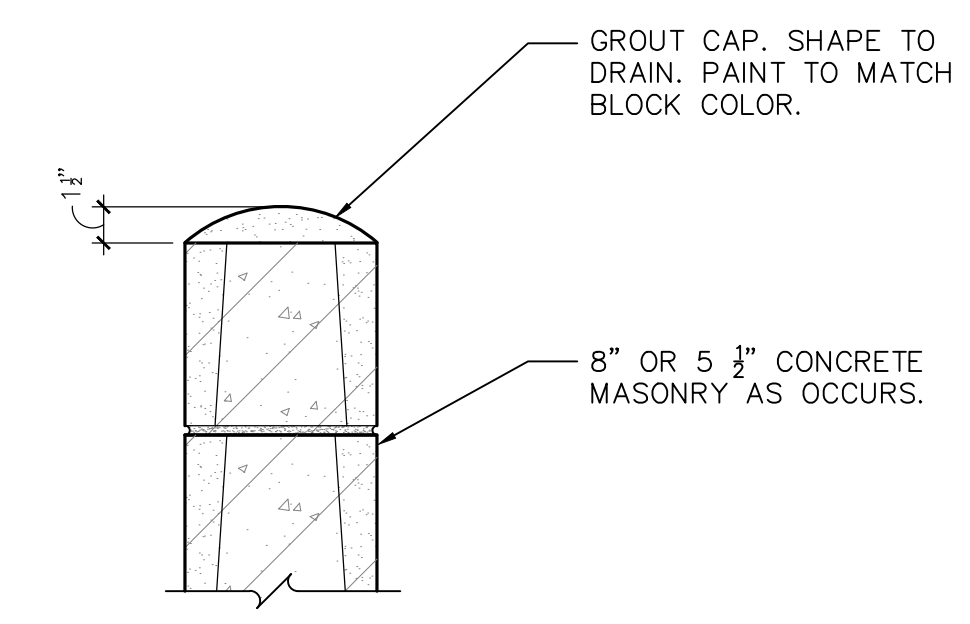
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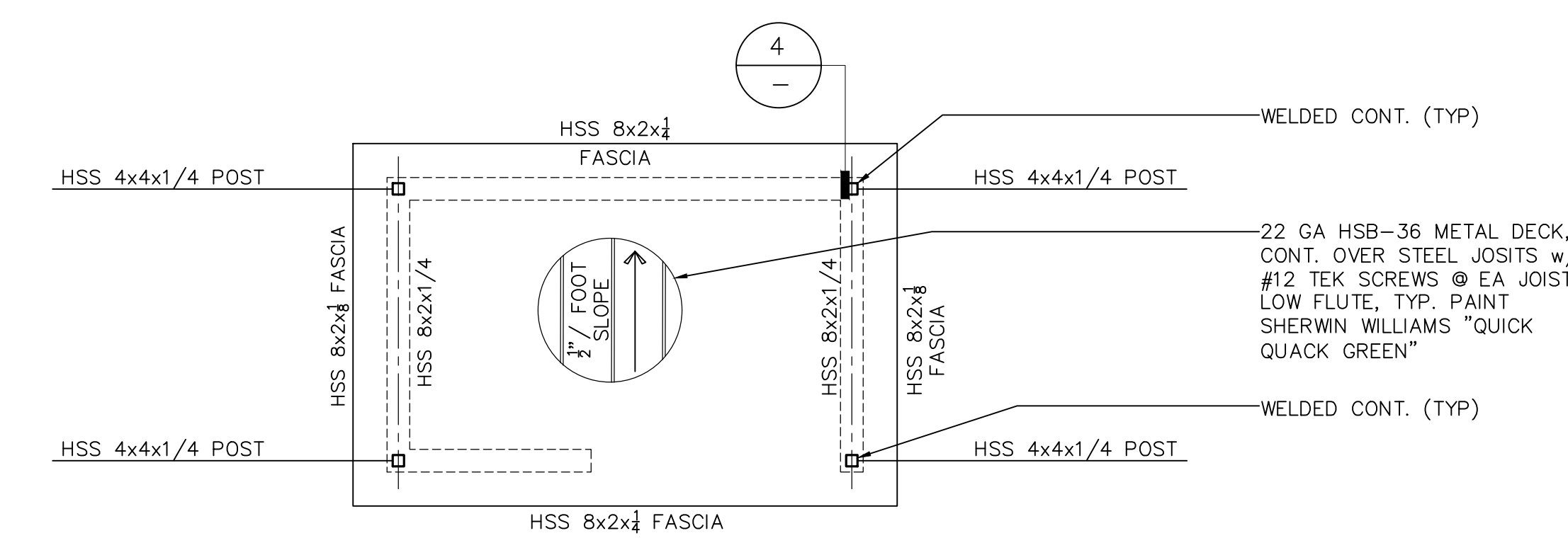
9 SCALE: 1 1/2"=1'-0"
FILE: A106-09 GATE HINGE
TRASH ENCLOSURE GATE HINGE



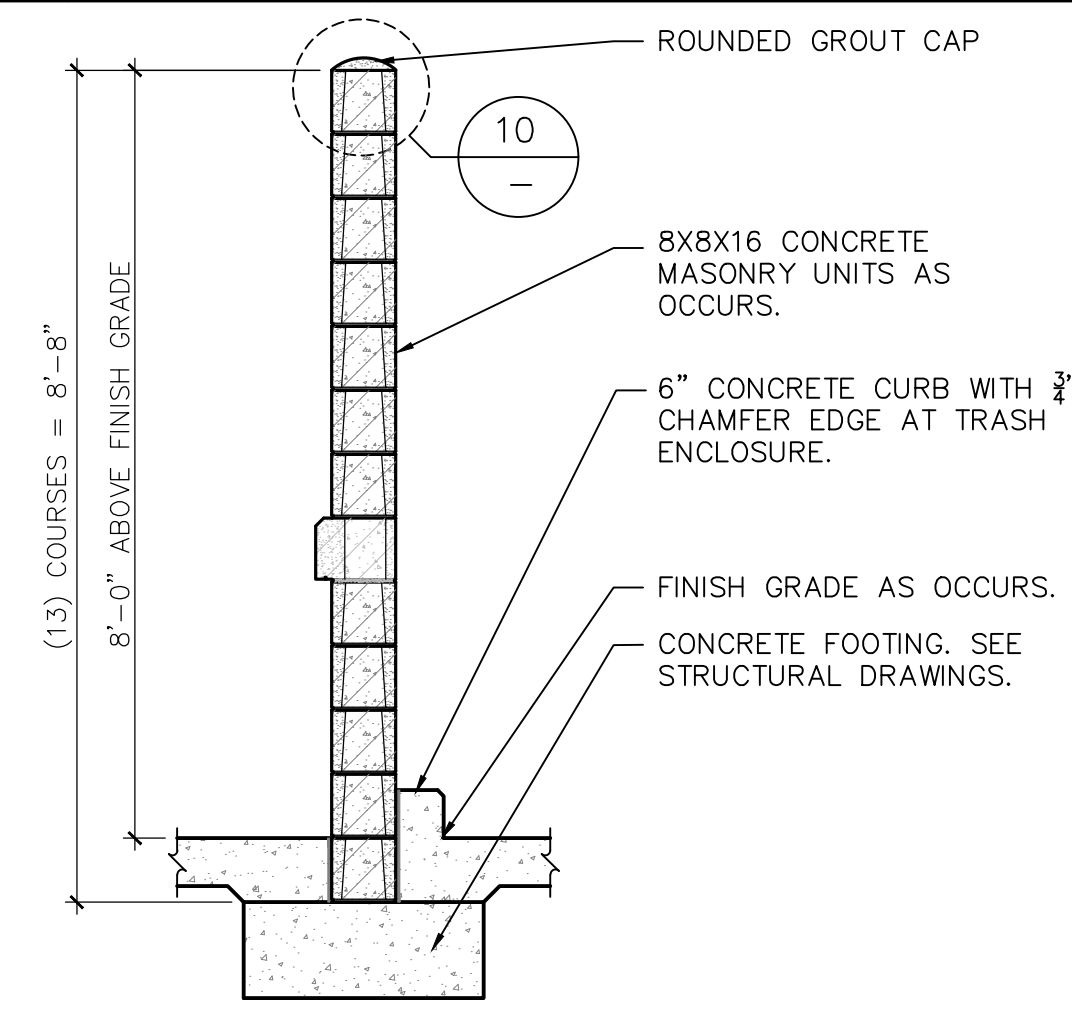
5 SCALE: 1/4"=1'-0"
FILE: A106-05 VACUUM ENCL. PLAN
VACUUM ENCLOSURE PLAN



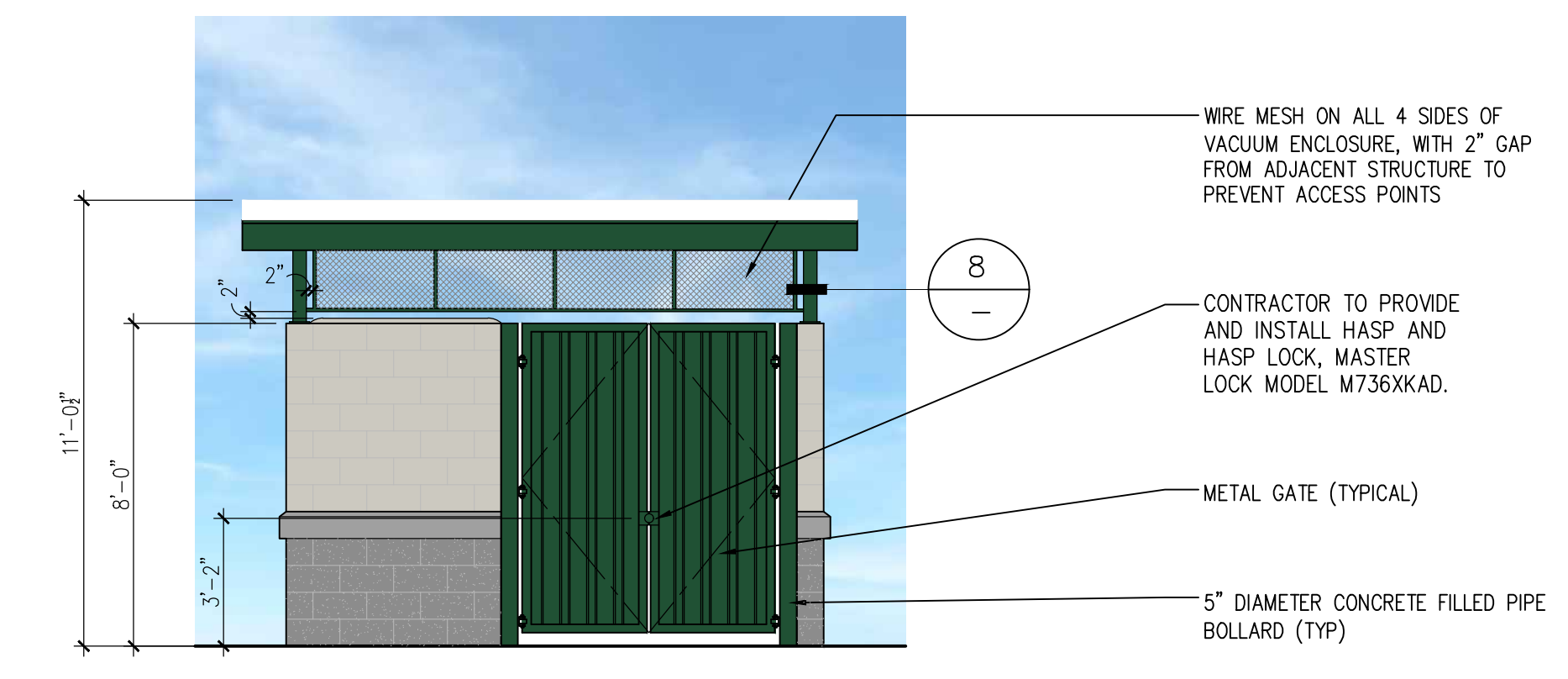
10 SCALE: 1 1/2"=1'-0"
FILE: A106-10 WALL CAP
WALL CAP DETAIL



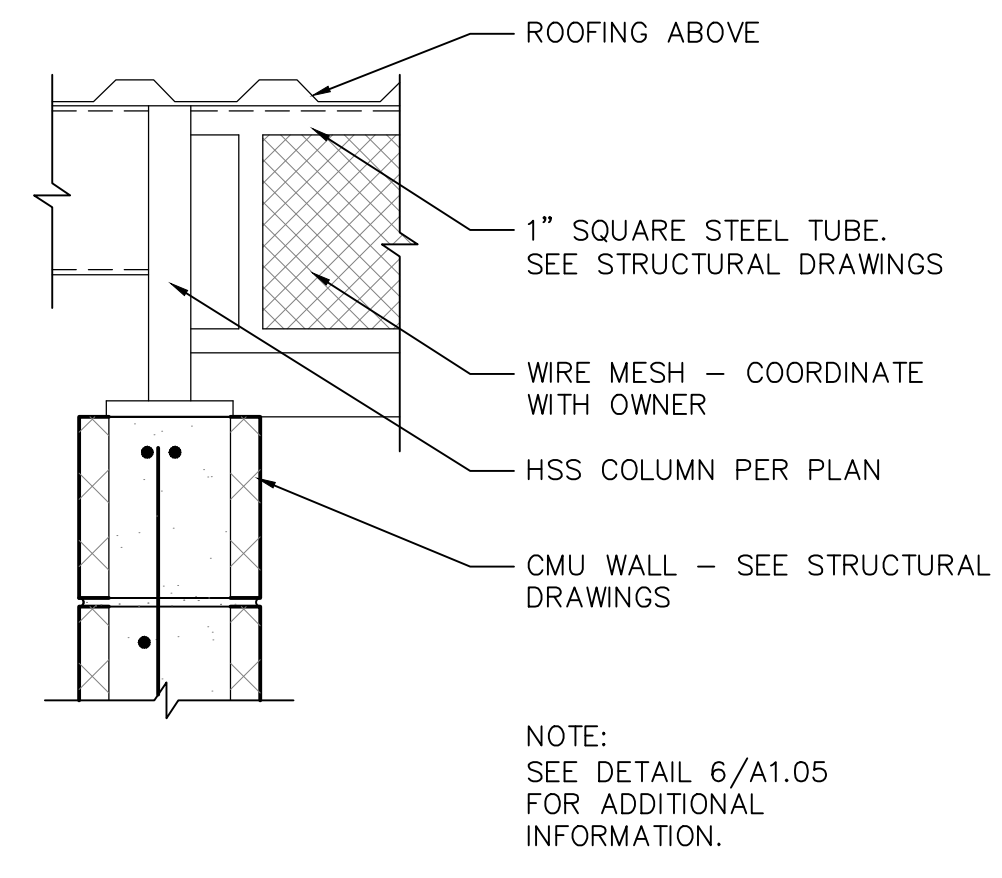
6 SCALE: 1/4"=1'-0"
FILE: A106-06 VACUUM ENCL. ROOF PLAN
VACUUM ENCLOSURE ROOF PLAN



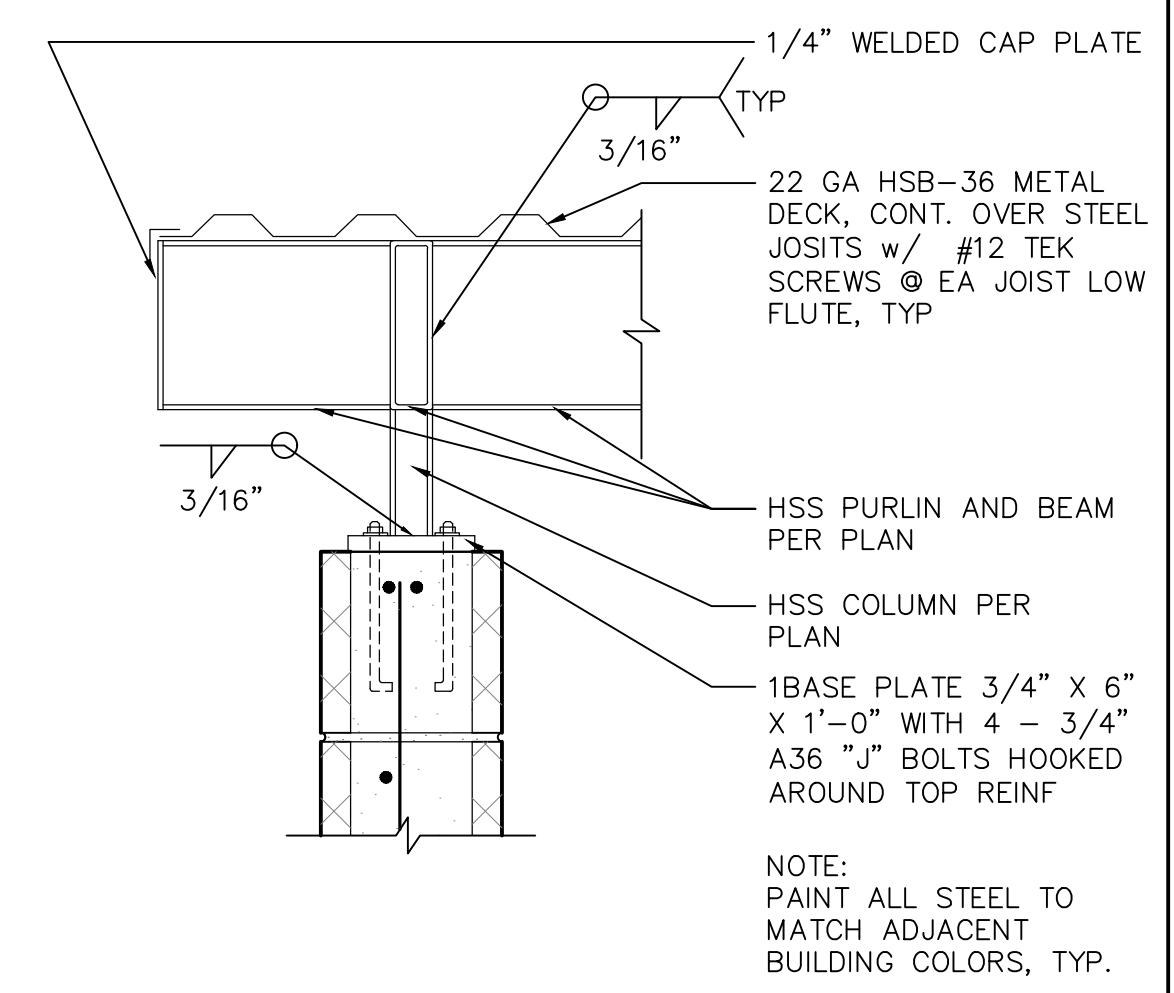
11 SCALE: 1/2"=1'-0"
FILE: A106-11 WALL SECTION
WALL SECTION



7 SCALE: 1/4"=1'-0"
FILE: A106-07 VACUUM ENCL. FRONT ELEV.
VACUUM ENCLOSURE FRONT ELEVATION



8 SCALE: 1 1/2"=1'-0"
FILE: A106-08 ROOF MESH
ROOF MESH DETAIL



4 SCALE: 1 1/2"=1'-0"
FILE: A106-04 ROOF SLEEVE HINGE
ROOF SLEEVE HINGE DETAIL



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SITE ELEMENTS

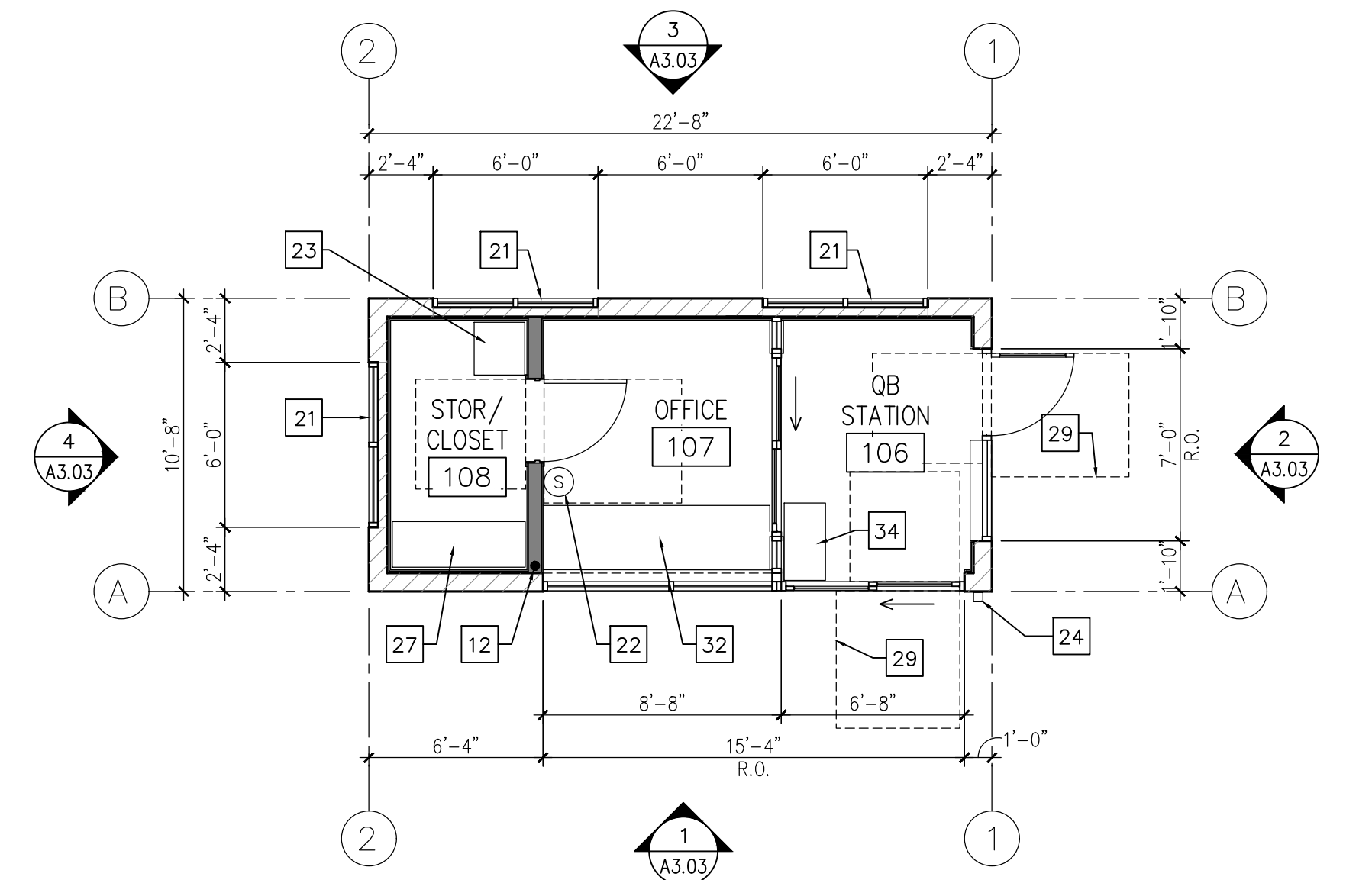
DATE: 09/14/2023
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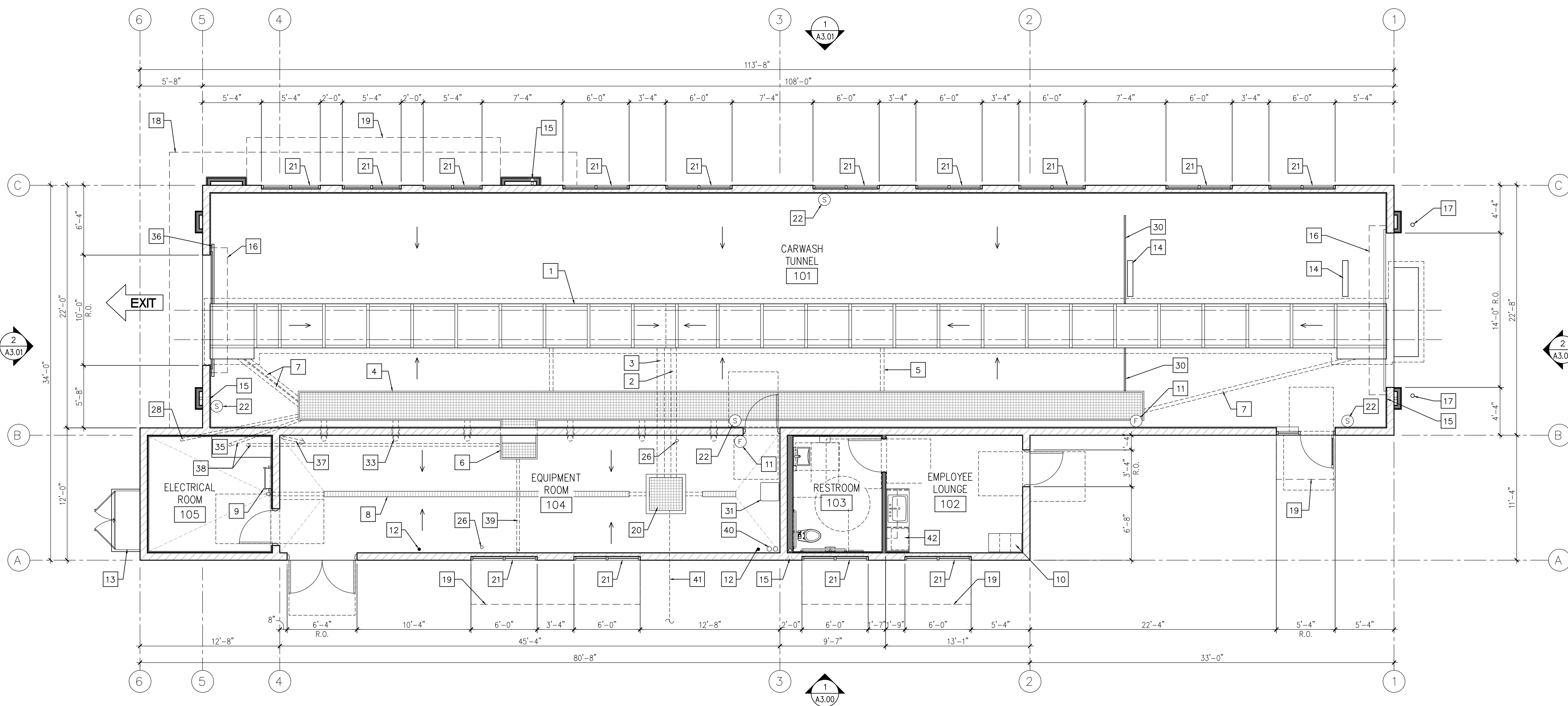
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KEYNOTES

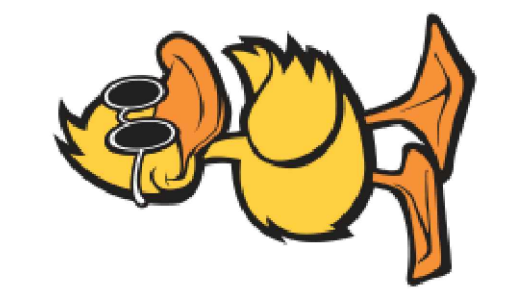
- 1 CONVEYOR TRENCH. SLOPE AT 1/4" PER FOOT TO DRAIN.
- 2 8" CONVEYOR TRENCH DRAIN PIPE.
- 3 6" CONVEYOR TRENCH OVERFLOW.
- 4 UTILITY TRENCH. SLOPE BOTTOM TO DRAIN.
- 5 4" FLOOR DRAIN FROM UTILITY TRENCH TO THE CONVEYOR TRENCH (TYPICAL 2 PLACES).
- 6 3'-4" WIDE X 2'-2" DEEP OPEN FOR ACCESS TO UTILITY TRENCH. CONTRACTOR TO PROVIDE COVER - MATCH UTILITY TRENCH.
- 7 4" PIPE CHASE FROM UTILITY TRENCH TO CONVEYOR TRENCH (TYPICAL 6 PLACES).
- 8 TRENCH DRAIN. PROVIDE 2 AT THE EXIT - EXTEND PAST WALL 1'-0" BEYOND OPENING.
- 9 ROOF ACCESS LADDER.
- 10 EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE). CONTRACTOR SUPPLIED AND INSTALLED.
- 11 WALL MOUNTED ENCLOSED FIRE EXTINGUISHER. - 2A-10BC (TYPICAL 2 PLACES).
- 12 ROOF DRAIN LEADER (TYPICAL 3 PLACES).
- 13 ELECTRICAL SERVICE SWITCHGEAR.
- 14 TIRE SENSOR RECESS (TYP. 2 PLACES) - 1/2" DEEP SAW CUT, GC TO VERIFY IN FIELD W/ INSTALL TEAM.
- 15 HOSE BIB IN RECESS BOX. PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS (TYPICAL 4 PLACES).
- 16 COILING ROLL-UP DOOR ABOVE (TYPICAL 2 PLACES).
- 17 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE. (TYPICAL 2 PLACES).
- 18 LINE OF ROOF ABOVE.
- 19 WALL MOUNTED CANOPY ABOVE. (TYPICAL 4 PLACES).
- 20 3'-0" X 3'-0" RECLAIM CLEAN-OUT.
- 21 FAUX WINDOW. SEE EXTERIOR ELEVATIONS.
- 22 EMERGENCY STOP BUTTONS. LOCATE PER QUICK QUACK REPRESENTATIVE (TYPICAL 4 PLACES).
- 23 WALL MOUNTED IT CABINET.
- 24 KNOX BOX. CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION.
- 25 NOT USED
- 26 4" DRAIN PIPE STUBBED UP 12" AFF. (TYPICAL 2 PLACES).
- 27 CONTRACTOR FURNISHED AND INSTALLED 20" X 54" X 84" TALL STORAGE CABINET WITH ADJUSTABLE SHELVING AND WHITE MELAMINE FINISH ON THE INSIDE AND GRAY OUTSIDE.
- 28 3" CHASE (NEXT TO CONTROL PANEL TO UTILITY TRENCH).
- 29 LEVEL LANDING PER ICC SECTION 404.2.3 AND TABLE 404.2.3.2, (TYP) - 24" MIN STRIKE EDGE CLEARANCE FOR THE EXTERIOR DOOR LANDING.
- 30 3/4" X 1 1/2" WIDE RECESS IN SLAB FOR DRAINAGE (TYPICAL 2 PLACES).
- 31 CONTRACTOR SUPPLIED AND INSTALLED EYE WASH STATION.
- 32 34" MAXIMUM A.F.F. COUNTER TOP.
- 33 6" SWEEPS FROM UTILITY TRENCH TO EQUIPMENT ROOM. VERIFY WITH OWNER FOR EXACT LOCATIONS (TYPICAL 6 PLACES).
- 34 CONTRACTOR FURNISHED AND INSTALLED 18" X 36" X 40" TALL POS CABINET.
- 35 2'-0" X 5'-6" X 4" TALL CONCRETE "HOUSE CLEANING PAD" FOR MCC PANEL.
- 36 3/4" X 2 1/2" WIDE RECESS IN SLAB FOR DRAINAGE. EXTEND PAST EXIT OPENING 1'-0" MINIMUM (TYPICAL 2 PLACES).
- 37 1" PVC CHASE TO BUG JUICE CONTROL PANEL. SWEEPS ONLY. NO 90 DEGREES.
- 38 2 - 3" CHASE AT CENTER OF MCC PANEL "HOUSE KEEPING PAD". RUN ONE CHASE TO EQUIPMENT TRENCH AND ONE NEXT TO ACCESS OPENING.
- 39 3" CHASE FROM ACCESS OPENING TO FACE OF WALL.
- 40 NEED CHASES TO EACH VACUUM ENCLOSURES. SWEEPS ONLY. GC TO INSTALL AND PULL 3/4" PEX LINE FROM EQUIPMENT ROOM TO ENCLOSURES WOUND UP TO 10' COIL ON EACH END.
- 41 GC TO OBTAIN CUT SHEETS FROM TANK MANUFACTURER FOR INSTALLATION COORDINATION PRIOR TO TANK GRADING.
- 42 EMPLOYEE LOUNGE UNDER-COUNTER, BOTTLED WATER FRIDGE.



2 QUARTERBACK STATION FLOOR PLAN
SCALE: 3/16" = 1'-0"



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"



**Quick Quack
CAR WASH**

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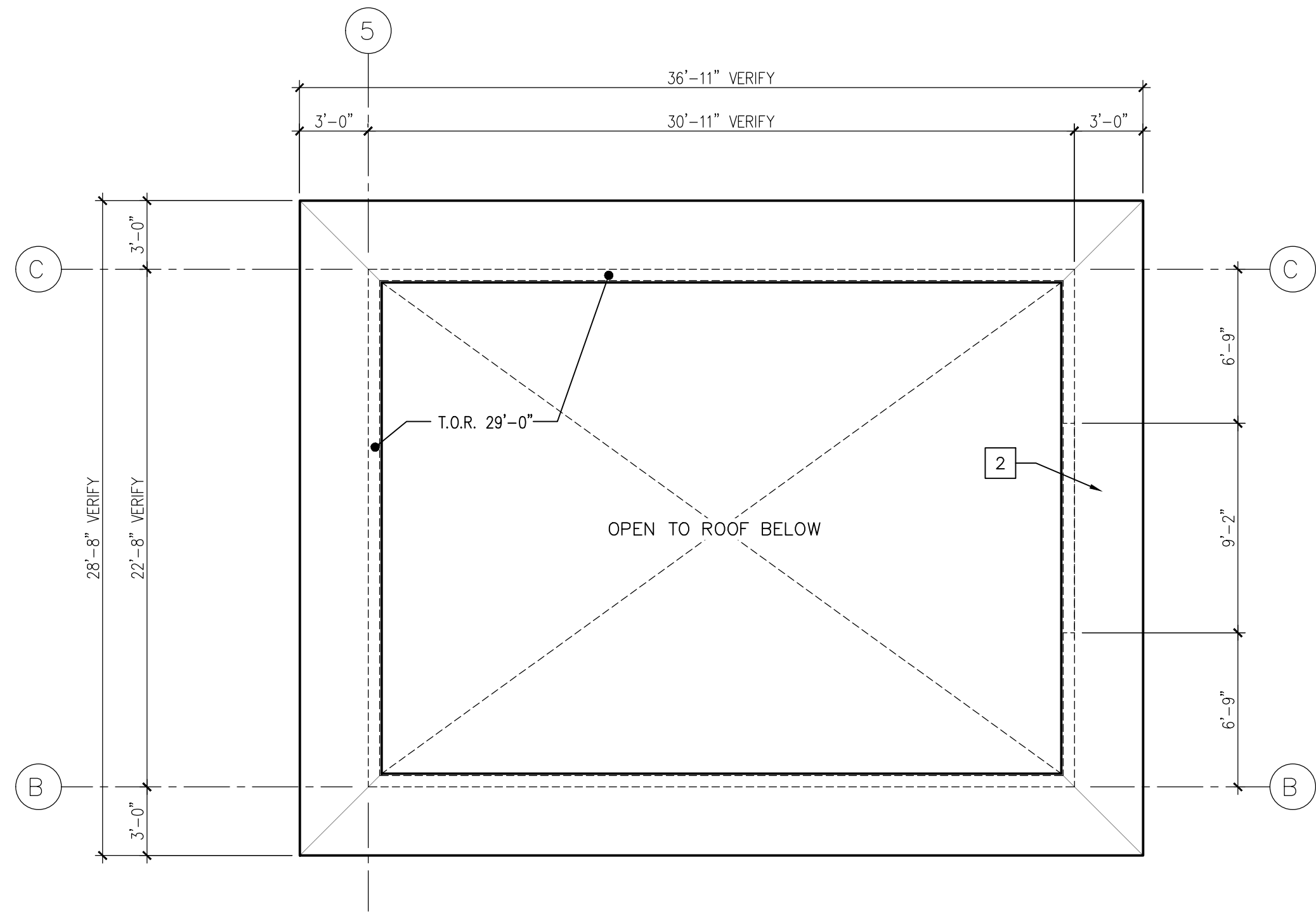
FLOOR PLAN

DATE: **09/14/2023**
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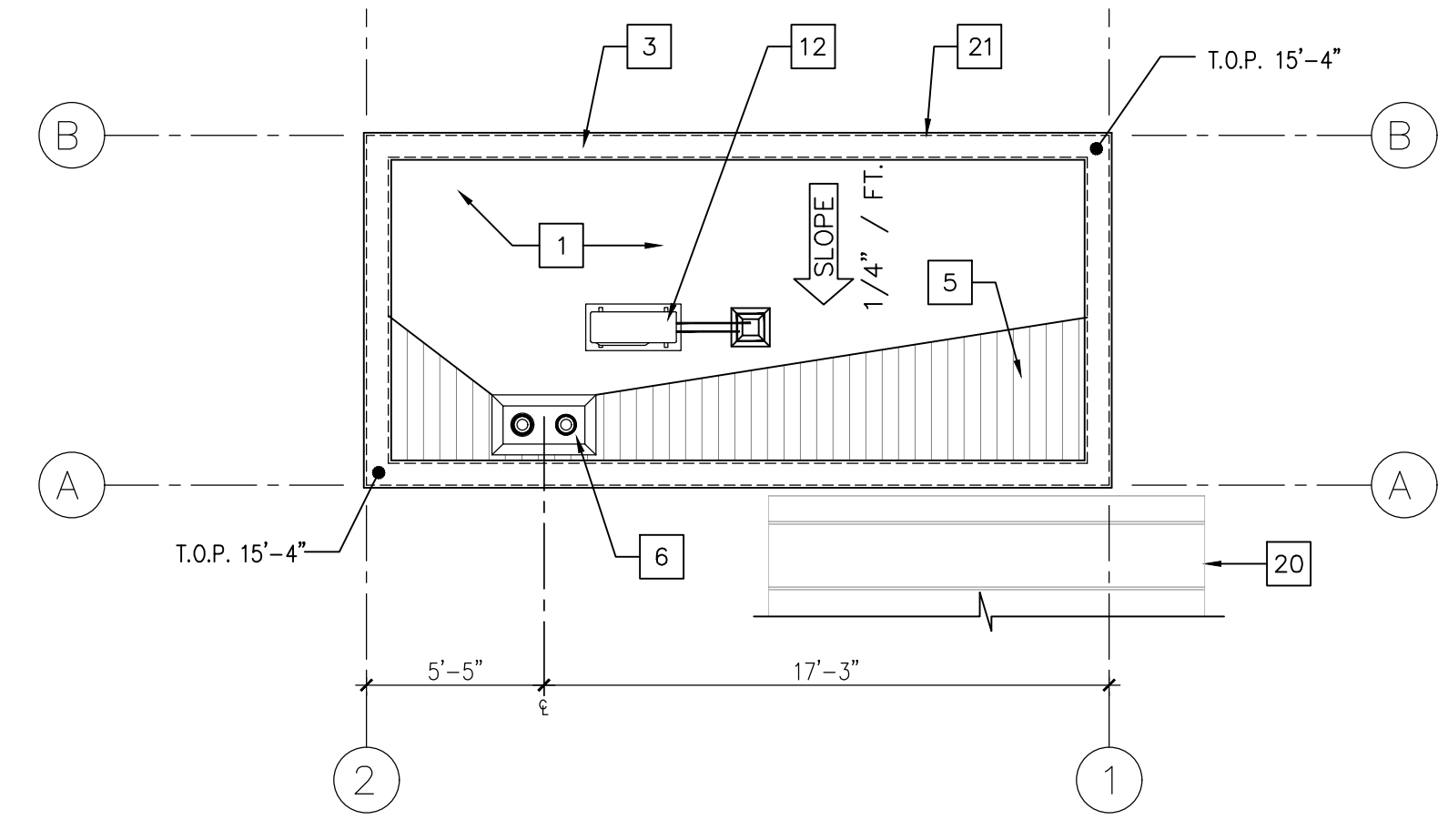
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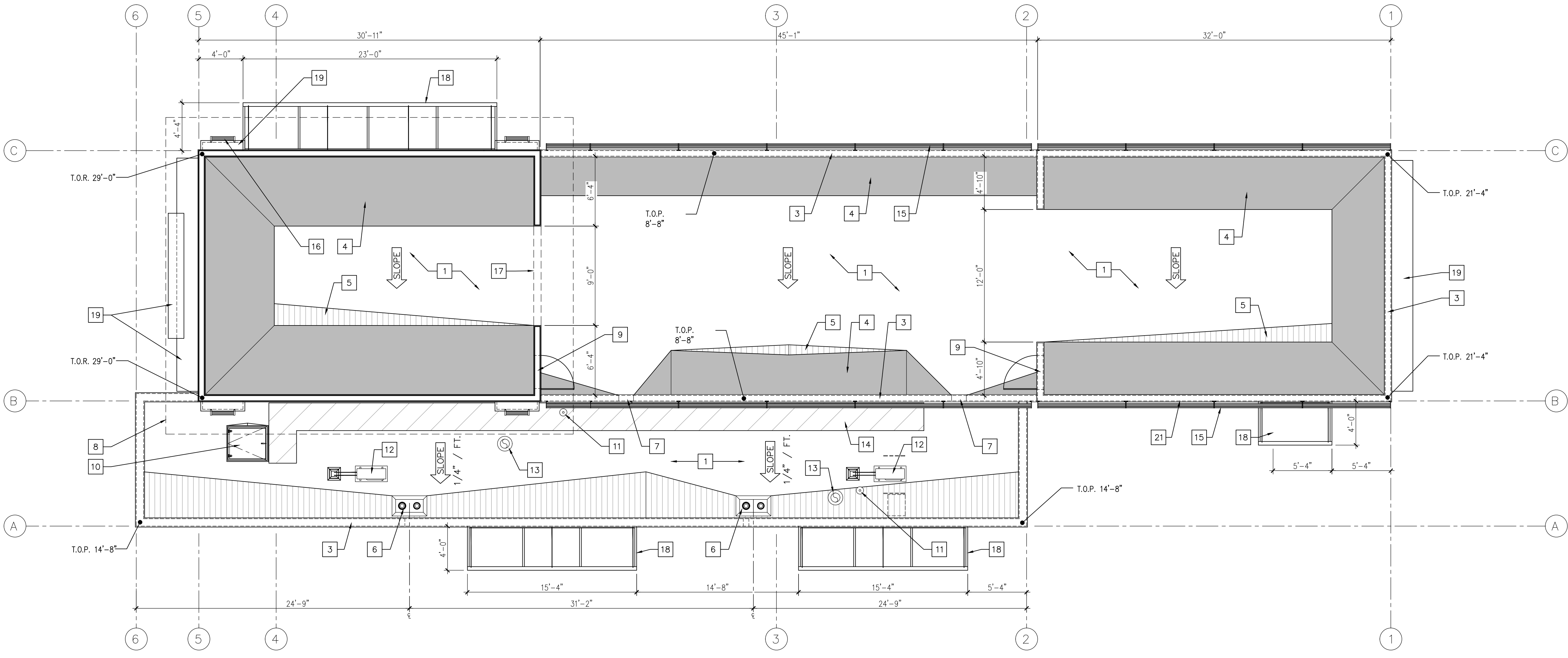
3 TOWER ROOF PLAN
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 TPO MEMBRANE ROOFING.
- 2 METAL ROOFING.
- 3 PRE-FINISHED METAL COPING AT TOP OF PARAPET WALL.
- 4 ROOF CRICKET, 3/8" ROOF SHEATHING OVER METAL STUD DIAGONAL BRACING SLOPE AT ONE TO ONE.
- 5 TAPERED RIGID INSULATION CRICKET WITH 1/2" ISOLATION BOARD (TYP).
- 6 ROOF DRAIN AND OVERFLOW IN RECESS (TYPICAL 3 PLACES).
- 7 THROUGH WALL OVERFLOW SCUPPER. SPILL TO ROOF BELOW.
- 8 OUTLINE OF UPPER ROOF AT ENTRY TOWER. SEE UPPER ROOF PLAN.
- 9 3'-0" SQUARE ACCESS PANEL (TYPICAL 2 PLACES).
- 10 ROOF ACCESS HATCH.
- 11 EXHAUST FAN UNIT (TYPICAL 2 PLACES).
- 12 MECHANICAL UNIT TO BE CONCEALED FROM VIEW BY PARAPET.
- 13 PLUMBING VENT (TYPICAL 2 PLACES).
- 14 ROOF WALK PATH OVERLAY.
- 15 LINEAR DOWN LIGHTING.
- 16 PILASTER DOWN LIGHTING.
- 17 OPENING IN WALL BETWEEN CRICKETS.
- 18 WALL MOUNTED METAL CANOPY BELOW (TYP).
- 19 CEMENT PLASTER FINISH AT TOP OF FURRED WALL FEATURE (TYP).
- 20 FREE STANDING METAL PAY STATION CANOPY BELOW.
- 21 WALL BELOW SHOWN DASHED.



2 QUARTERBACK STATION ROOF PLAN
SCALE: 3/16" = 1'-0"



1 ROOF PLAN
SCALE: 3/16" = 1'-0"



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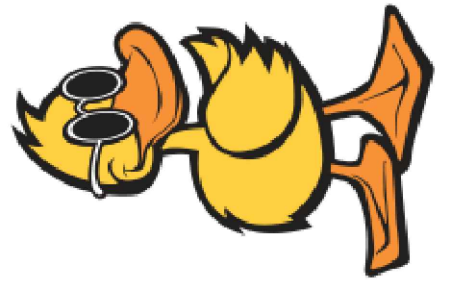
ROOF PLAN

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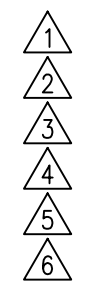
A2.02



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #33-059
APN: 017-921-02
632 E. LAKE AVE
WATSONVILLE, CA 95076
SANTA CRUZ COUNTY

DATE DESCRIPTION



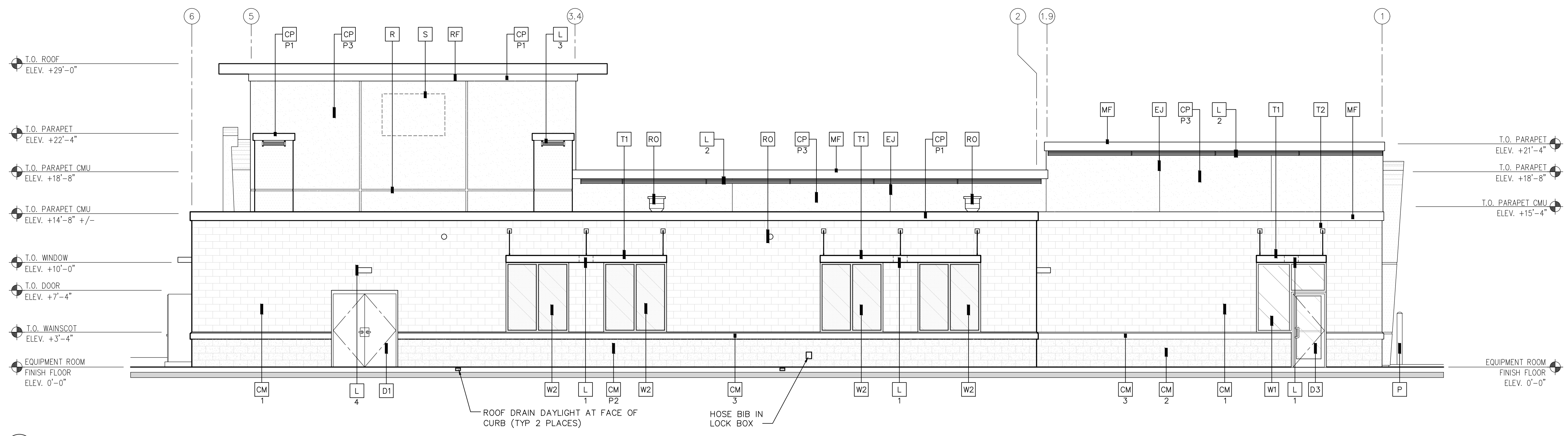
SOUTH AND WEST
EXTERIOR ELEVATIONS

DATE: 09/14/2023
TAIT JOB #: QC0076

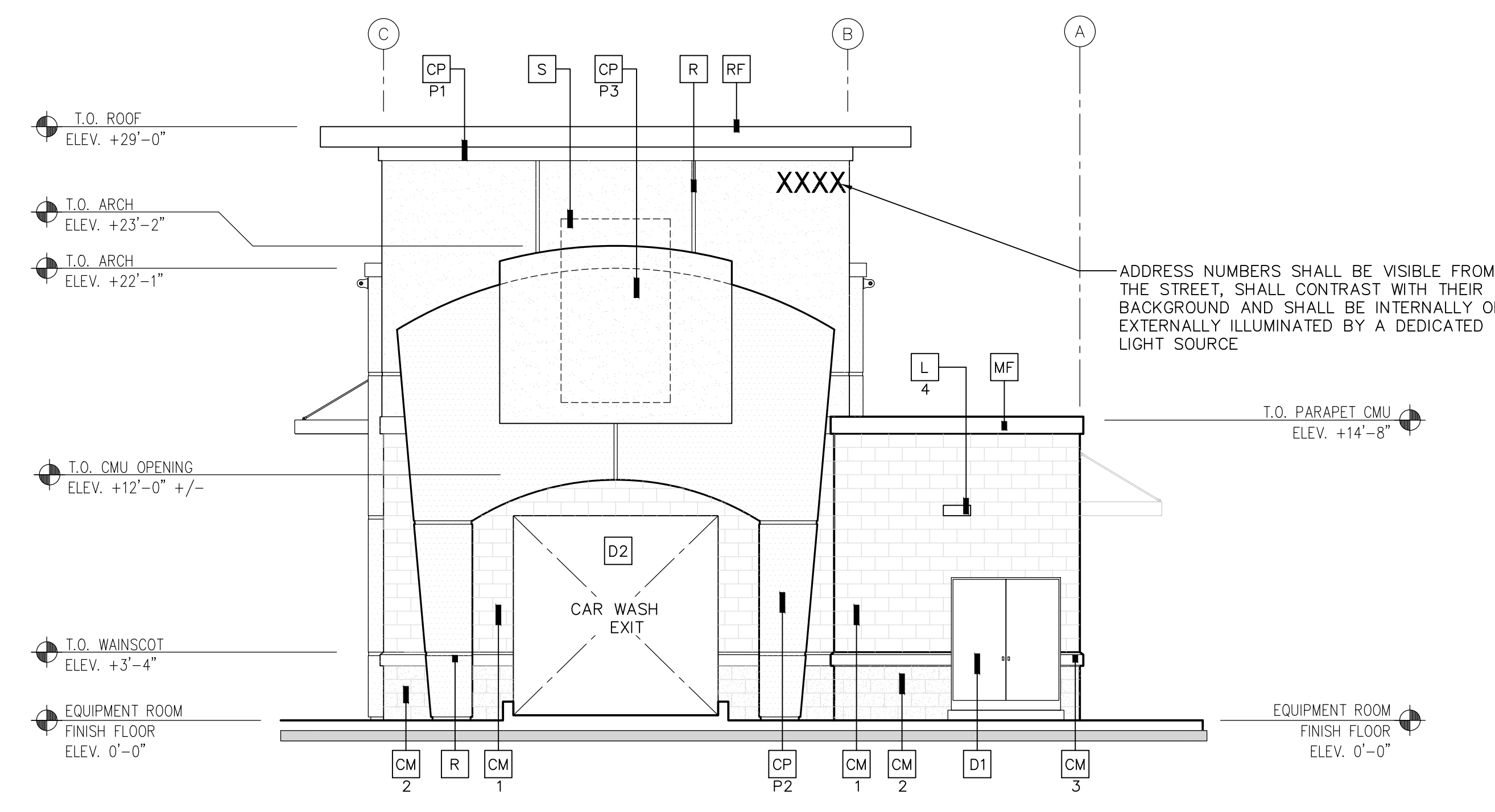
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PLANNING PACKAGE

A3.02



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES

- CM 1 BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY. WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
- CM 2 BASALITE SPLIT FACE CONCRETE MASONRY UNITS INTEGRAL COLOR STANDARD #790 DARK GRAY WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
- CM 3 HONED FACE CONCRETE MASONRY UNIT SILL INTEGRAL COLOR TO MATCH DARK GRAY WAINSCOT WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

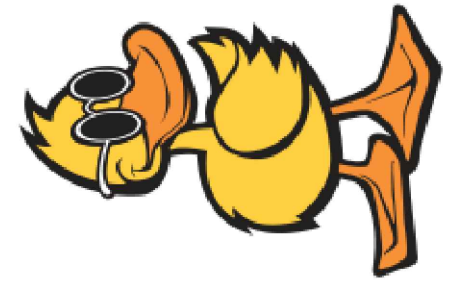
- CP ACRYLIC PLASTER COLOR COAT
- P COLOR DESIGNATION:
P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
P2 = MATCH SHERWIN WILLIAMS #6902 "DECISIVE YELLOW"
P3 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND"
- PLASTER COLOR COAT TO BE SAND FINISH
- D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"
- D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"
- D3 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR

- DS 8" X 16" THROUGH WALL SCUPPER, COLLECTOR AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
- EJ 1/4" DEEP REVEAL EXPANSION JOINT
- L LIGHT FIXTURE
- L TYPE:
L1 = LED RADIAL WALL SCONCE (DOWN ONLY)
L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)
- CONTACT STEVE FRIEDMAN 1.847.830.1444 WITH HERMITAGE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS)

- MF METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)
- P 4" PIPE BOLLARD FILLED WITH CONCRETE SEE DETAIL #8/A1.05
- R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
- RF METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)
- RO ROOF DRAIN THROUGH WALL AND OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT.
- S SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY.

- SS STANDING SEAM METAL ROOF FIRESTONE UC3 - "DARK IVY".
- T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
- T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
- V 32" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH; LOUVERS NOT REQUIRED WHEN EQUIPMENT RM. IS AIR CONDITIONED
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT
- W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

LOGIN: JACOB DAHL DATE: 9/14/2023 TIME: 10:00 AM PROJECT: 6020 West Oaks Blvd - Quick Quack Car Wash - Watsonville (31-059101-20) A3.02 Exterior Elevation - South and West Elevation.dwg
 PLOT STYLE: CMU - PINK BLACK.CTB PLOTTER: HP DesignJet 5000



Quick Quack
CAR WASH

6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #33-059
APN: 017-321-02
632 E. LAKE AVE
WATSONVILLE, CA 95076
SANTA CRUZ COUNTY

DATE DESCRIPTION

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- ▲
- ▲
- ▲
- ▲



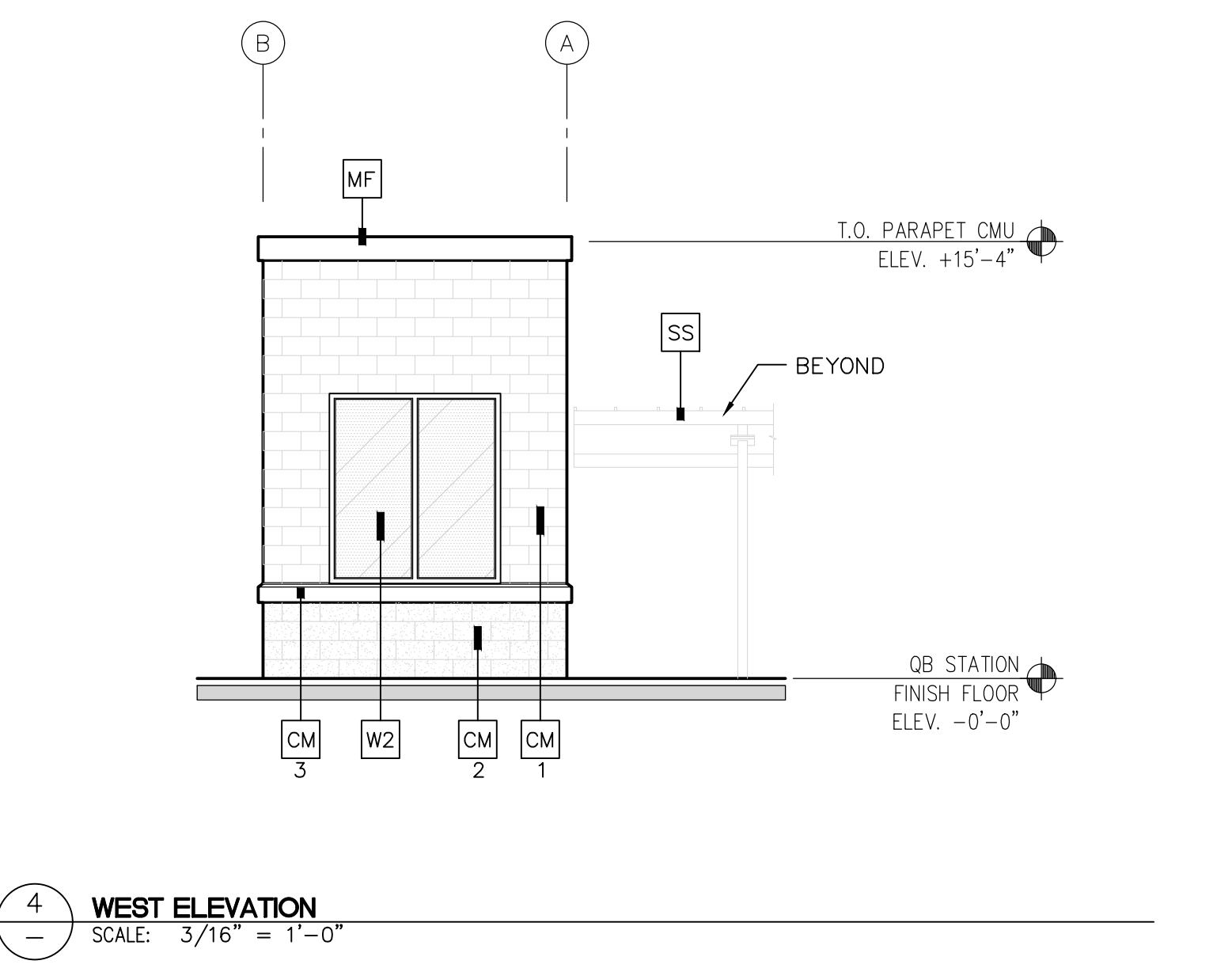
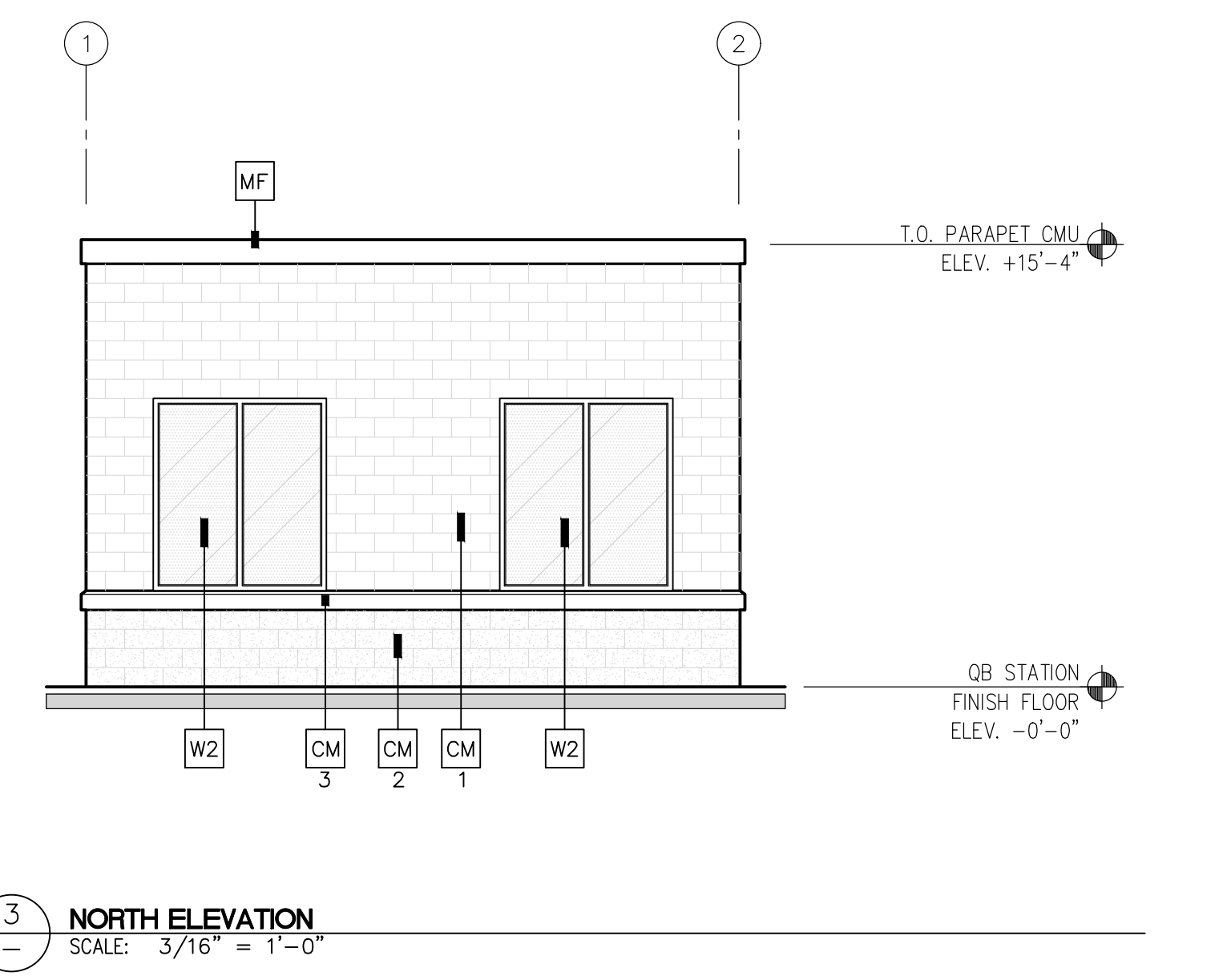
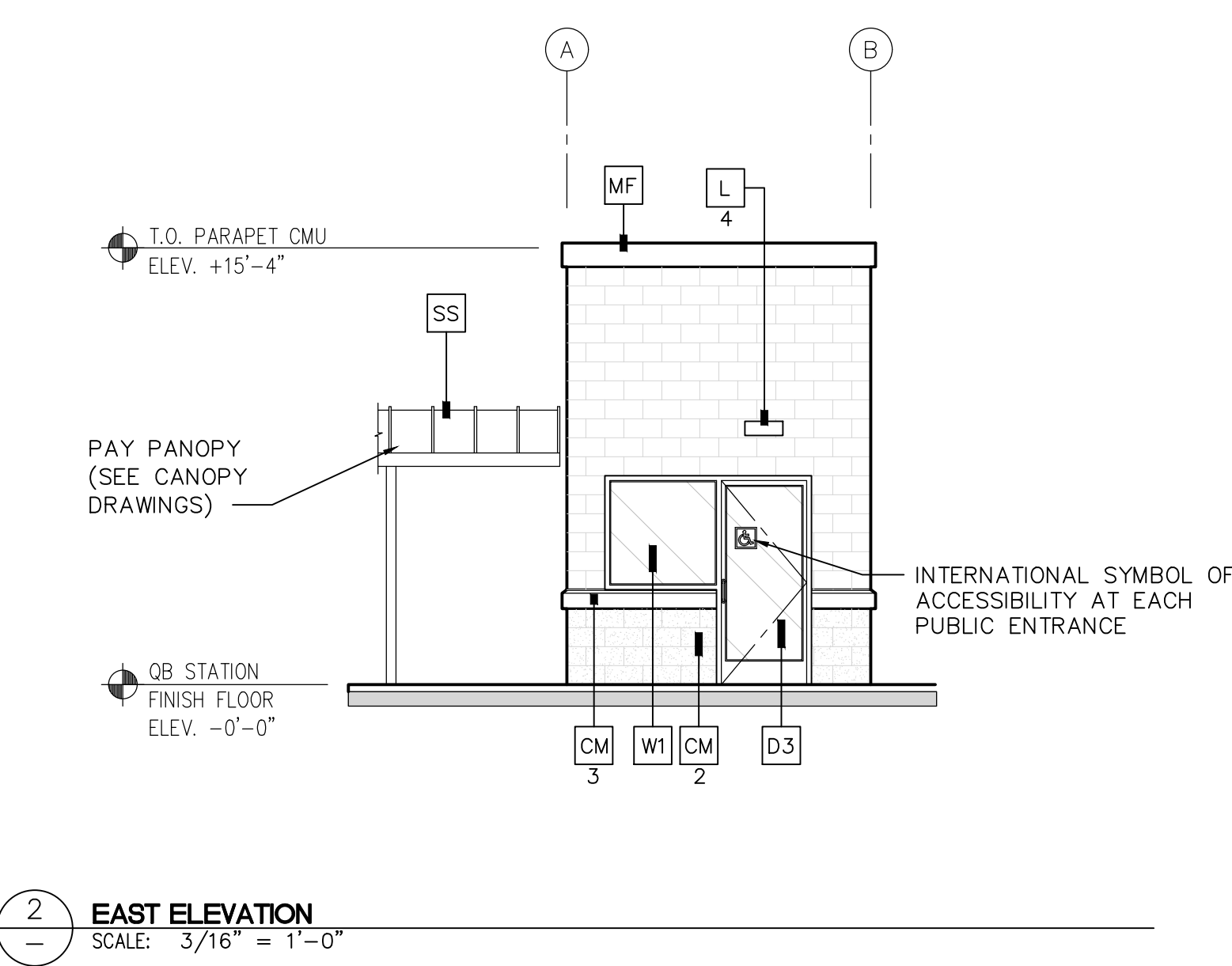
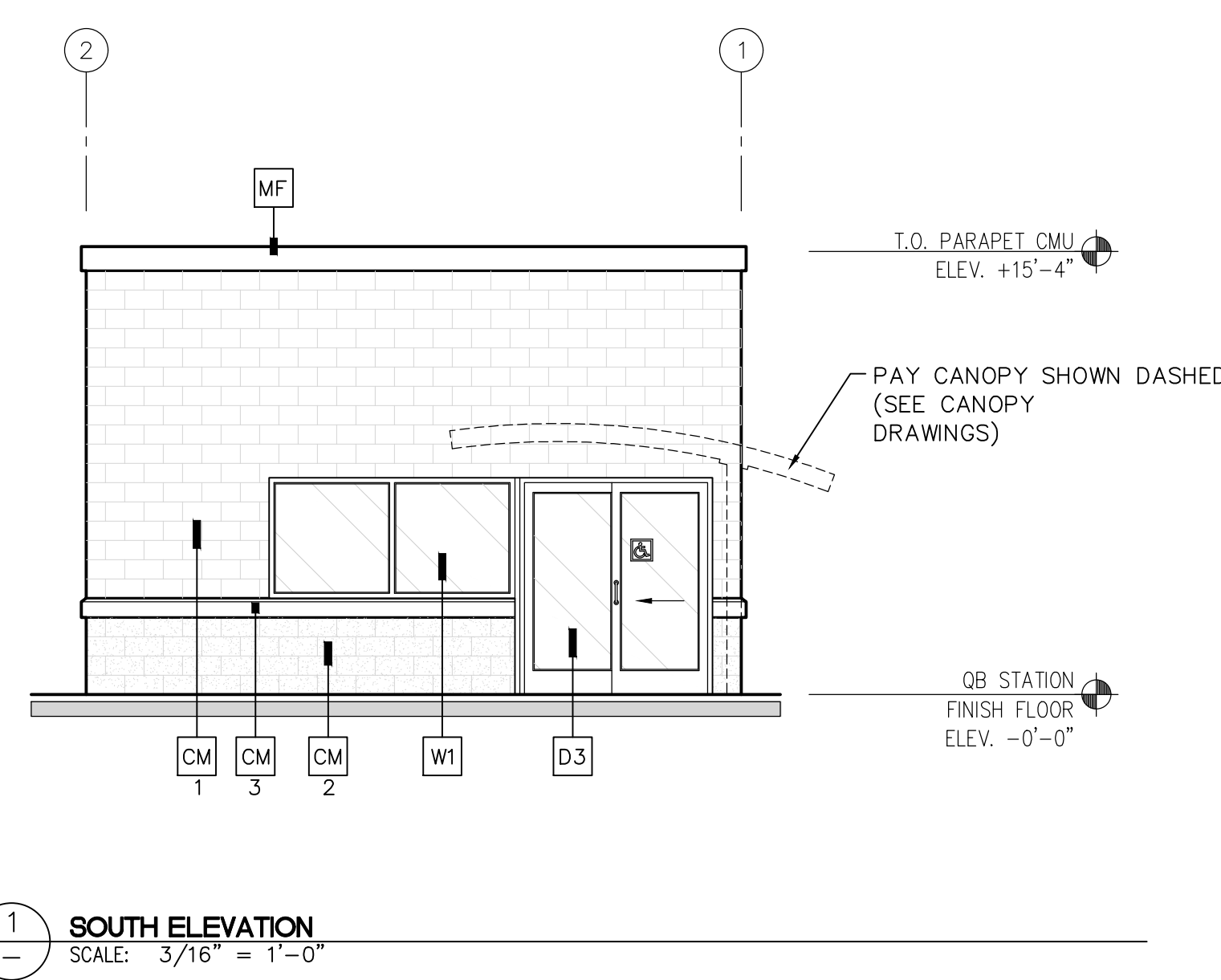
QUARTER BACK STATION
EXTERIOR ELEVATIONS

DATE: **09/14/2023**
TAIT JOB #: **000076**

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PLANNING PACKAGE

A3.03



KEY NOTES

- CM 1** BASALITE SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #225 LIGHT GRAY, WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
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- CP** ACRYLIC PLASTER COLOR COAT
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- EJ** 1/4" DEEP REVEAL EXPANSION JOINT
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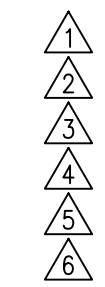
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6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
 STORE #33-059
 APN: 017-321-02
 632 E. LAKE AVE
 WATSONVILLE, CA 95076
 SANTA CRUZ COUNTY

DATE DESCRIPTION



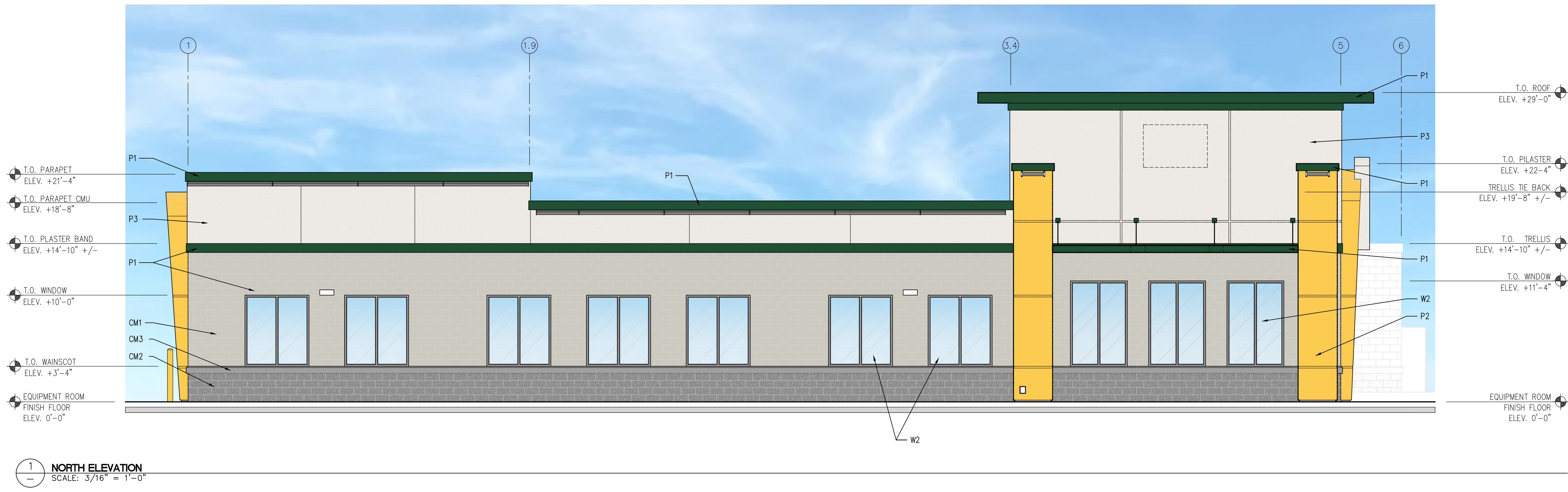
NORTH AND EAST
 EXTERIOR COLOR
 ELEVATIONS

DATE: 09/14/2023
 TAIT JOB #: 000076

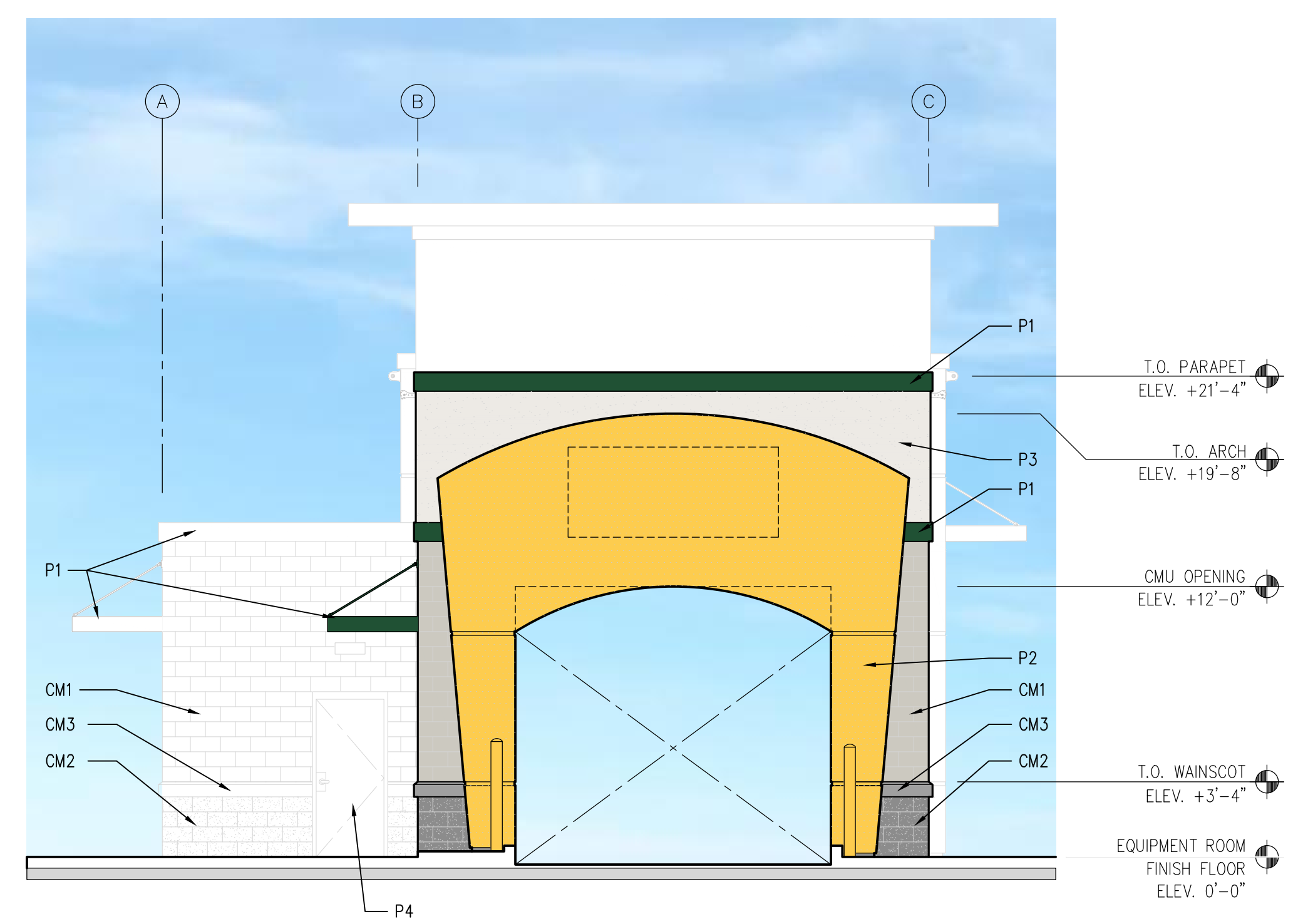
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PLANNING PACKAGE

A3.04



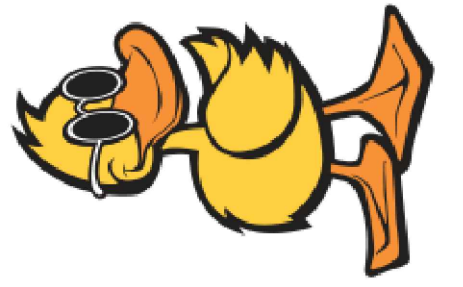
1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
 SCALE: 3/16" = 1'-0"

COLOR LEGEND

P1		FIRESTONE - DARK IVY QQ GREEN	CM1		BASALITE SMOOTH HONED FACE CMU #225 "LIGHT GRAY"
P2		DECISIVE YELLOW SW 6902	CM2		BASALITE SPLITFACE CMU #790 "DARK GRAY"
P3		SNOWBOUND SW 7004	CM3		PRECISION FACE CMU SILL "DARK GRAY"
P4		BACKDROP SW 7025	W1 & W2		CLEAR ANODIZED ALUMINUM STOREFRONT



6020 WEST OAKS BLVD., SUITE 300, ROCKLIN, CA 95765

QUICK QUACK
STORE #33-059
APN: 017-321-02
632 E. LAKE AVE
WATSONVILLE, CA 95076
SANTA CRUZ COUNTY

DATE DESCRIPTION



1801 Lampton Lane
Norco, CA 92860
P: 951.675.5300
www.tait.com

SOUTH AND WEST
EXTERIOR COLOR
ELEVATIONS

DATE: 09/14/2023
TAIT JOB #: QC0076

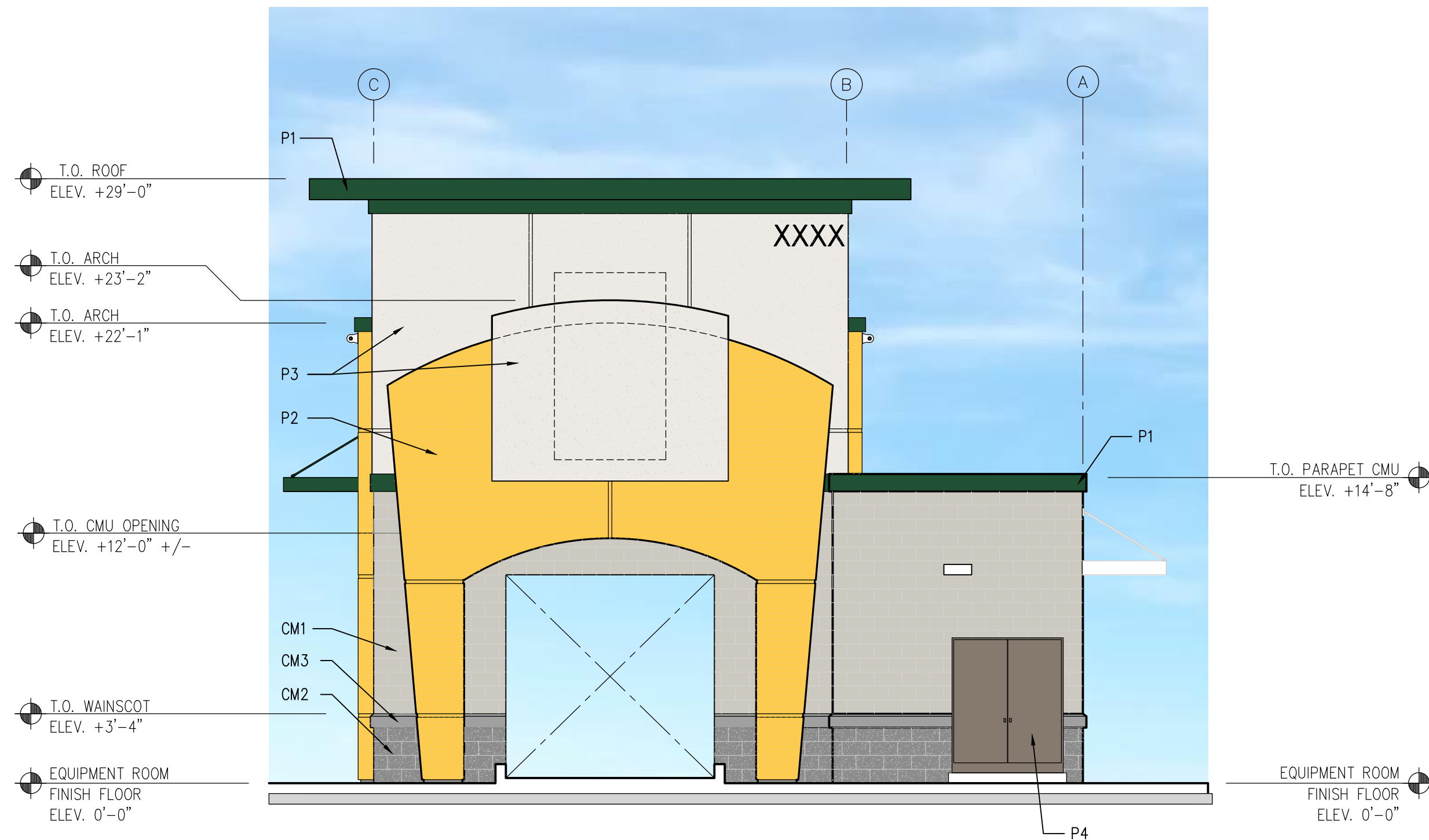
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PLANNING PACKAGE

A3.05



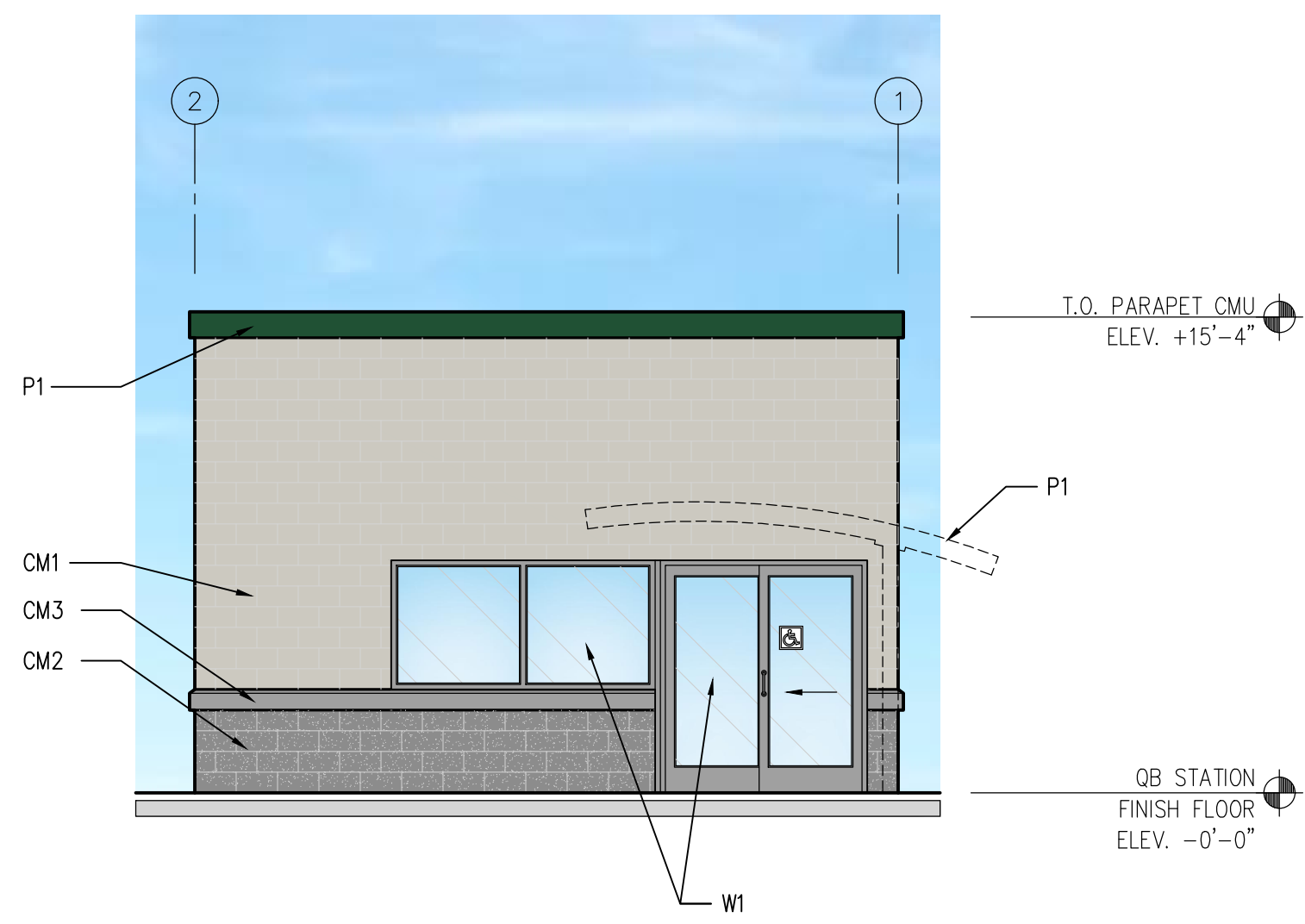
1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



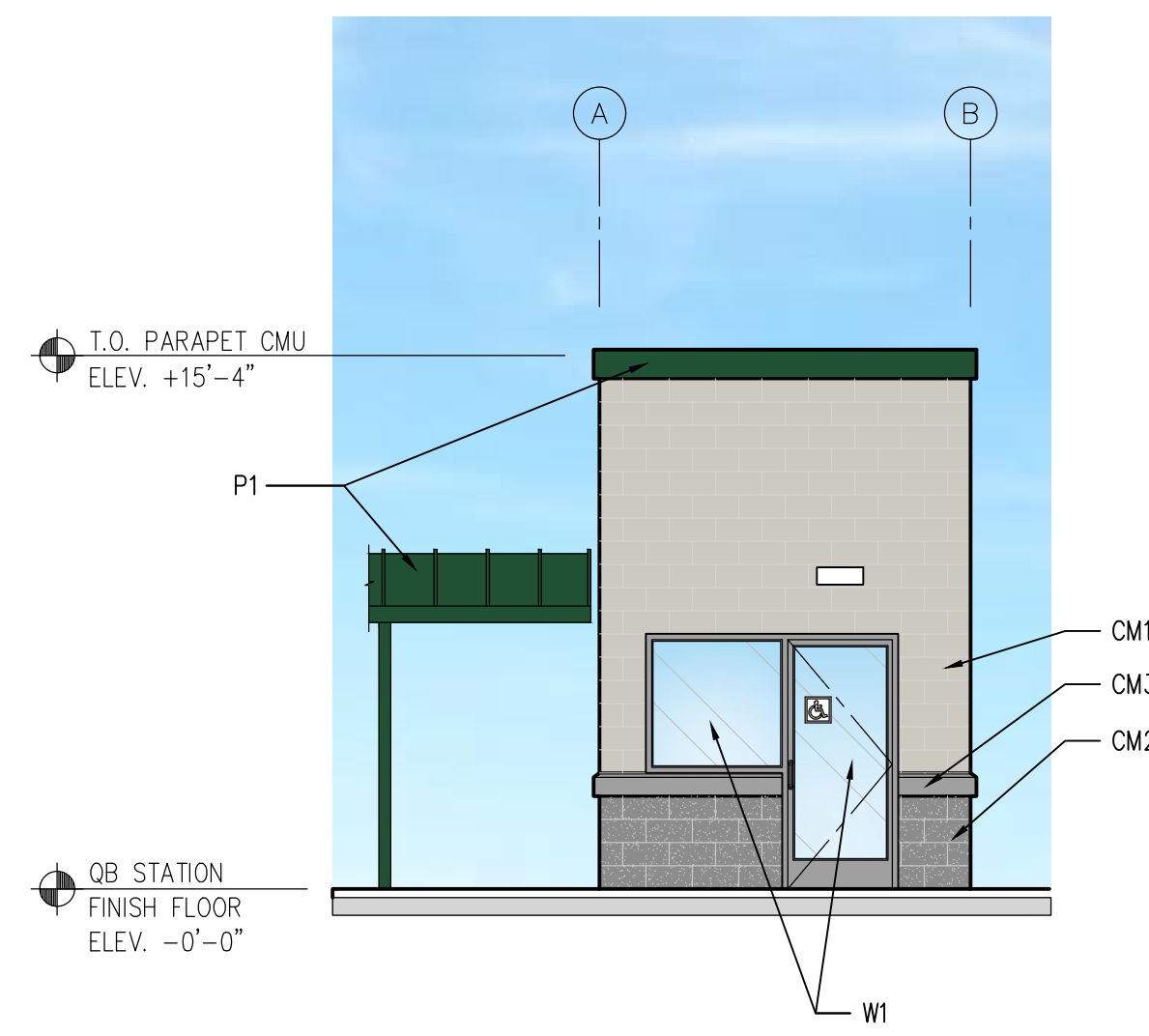
2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

COLOR LEGEND

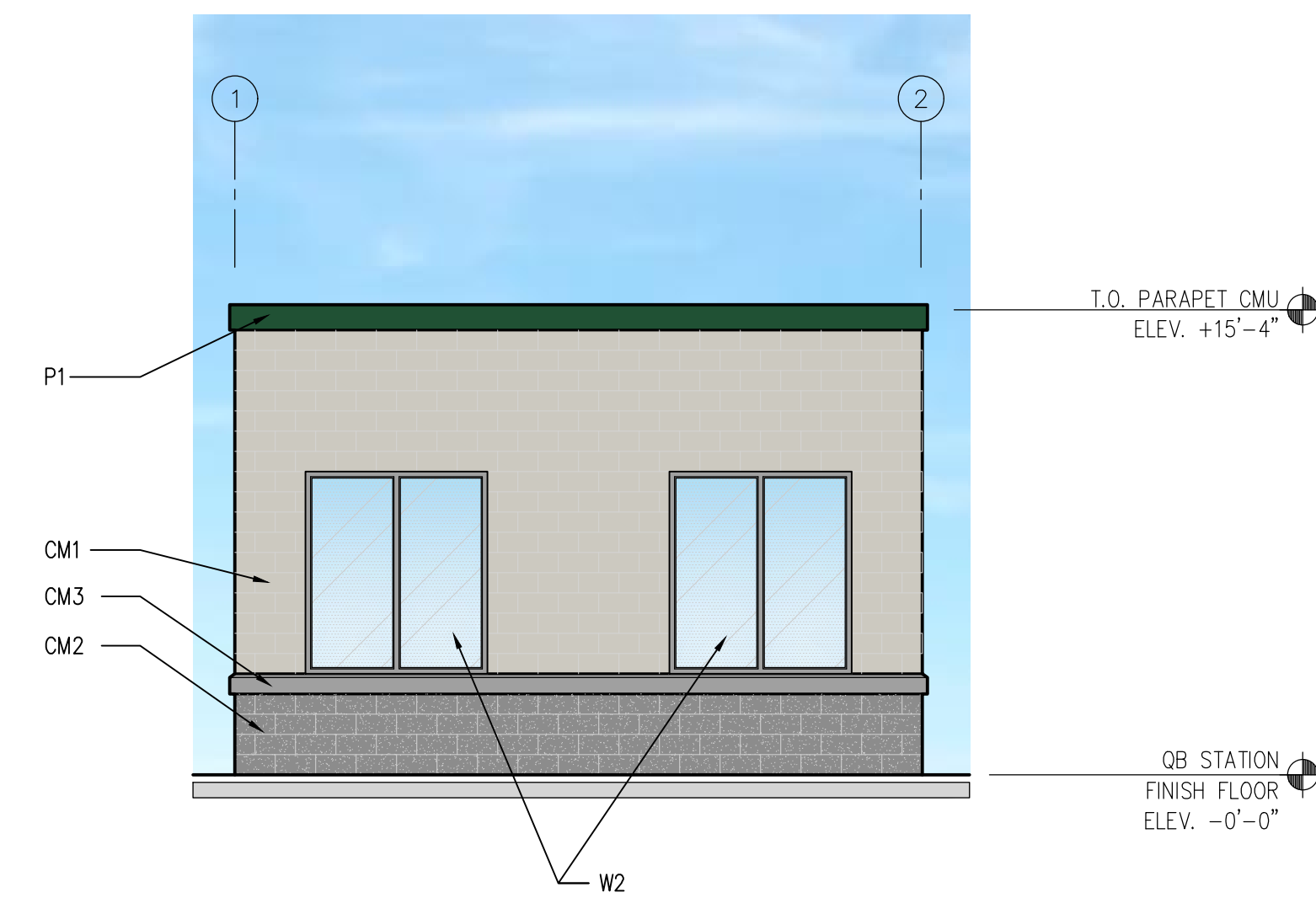
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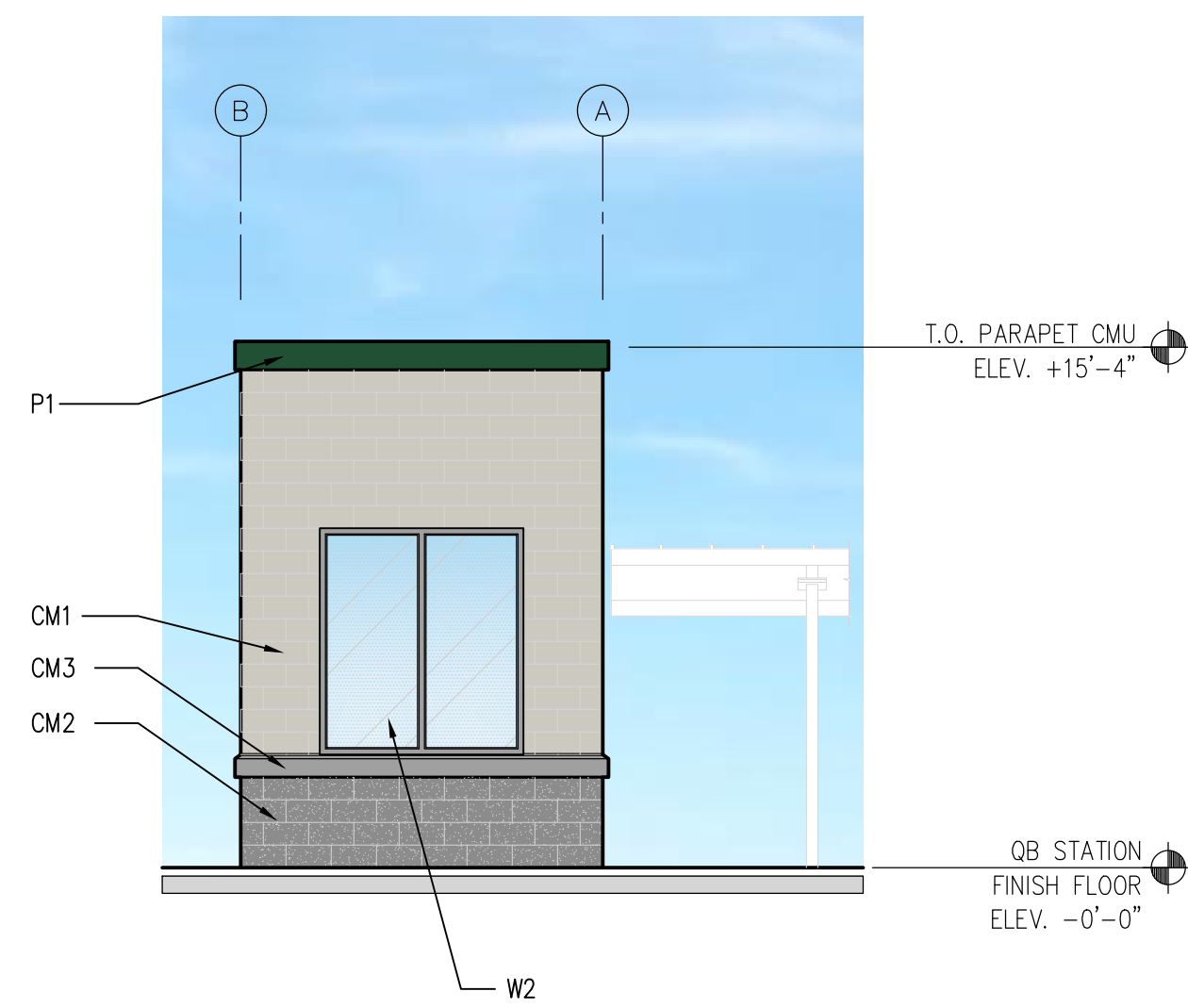
1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



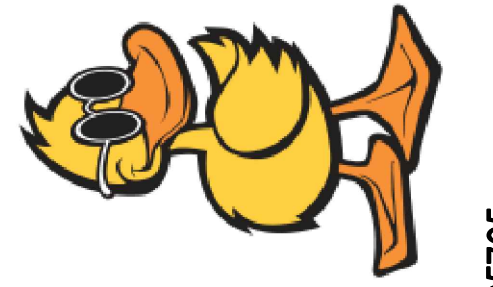
3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"

COLOR LEGEND

P1		FIRESTONE - DARK IVY QQ GREEN	CM1		BASALITE SMOOTH HONED FACE CMU #225 "LIGHT GRAY"
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STORE #33-059
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QUARTER BACK STATION
EXTERIOR COLOR ELEVATIONS

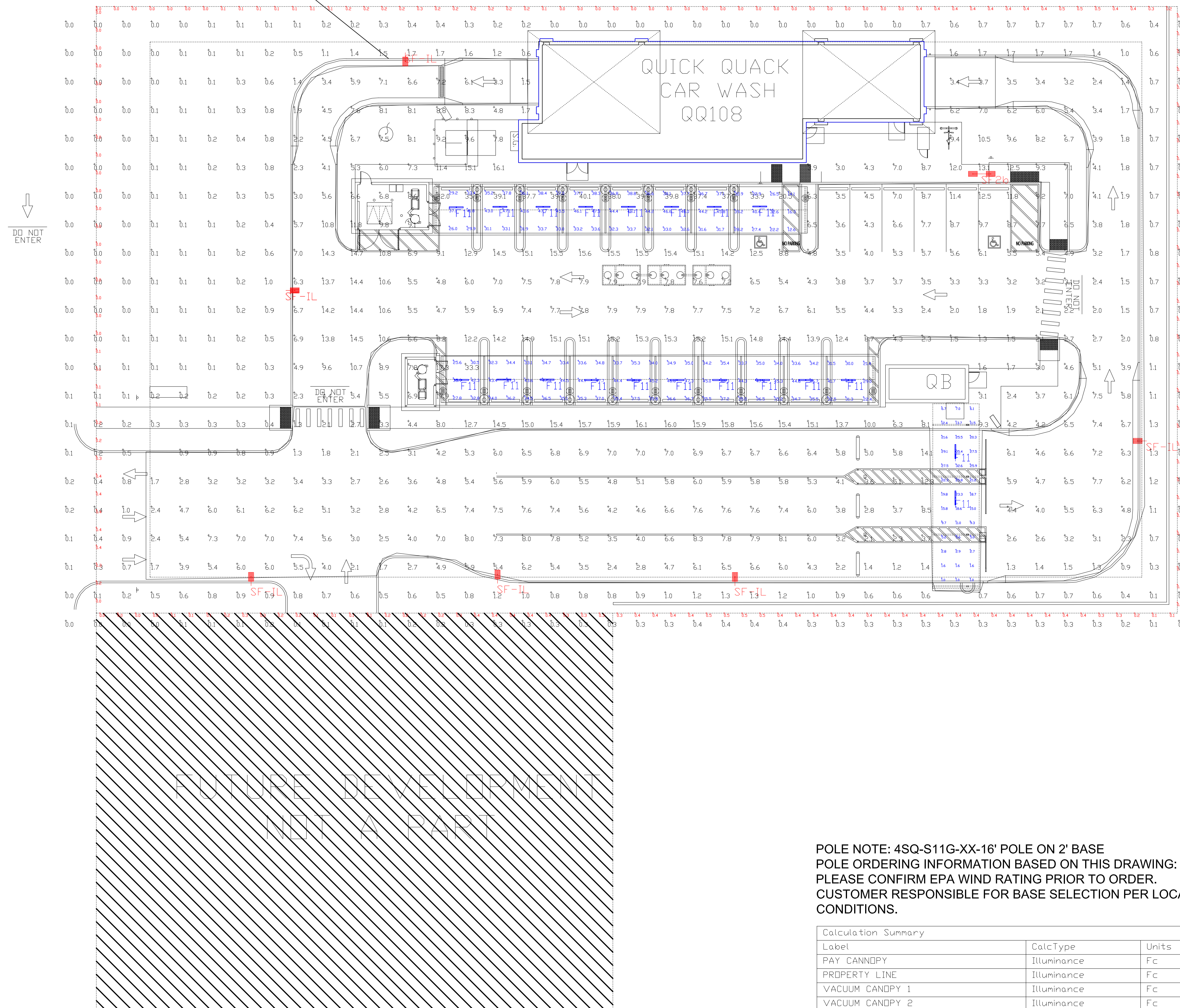
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PLANNING PACKAGE

A3.06

Pole to be used for flag pole light



MRS

POLE NOTE: 4SQ-S11G-XX-16' POLE ON 2' BASE
 POLE ORDERING INFORMATION BASED ON THIS DRAWING:
 PLEASE CONFIRM EPA WIND RATING PRIOR TO ORDER.
 CUSTOMER RESPONSIBLE FOR BASE SELECTION PER LOCAL CONDITIONS.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAY CANDOPY	Illuminance	Fc	13.98	35.4	1.0	13.98	35.40
PROPERTY LINE	Illuminance	Fc	0.21	0.5	0.0	NA	NA
VACUUM CANDOPY 1	Illuminance	Fc	37.20	48.4	21.4	1.74	2.26
VACUUM CANDOPY 2	Illuminance	Fc	35.69	48.1	12.6	2.83	3.82
PAVED AREA	Illuminance	Fc	6.08	15.6	1.2	5.07	13.00

NOTE: STANDARD 120-277V UNLESS OTHERWISE SPECIFIED

PHOTOMETRIC EVALUATION
 NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	39	F11	SINGLE	VT3204HUNV50 (FIXTURE SUPPLIED BY HERMITAGE)	11'	1.000	1.000	6778	51.95
	7	SF-IL	SINGLE	MRS-LED-18L-SIL-FT-30-70CRI-IL-SINGLE	16' POLE+2' BASE	1.000	1.000	10729	135
	1	SF2b	D180*	MRS-LED-18L-SIL-FT-50-70CRI-D180	16' POLE+2' BASE	1.000	1.000	33780	270

Total Project Watts
 Total Watts = 3241.049

LIGHTING PROPOSAL LD-150824-1

QUICK QUACK #33-059
 638 E LAKE RD
 WATSONVILLE, CA

DATE: 5/3/24 REV: SHEET 1 OF 1

SCALE: 1"=16' Attachment