

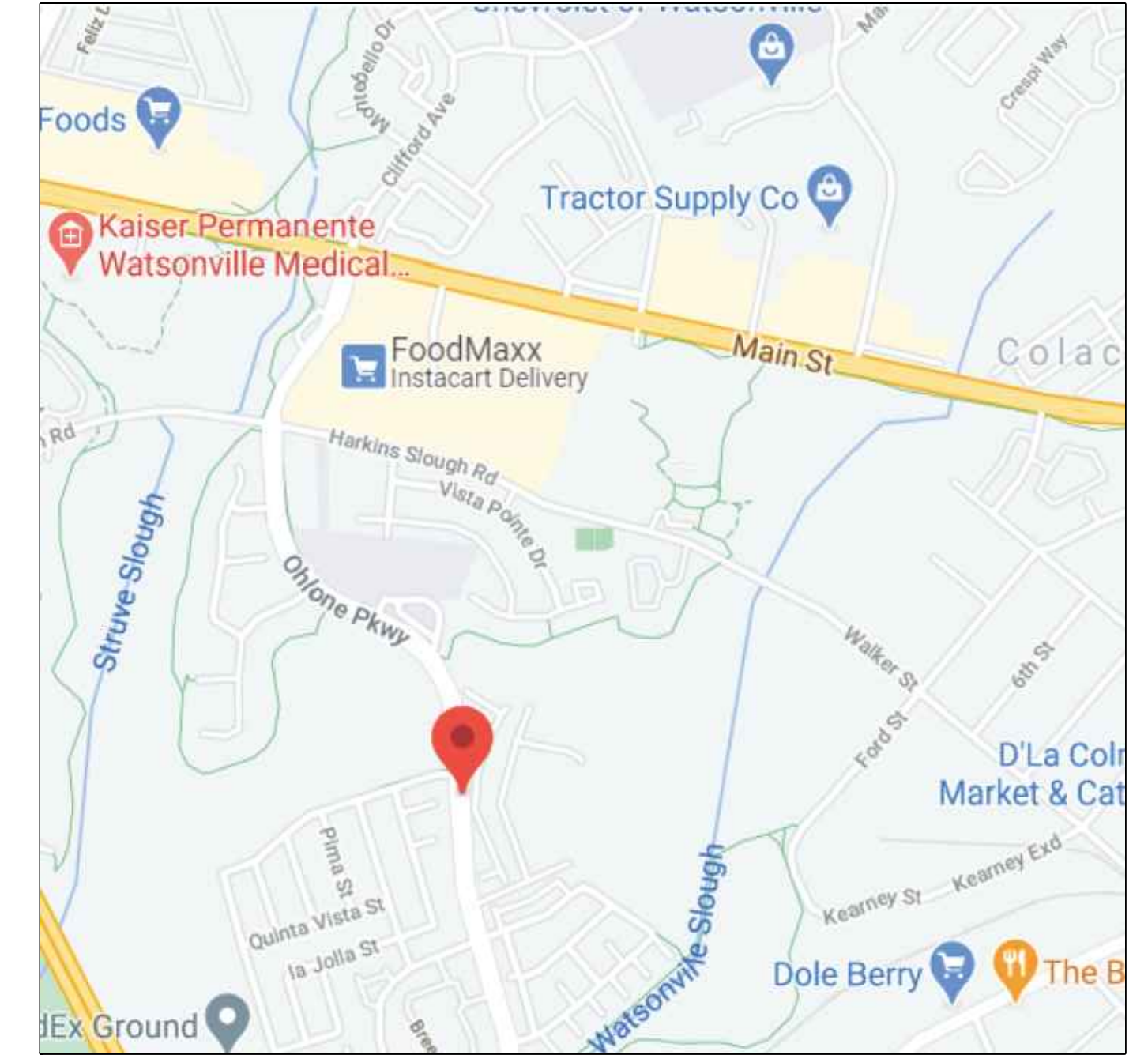
SUBDIVISION MAP & IMPROVEMENT PLANS FOR HILLCREST SUBDIVISION 511 OHLONE PARKWAY WATSONVILLE, CALIFORNIA 95076

ABBREVIATIONS

| | |
|-------|--|
| APN | ASSESSORS PARCEL NUMBER |
| BRW | BOTTOM OF RETAINING WALL |
| BS | BOTTOM OF STAIRS |
| BW | BOTTOM OF WALL |
| B/W | BACK OF SIDEWALK |
| CB | CATCH BASIN |
| CBC | CALIFORNIA BUILDING CODE |
| CDFW | CALIFORNIA DEPARTMENT OF FISH & WILDLIFE |
| CO | CLEANOUT |
| CONC | CONCRETE |
| COTG | CLEANOUT TO GRADE |
| DS | DOWN SPOUT |
| DTL | DETAIL |
| DWG | DRAWING |
| DWY | DRIVEWAY |
| EG | EXISTING GROUND |
| EP | EDGE OF PAVEMENT |
| EV | ELECTRIC VEHICLE |
| EVAE | EMERGENCY VEHICLE ACCESS EASEMENT |
| (E) | EXISTING |
| EX | EXISTING |
| FC | FACE OF CURB |
| FG | FINISH GRADE |
| FF | FINISH FLOOR |
| FL | FLOWLINE |
| FNC | FENCE |
| FT | FOOT/FEET |
| GB | GRADE BREAK |
| GFL | GUTTER FLOW LINE |
| HDPE | HIGH-DENSITY POLYETHYLENE |
| HP | HIGH POINT |
| INV | INVERT |
| LF | LINEAR FOOT |
| LOG | LIMIT OF GRADING |
| LP | LOW POINT |
| MIN | MINIMUM |
| MH | MANHOLE |
| N | NORTH |
| NE | NORTHEAST |
| NTS | NOT TO SCALE |
| NW | NORTHWEST |
| OC | ON CENTER |
| OCEW | ON CENTER, EACH WAY |
| OH | OVERHEAD |
| PAE | PUBLIC ACCESS EASEMENT |
| PCC | PORTLAND CEMENT CONCRETE |
| PP | POWER POLE |
| PL | PROPERTY LINE |
| POC | POINT OF CONNECTION |
| PUE | PUBLIC UTILITY EASEMENT |
| PV | PAVEMENT |
| PVC | POLYVINYL CHLORIDE PIPE |
| R | RADIUS |
| RC | RELATIVE COMPACTION |
| RWQCB | REGIONAL WATER QUALITY CONTROL BOARD |
| S | SOUTH, SLOPE |
| SD | STORM DRAIN |
| SDE | STORM DRAIN EASEMENT |
| SE | SOUTHEAST |
| SFR | SINGLE FAMILY RESIDENCE |
| SHT | SHEET |
| SSCO | SANITARY SEWER CLEAN OUT |
| STD | STANDARD |
| STME | SIDEWALK AND TRAIL MAINTENANCE EASEMENT |
| TC | TOP OF CURB |
| TFC | TOP OF FLUSH CURB |
| TRW | TOP OF RETAINING WALL |
| TS | TOP OF STAIRS |
| TW | TOP OF WALL |
| USA | UNDERGROUND SERVICE ALERT |
| USACE | US ARMY CORPS OF ENGINEERS |
| W | WEST, WATER |



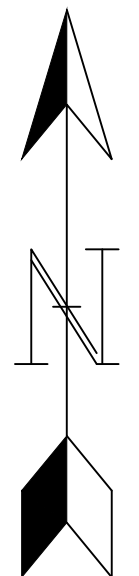
PLAN VIEW



Vicinity Map

INDEX OF SHEETS

| SHEET NO. | DESCRIPTION |
|-----------|--|
| C1.0 | COVER SHEET |
| C2.0 | EXISTING CONDITIONS |
| C3.0 | TENTATIVE MAP |
| C4.0 | SITE PLAN: PHASING AND DWELLING UNIT LAYOUT |
| C5.0 | SITE ROUGH GRADING PLAN & SITE DRAINAGE |
| C5.1 | REMEDIATION PIT GRADING PLAN |
| C5.2 | SITE ENVIRONMENTAL GRADING PLAN |
| C5.3 | SITE DRAINAGE/ RAINGARDEN PLAN |
| C5.4 | ROUGH GRADING EROSION CONTROL PLAN |
| C5.5 | ROUGH EROSION CONTROL NOTES AND DETAILS |
| C5.6 | RETAINING WALL PROFILES (WALL A & B) |
| C5.7 | RETAINING WALL PROFILES (WALL C & D) |
| C6.0 | STREET A - PLAN & PROFILE (STA: 1+00 - 9+50) |
| C6.1 | STREET A - PLAN & PROFILE (STA: 9+50 - 13+60) |
| C6.2 | STREET A - PLAN & PROFILE (STA: 13+30 - 18+30) |
| C6.3 | STREET A - PLAN & PROFILE (STA: 18+20 - 23+30) |
| C6.4 | STREET B & STREET C - PLAN & PROFILE |
| C6.5 | ERRINGTON ROAD (SECONDARY ENTRANCE) - PLAN & PROFILE |
| C6.6 | FIRE ACCESS ROAD #2 (VIA SUNSHINE GARDEN) - PLAN & PROFILE |
| C6.7 | NATURE TRAIL - PLAN & PROFILE |
| C7.0 | OFF-SITE IMPROVEMENTS |
| C8.0 | PRELIMINARY UTILITY PLAN - FULL SITE |
| C8.1 | PRELIMINARY UTILITY PLAN |
| C8.2 | PRELIMINARY UTILITY PLAN |
| C8.3 | PRELIMINARY UTILITY PLAN |



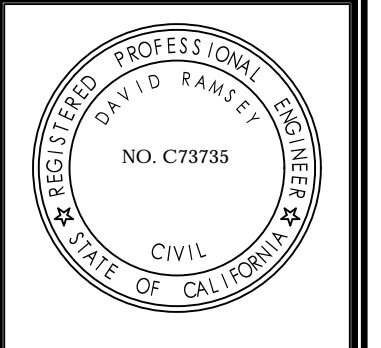
GRAPHIC SCALE: 1 INCH = 80 FEET



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DAVID RAMSEY DATE
RCE# 73735

APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

COVER SHEET
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

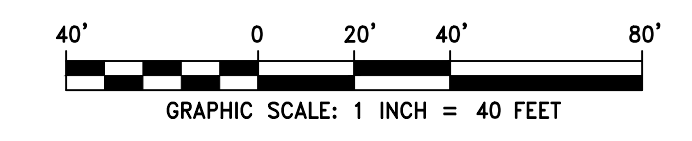
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C1.0



EXISTING CONDITIONS PLAN



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DAVID RAMSEY DATE
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PLAN TYPE
RESIDENTIAL
SUBDIVISION

EXISTING CONDITIONS
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

| NUMBER | DESCRIPTION | DATE |
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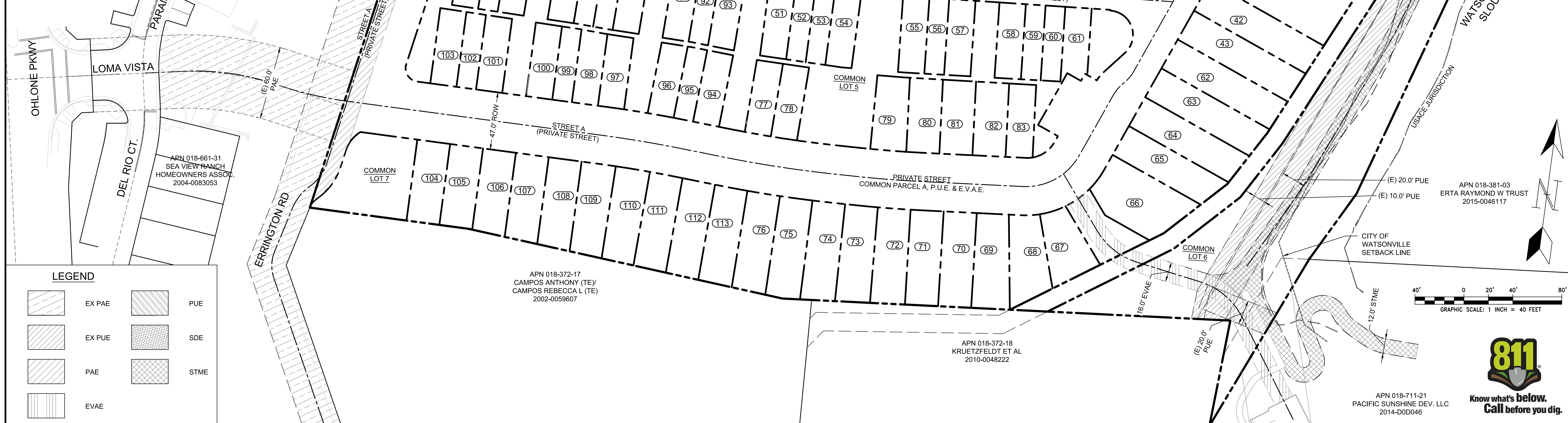
C2.0

| PHASE | LOT # | AREA (SF) | PHASE | LOT # | AREA (SF) | PHASE | LOT # | AREA (SF) | PHASE | LOT # | AREA (SF) |
|---------|----------|-----------|---------|-------|-----------|---------|-------|-----------|---------|-------|-----------|
| PHASE 1 | 1 | 2378 | PHASE 3 | 51 | 1322 | PHASE 4 | 84 | 1,344 | PHASE 5 | 114 | 2,448 |
| | 2 | 2,287 | | 52 | 984 | | 85 | 999 | | 115 | 2,860 |
| | 3 | 2,385 | | 53 | 979 | | 86 | 1,326 | | 116 | 2,617 |
| | 4 | 2,514 | | 54 | 1,326 | | 87 | 1,315 | | 117 | 2,245 |
| | 5 | 2,533 | | 55 | 1,343 | | 88 | 982 | | 118 | 4,733 |
| | 6 | 2,413 | | 56 | 1,006 | | 89 | 985 | | 119 | 1,527 |
| | 7 | 2,298 | | 57 | 1,338 | | 90 | 1,311 | | 120 | 1,594 |
| | 8 | 2,266 | | 58 | 1,330 | | 91 | 1,299 | | 121 | 1,596 |
| | 9 | 2,266 | | 59 | 993 | | 92 | 972 | | 122 | 1,547 |
| | 10 | 2,277 | | 60 | 991 | | 93 | 1,309 | | 123 | 1,540 |
| | 11 | 4,131 | | 61 | 1,142 | | 94 | 1,286 | | 124 | 1,540 |
| | 12 | 2,158 | | 62 | 2,773 | | 95 | 965 | | 125 | 1,539 |
| | 13 | 2,223 | | 63 | 2,703 | | 96 | 1,273 | | 126 | 1,539 |
| | 14 | 5,444 | | 64 | 2,592 | | 97 | 1,271 | | 127 | 1,539 |
| | 15 | 3,029 | | 65 | 2,395 | | 98 | 1,280 | | 128 | 1,539 |
| 16 | 3,054 | 66 | 3,262 | 99 | 974 | 129 | 1,539 | | | | |
| 17 | 1,321 | 67 | 1,871 | 100 | 1,307 | 130 | 1,522 | | | | |
| 18 | 951 | 68 | 2,124 | 101 | 1,322 | 131 | 1,222 | | | | |
| 19 | 951 | 69 | 2,245 | 102 | 996 | 132 | 916 | | | | |
| 20 | 1,269 | 70 | 2,104 | 103 | 1,336 | 133 | 1,223 | | | | |
| 21 | 1,269 | 71 | 2,104 | 104 | 1,809 | 134 | 1,223 | | | | |
| 22 | 951 | 72 | 2,162 | 105 | 1,809 | 135 | 917 | | | | |
| 23 | 1,269 | 73 | 2,191 | 106 | 1,847 | 136 | 917 | | | | |
| 24 | 1,270 | 74 | 2,233 | 107 | 1,911 | 137 | 1,224 | | | | |
| 25 | 951 | 75 | 2,275 | 108 | 1,974 | 138 | 1,225 | | | | |
| 26 | 951 | 76 | 2,217 | 109 | 2,062 | 139 | 918 | | | | |
| 27 | 1,270 | 77 | 1,295 | 110 | 2,112 | 140 | 1,226 | | | | |
| 28 | 1,270 | 78 | 1,302 | 111 | 2,117 | 141 | 1,235 | | | | |
| 29 | 951 | 79 | 1,705 | 112 | 2,134 | 142 | 951 | | | | |
| 30 | 1,264 | 80 | 1,643 | 113 | 2,181 | 143 | 958 | | | | |
| 31 | 1,261 | 81 | 1,637 | | | 144 | 1,278 | | | | |
| 32 | 945,5464 | 82 | 1,632 | | | | | | | | |
| 33 | 1,258 | 83 | 1,325 | | | | | | | | |
| 34 | 1,263 | | | | | | | | | | |
| 35 | 1,263 | | | | | | | | | | |
| 36 | 1,258 | | | | | | | | | | |
| 37 | 946 | | | | | | | | | | |
| 38 | 1,241 | | | | | | | | | | |
| 39 | 3,026 | | | | | | | | | | |
| 40 | 2,982 | | | | | | | | | | |
| 41 | 4,983 | | | | | | | | | | |
| 42 | 2,862 | | | | | | | | | | |
| 43 | 2,818 | | | | | | | | | | |
| 44 | 1,263 | | | | | | | | | | |
| 45 | 946 | | | | | | | | | | |
| 46 | 946 | | | | | | | | | | |
| 47 | 1,264 | | | | | | | | | | |
| 48 | 1,263 | | | | | | | | | | |
| 49 | 946 | | | | | | | | | | |
| 50 | 1,263 | | | | | | | | | | |

| COMMON LOT AREA SUMMARY | |
|-------------------------|-----------|
| COMMON LOT | AREA (SF) |
| 1 | 82,937 |
| 2 | 3,244 |
| 3 | 5,561 |
| 4 | 18,963 |
| 5 | 21,910 |
| 6 | 35,995 |
| 7 | 4,152 |

| COMMON PARCEL AREA SUMMARY | |
|----------------------------|-----------|
| COMMON PARCEL | AREA (SF) |
| A | 98,727 |

NOTE: ALL STREETS ARE PART OF COMMON PARCEL A. COMMON PARCEL A SHALL BE A P.U.E AND E.V.A.E THROUGHOUT



| LEGEND | | | |
|----------|--------|----------|------|
| [Symbol] | EX PAE | [Symbol] | PUE |
| [Symbol] | EX PUE | [Symbol] | SDE |
| [Symbol] | PAE | [Symbol] | STME |
| [Symbol] | EVAE | | |

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REGISTERED PROFESSIONAL ENGINEER
NO. C73735
CIVIL
STATE OF CALIFORNIA

DAVID RAMSEY DATE
RCE# 73735

APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

TENTATIVE MAP
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

| NUMBER | DESCRIPTION | DATE |
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811
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PACIFIC SUNSHINE DEV. LLC
2014-D0D046

C3.0

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| SHEET: | |

IMPERVIOUS AREA BREAKDOWN

| ON-SITE | EXISTING (SF) | NEW/REPLACED (SF) |
|------------------------|---------------|-------------------|
| STRUCTURE & PORCH AREA | 0 | 106,737 |
| CONCRETE/HARDSCAPE | 0 | 54,010 |
| ASPHALT | 0 | 100,063 |
| PERVIOUS PAVERS | 0 | 6,100 |
| TOTAL | 0 | 263,860 |

NOTES:
1. PERVIOUS PAVER AREA TAKEN AT 50% FOR TOTAL BREAKDOWN.
2. DOWNSPOUTS WILL DISCHARGE AT GRADE OR BE HARD PIPED TO LOW LYING LANDSCAPED AREAS, AND OR PAVER SYSTEMS.
3. LOW LYING LANDSCAPE AREAS WILL OVERFLOW TO STORM DRAIN SYSTEM WITHIN ROADWAYS
4. TOTAL MITIGATION FACILITIES SHOULD EQUAL 10% OF IMPERVIOUS SURFACES @ 26,386 SF

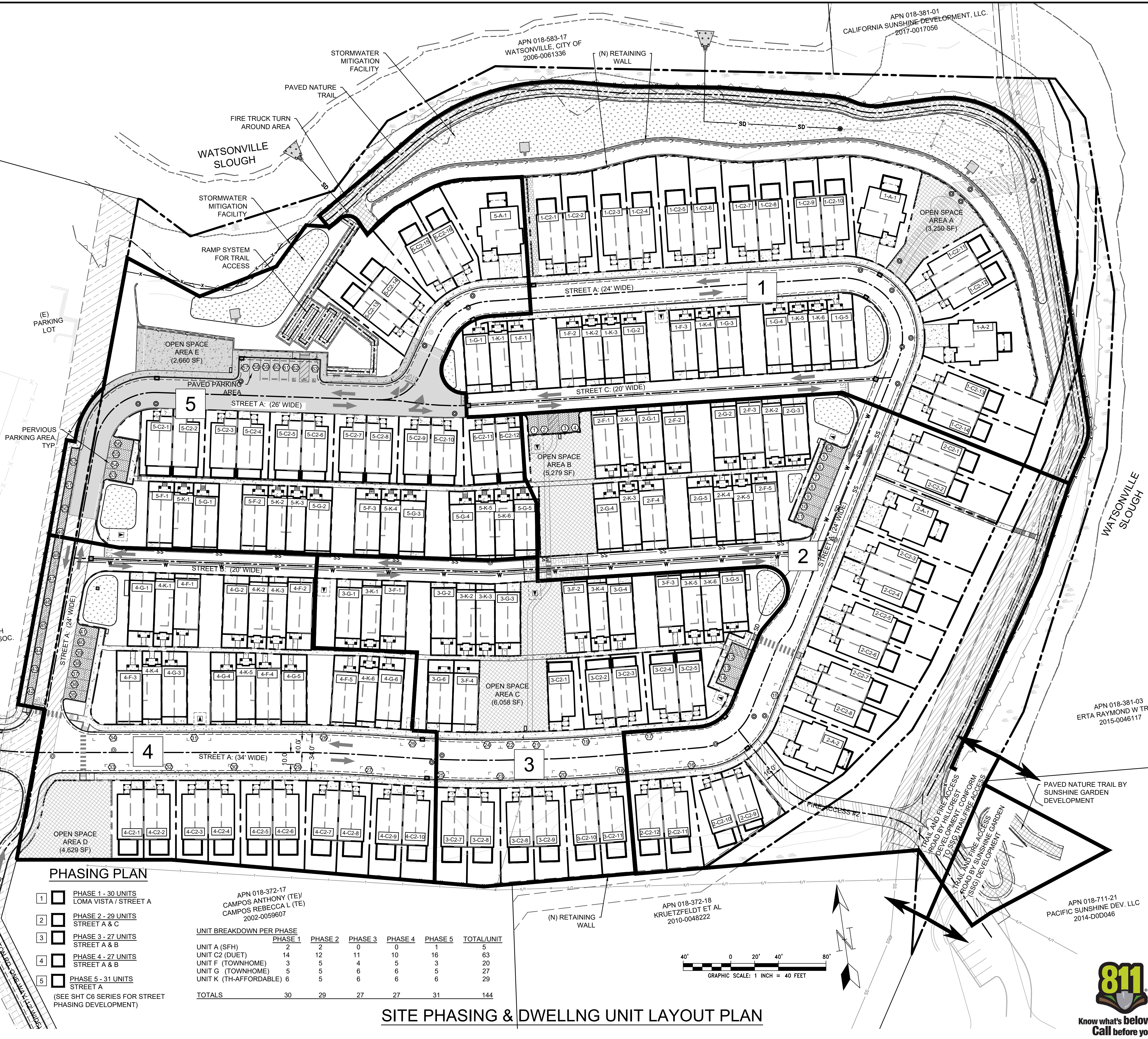
PARKING BREAKDOWN

| TYPE | # | NOTES |
|------------------------------|-----|----------------------------------|
| OFFSTREET (GARAGE PARKING) | 288 | 2-CAR GARAGES ALL UNITS |
| OFFSTREET (DRIVEWAY PARKING) | 20 | SINGLE AND DOUBLE WIDE DRIVEWAYS |
| STANDARD SPACES | 57 | 31 PARALLEL / 26 NOSE IN |
| COMPACT SPACES | 3 | -- |
| ACCESSIBLE SPACES | 4 | 2-VAN ACCESSIBLE |
| TOTAL SPACES PROVIDED | 372 | |

NOTE 5 STANDARD PARKING SPACES ARE DESIGNATED SPACES FOR MAIL TRUCK DELIVERY FROM 8AM-5PM. PUBLIC PARKING ALLOWED FROM 5PM-8AM. SEE PLANS FOR LOCATIONS. 28-30 SLOTS PER BOX. FINAL LOCATIONS AND NUMBER OF UNITS TO BE DETERMINED BY THE USPS.

OPEN SPACE AREA SUMMARY

| DESIGNATION | AREA (SF) |
|-----------------------------------|--------------------|
| RECREATIONAL OPEN SPACE | 21,876 |
| COMMON OPEN SPACE WITH RAINGARDEN | 112,721 |
| PARCEL LANDSCAPE | 115,670 |
| OFF-SITE PARCEL LANDSCAPE | 11,044 |
| TOTAL OPEN SPACE AREA | 261,311 (6.0 AC) |
| TOTAL SITE AREA | 516,267 (11.85 AC) |
| TOTAL AS PERCENTAGE OF LOT | 50.6% |



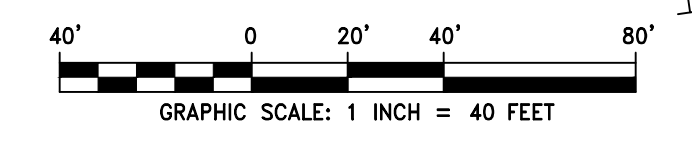
PHASING PLAN

- 1 PHASE 1 - 30 UNITS
LOMA VISTA / STREET A
 - 2 PHASE 2 - 29 UNITS
STREET A & C
 - 3 PHASE 3 - 27 UNITS
STREET A & B
 - 4 PHASE 4 - 27 UNITS
STREET A & B
 - 5 PHASE 5 - 31 UNITS
STREET A
- (SEE SHT C6 SERIES FOR STREET PHASING DEVELOPMENT)

APN 018-372-17
CAMPOS ANTHONY (TE)
CAMPOS REBECCA L (TE)
2002-0059607

UNIT BREAKDOWN PER PHASE

| | PHASE 1 | PHASE 2 | PHASE 3 | PHASE 4 | PHASE 5 | TOTAL/UNIT |
|------------------------|---------|---------|---------|---------|---------|------------|
| UNIT A (SFH) | 2 | 2 | 0 | 0 | 1 | 5 |
| UNIT C2 (DUET) | 14 | 12 | 11 | 10 | 16 | 63 |
| UNIT F (TOWNHOME) | 3 | 5 | 4 | 5 | 3 | 20 |
| UNIT G (TOWNHOME) | 5 | 5 | 6 | 6 | 5 | 27 |
| UNIT K (TH-AFFORDABLE) | 6 | 5 | 6 | 6 | 6 | 29 |
| TOTALS | 30 | 29 | 27 | 27 | 31 | 144 |



SITE PHASING & DWELLING UNIT LAYOUT PLAN

POST SOIL MITIGATION EARTHWORK QUANTITIES

| | |
|--------|--------------------------|
| 46,340 | CUBIC YARDS EXCAVATION |
| 52,180 | CUBIC YARDS EMBANKMENT |
| 5,840 | CUBIC YARDS (EMBANKMENT) |

NOTES

1. ESTIMATE DOES NOT INCLUDE BUILDING FOOTINGS OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.



HATCH LEGEND

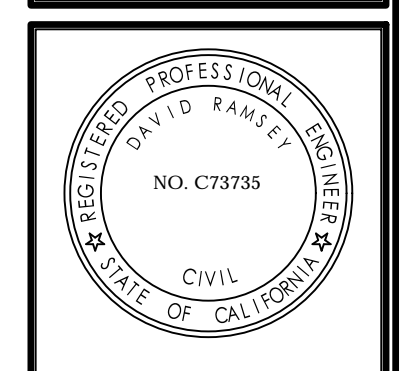
| | | | |
|--|---|--|--|
| | ASPHALT 3" AC / 10" CLASS 2 AGGREGATE BASE R.C. 95% (T15.5) | | SOIL REMEDIATION AREA CONTAMINATED SOIL REMEDIATION AREA |
| | CONCRETE 4" CONCRETE / 6" CL2 AGG. BASE COMPACTED TO 95% R.C. | | SWM MITIGATION AREA - RAINGARDEN BIORETENTION SOIL MIXTURE OVER PERMEABLE STONE MATERIAL |
| | PERVIOUS PAVERS PER MANUFACTURER DETAILS | | PARK AREA OPEN SPACE PARK AREA |

NOTE:
1. CONCRETE AT DRIVEWAY APRON AND SIDEWALKS WITHIN DRIVE AISLE, SHALL BE 6.5" PCC / 6" CL 2 AGG BASE COMPACTED TO 95% R.C.

PRELIMINARY ROUGH GRADING PLAN



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DAVID RAMSEY DATE
RCE# 73735

APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

ROUGH GRADING PLAN & SITE DRAINAGE
HILLCREST SUBDIVISION
510 OHILONE PARKWAY, WATSONVILLE, CA 95076

| NUMBER | BY | DESCRIPTION | DATE |
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DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C5.0

PROJECT SITE - PHASE I(a), I(b), & I(c)
PRE-SITE IMPROVEMENTS: SOIL MITIGATION & ROUGH GRADING SEQUENCE

- PHASE I(a) 1,500 CY CLASS 1 HAZ SOILS OFF-HAUL PER HAYES WEBER REPORT, (FIGURE-1, PROJECT 2X823), TO KETTLEMAN HILL HAZARDOUS WASTE FACILITY
- PHASE I(b) 8,240 CY* CLASS 2 CONTAMINATED SOILS OFF-HAUL TOP 6 INCHES SURFACE LAYER TO HOLLISTER, CA
- PHASE I(c) 25,460 CY** AFTER THE TOP 6 INCHES STATED ABOVE, THEN THE NEXT 18 INCHES IS PLACED ON-SITE IN THE REMEDIATION PIT.

TOTAL CONTAMINATED SOIL VOLUMES 35,200 CY
 -TOTAL VOLUMES BURIED ON-SITE 18,830 CY
 -TOTAL VOLUMES REMOVED OFF SITE 16,370 CY

*AFTER DEDUCTING 555 CY OF KETTLEMAN, CA OFF-HAUL
 **AFTER DEDUCTING 945 CY OF KETTLEMAN, CA OFF-HAUL

NOTES FOR PHASE I (c) - SPECIFIC REFERENCE TO C5.1 AND C5.2:

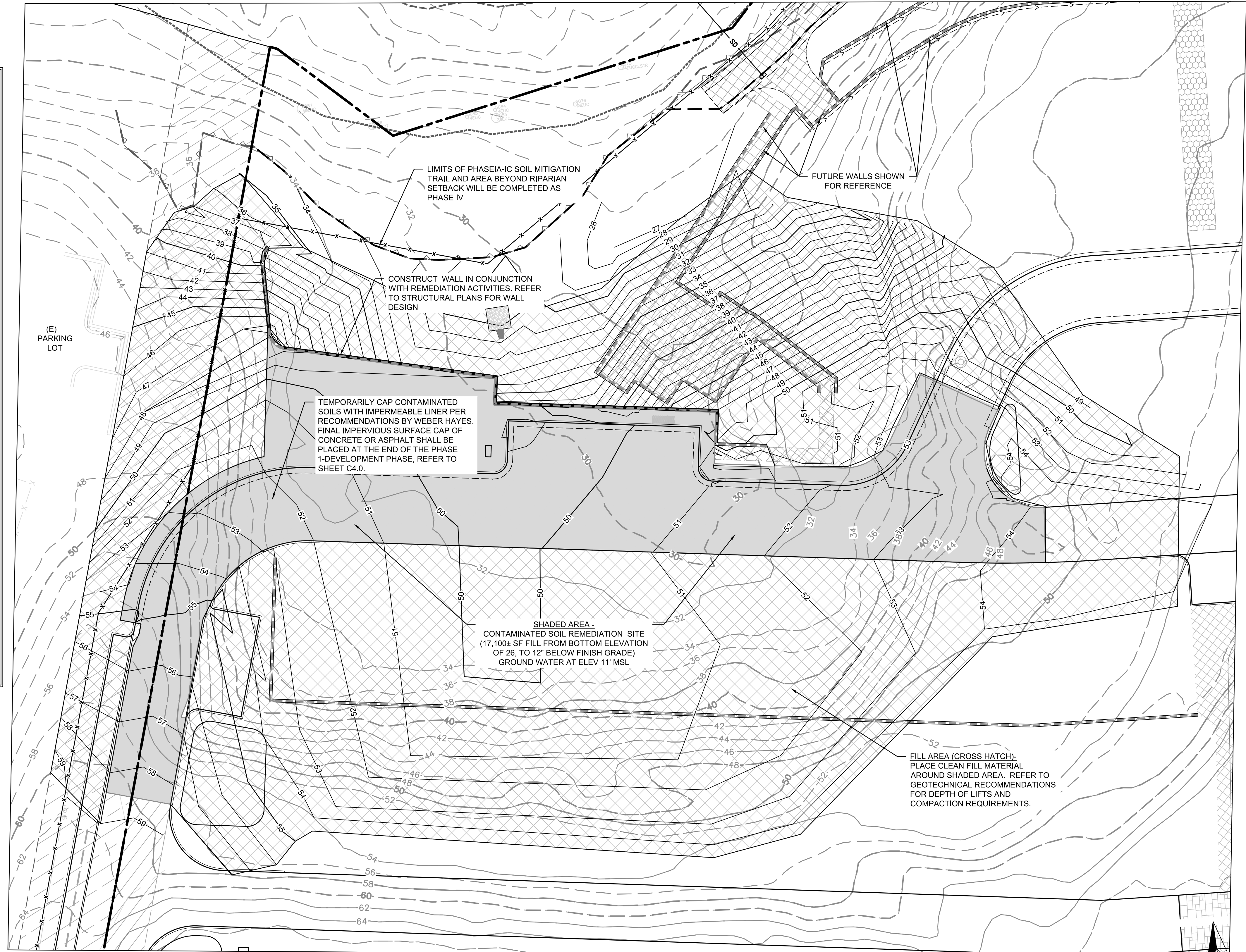
- AFTER PHASE I(B) REMOVAL OF 6 INCHES ON QUADRANTS #1 THROUGH #4, THE NEXT 18 INCHES OF SOIL, IS PLACED ON QUADRANTS #5 THROUGH #8. THEN THE SOIL IN QUADRANTS #1 THROUGH #4 (MINIMUM 24 IN FROM EXISTING GRADE) WILL BE NON-CONTAMINATED (CLEAN) SOILS. THESE SOILS WILL BE REMOVED AS NECESSARY TO FILL IN THE AREAS TO THE WEST, EAST, AND SOUTH OF THE PROPOSED REMEDIATION PIT. THE NORTH SIDE OF THE REMEDIATION PIT SHALL BE CONTAINED BY THE CONSTRUCTION OF THE REMEDIATION PIT WALL. CLEAN SOILS WILL BE SCRAPPED FROM THE MIDDLE PORTION OF THE PROPERTY AFTER THE 24 INCHES ARE REMOVED.
- EXCAVATE SOILS IN THE REMEDIATION PIT TO A DEPTH OF 15 FT MINIMUM ABOVE THE HIGH WATER MARK (ELEVATION 11). THIS SOIL IS STOCKPILED ON THE SITE (SEE C5.2) IN QUADRANT 1 THROUGH #4 ESTIMATED AT 5,400 CY. THE REMEDIATION PIT, AT THE TIME IT STARTS TO ACCEPT CONTAMINATED SOILS, HAS A BOTTOM DEPTH ELEVATION = 26FT MIN (15FT ABOVE MSL ELEVATION=11).
- THE REMEDIATION PIT WILL BE CONSTRUCTED BACKFILLING WITH CONTAMINATED SOILS IN INCREMENTS WHILE SIMULTANEOUSLY CONSTRUCTING THE BLOCK WALL ALONG THE NORTH SIDE OF THE REMEDIATION PIT. PLACE GEO-GRID REINFORCEMENT MATERIAL AS DIRECTED BY THE STRUCTURAL PLANS. BACKFILLING ASSUMES A 15% COMPACTION FACTOR AT 12 IN LIFTS COMPACTED AT 90% MIN. RELATIVE COMPACTION, OR AS DIRECTED OTHERWISE BE THE GEOTECHNICAL ENGINEER.
- ONCE THE FINAL ELEVATION OF THE PIT IS REACHED, 12 INCHES BELOW FINAL PAVEMENT/CONCRETE ELEVATIONS, INSTALL A TEMPORARY IMPERMEABLE PLASTIC LINER (30 MIL MIN.) TOPPED WITH CLEAN BACKFILL MATERIAL.
- REMEDATION PIT ON-SITE VOLUME CAPACITY FOR CONTAMINATED SOIL IS ESTIMATED TO BE 18,830 CY, TAKEN TO BOTTOM OF IMPERVIOUS SURFACE SUBBASE.
- SOIL EXCEEDING THE REMEDIATION PIT VOLUME, ESTIMATED CAPACITY OF 18,830 CY, IS APPROXIMATELY 6,600 CY AND SHALL BE OFF-HAULED TO AN APPROVED SITE.

OTHER MITIGATIONS

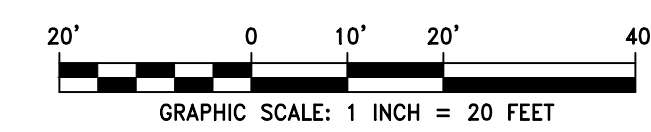
- NATURE TRAIL SOIL MITIGATION WILL BE ADDRESSED WITH THE REMOVAL OF SOILS FOR THE STRUCTURAL SECTION OF THE NEW TRAIL AREA =12,865 SF (476 CY OF OFF-HAUL MATERIAL [12 INCHES REMOVAL FOR ASPHALT- 3 INCHES AC OVER 9 INCHES CL 2 AGGREGATE BASE])

GENERAL NOTES

- CONTAMINATED SOIL REMEDIATION AREA TO OCCUR UNDER IMPERVIOUS SURFACES PER WEBER HAYES REPORT
- EXCAVATED MATERIALS (NON-CONTAMINATED) TO BE USED ELSEWHERE ON-SITE FOR FILL PURPOSES.
- ALL VOLUMES ARE APPROXIMATE AND VOLUMES TO BE CONVERTED TO TONNAGE AT THE RATIO OF 1.48



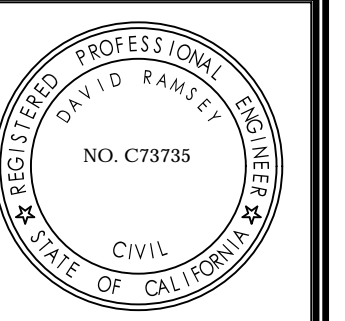
REMEDATION SITE PLAN



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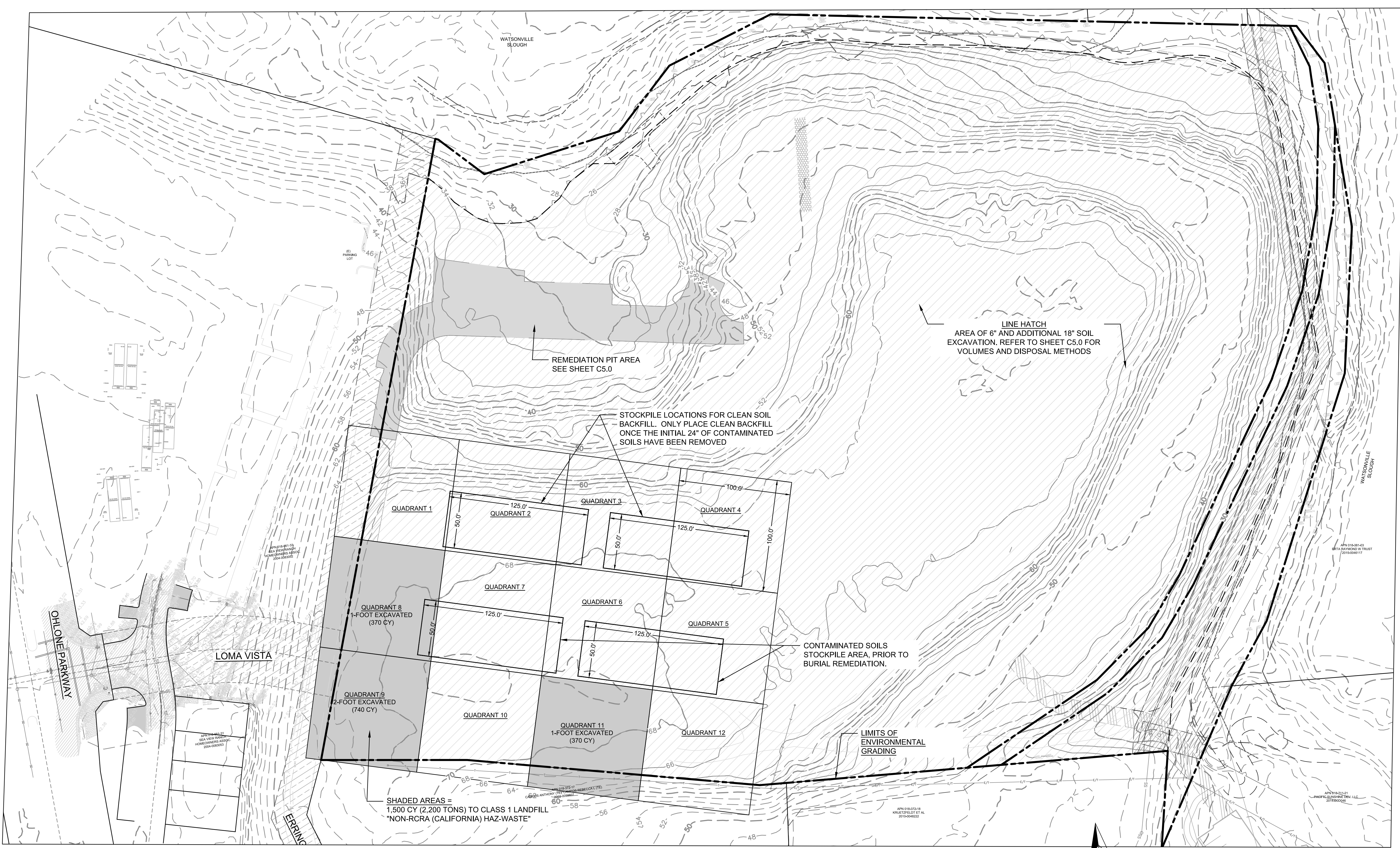
APN# 018-372-14
 PLAN TYPE
 RESIDENTIAL
 SUBDIVISION

REMEDATION PIT GRADING PLAN
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

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C5.1



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APN# 018-372-14
 PLAN TYPE
 RESIDENTIAL
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SITE ENVIRONMENTAL GRADING PLAN
HILLCREST SUBDIVISION
 510 OHILONE PARKWAY, WATSONVILLE, CA 95076

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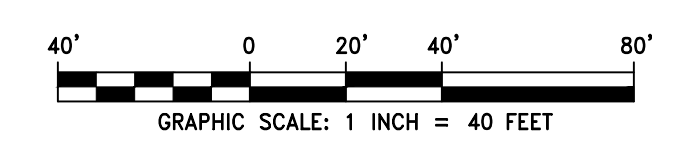
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 PROJECT NO: 20-021
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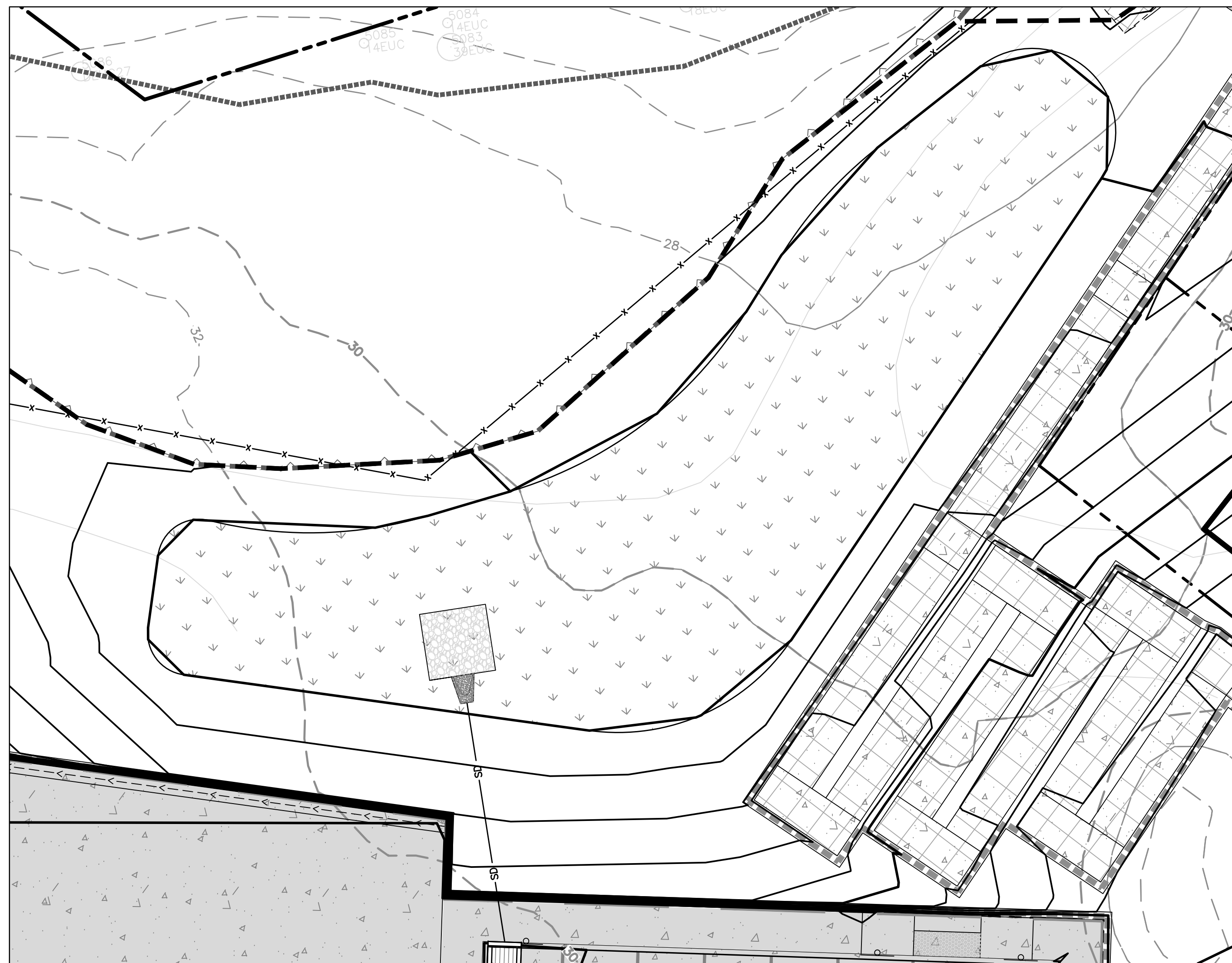
C5.2

PHASE IA-PHASE IC:
 NO GRADING SHALL OCCUR WITHIN THE JURISDICTIONAL SETBACK LINES ALONG THE WATSONVILLE SLOUGH - CONTRACTOR SHALL STAKE SETBACK LINE AND STRING BETWEEN STAKES TO PREVENT GRADING FROM CROSSING INTO SETBACK AREAS.
STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
 A SWPPP (STORMWATER POLLUTION PREVENTION PLAN) HAS BEEN ESTABLISHED THIS PROJECT. REFER TO CALIFORNIA STATE WATER BOARD: WDD# - 3 44C380348

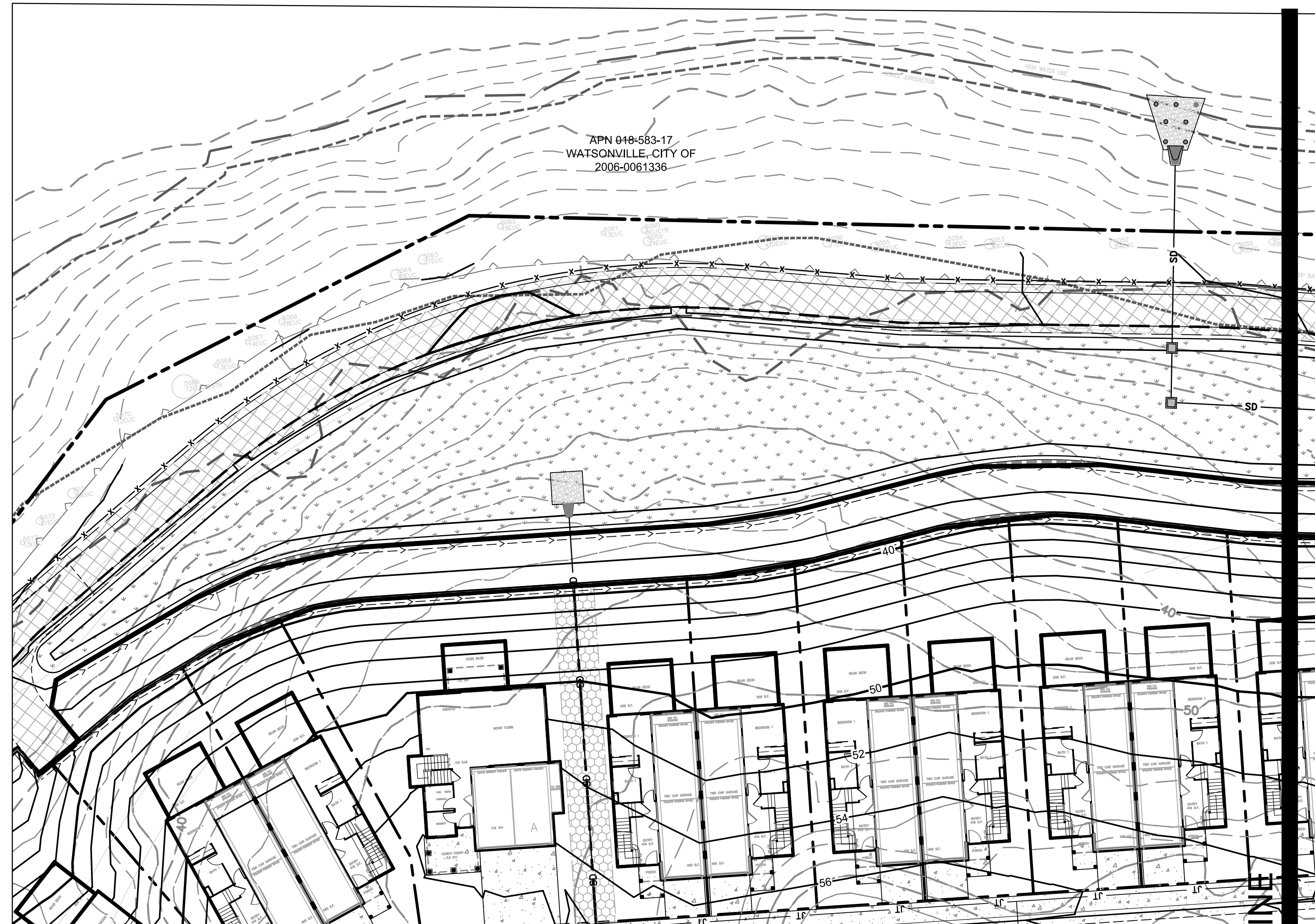
- NOTES:**
1. QUADRANT AREA ARE PER WEBER HAYES & ASSOCIATES FIG. 1 (PROJECT 2X623)
 2. LANDFILL ACCEPTANCE OF SURPLUS SOILS
 3. REFER TO SHEET C5.1 FOR SOIL DISPOSAL BREAKDOWN
 4. VOLUMES SPECIFIED IN QUADRANTS 8, 9 AND 11 SHALL BE DISPOSED OF AT A CLASS 1 LANDFILL.
 5. ALL REMAINING SOILS FROM THE 24" EXCAVATION ARE NON-HAZARDOUS, AND SHALL BE EITHER BURIED AND CAPPED ONSITE, OR REMOVED TO CLASS 2 LANDFILL, SEE SHEET C5.1 FOR BREAKDOWN
 6. GRADING QUANTITIES SHOWN ON THESE PLANS FOR PHASE 1A & PHASE 1B ARE APPROXIMATE ONLY. QUANTITIES DO NOT INCLUDE POTENTIAL TRASH OR DEBRIS VOLUMES.
 7. ALL DISTURBED GROUND SHALL BE STABILIZED PRIOR TO OCTOBER 15. THE APPLICANT SHALL OBTAIN AUTHORIZATION FROM THE CITY OF WATSONVILLE IF GROUND AND SOIL DISTURBANCE ON THE PROJECT IS EXPECTED TO OCCUR IN THE WINTER SEASON, BEYOND OCT. 15.

SITE ENVIRONMENTAL GRADING PLAN





RAINGARDEN 1
 GRAPHIC SCALE: 1 INCH = 10 FEET



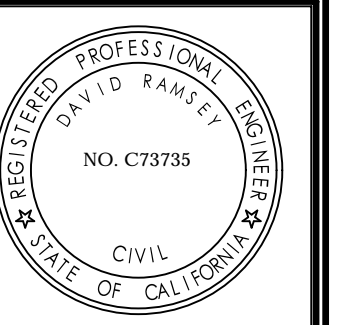
RAINGARDEN 2



GRAPHIC SCALE: 1 INCH = 20 FEET

MATCH LINE

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APN# 018-372-14
 PLAN TYPE
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SITE DRAINAGE/RAINGARDEN PLAN
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

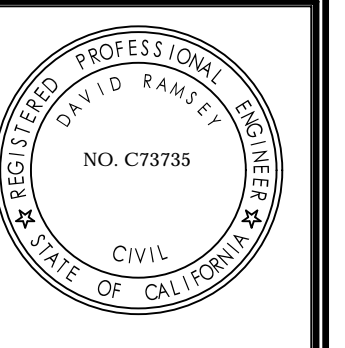
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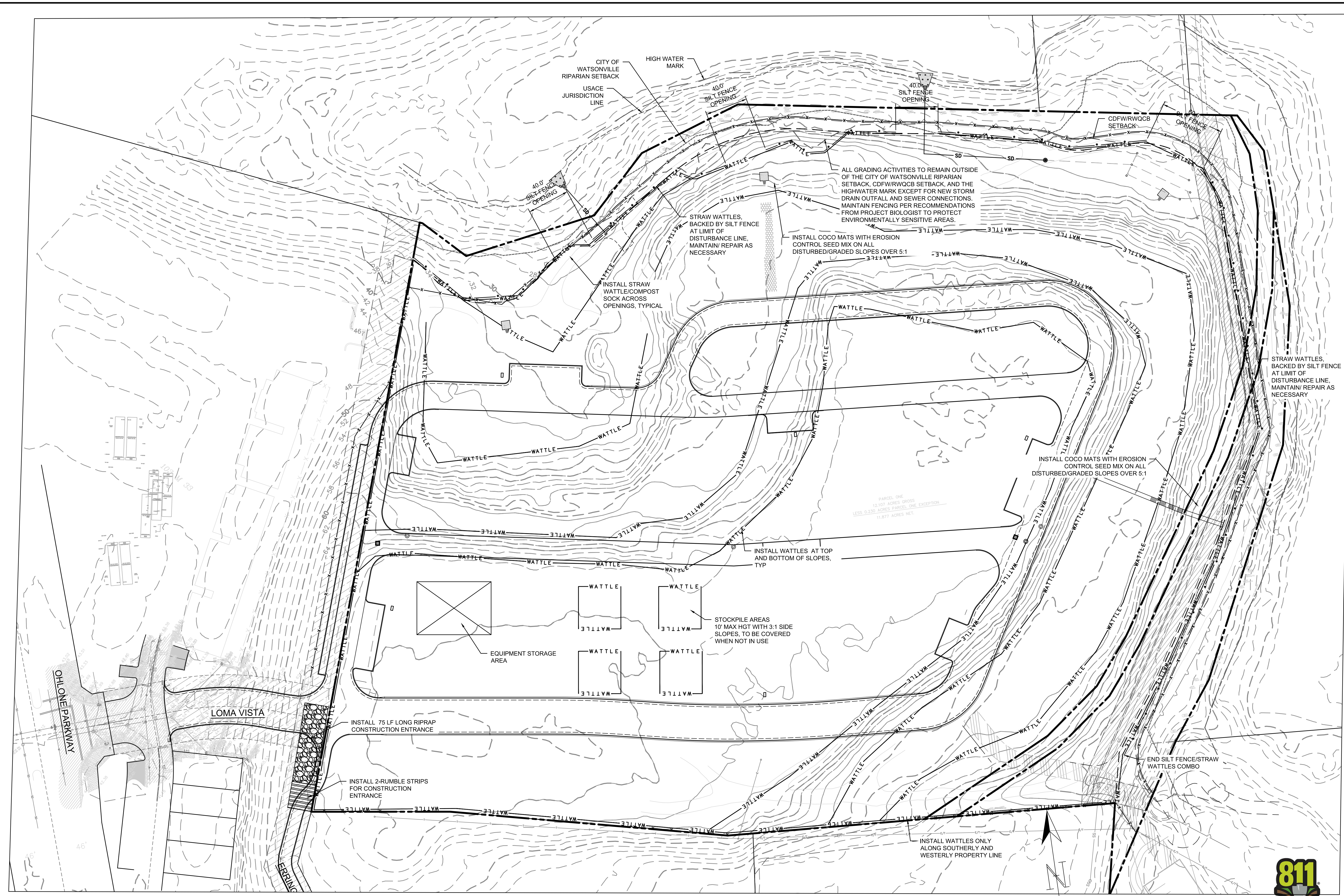
APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

ROUGH GRADING EROSION CONTROL PLAN
HILLCREST SUBDIVISION
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C5.4

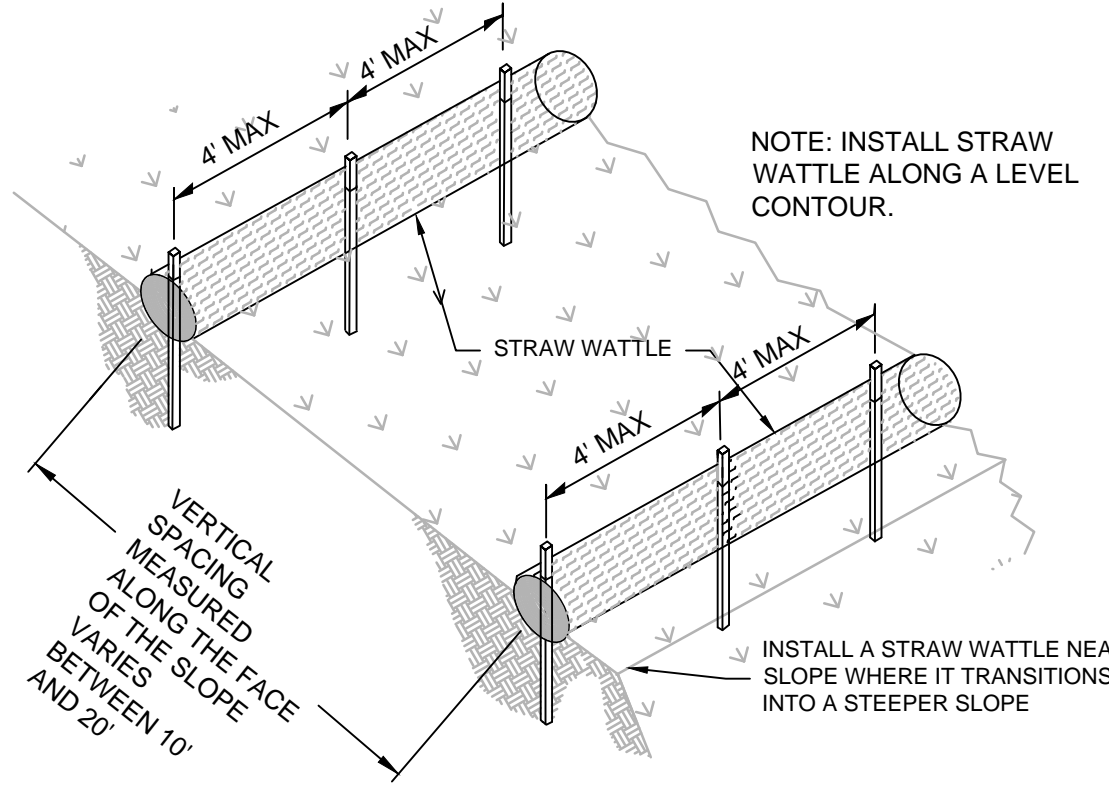


EROSION CONTROL PLAN

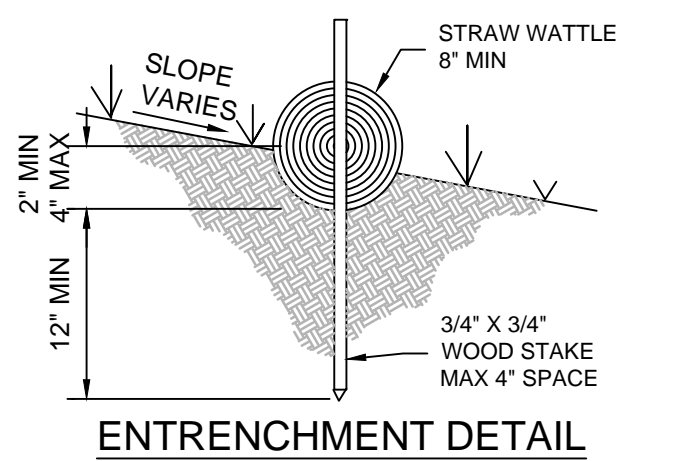


Erosion Control Notes

- NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
- PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES. (SEE CONSTRUCTION DETAILS)
- DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
- ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, HAVING A MAXIMUM SLOPE OF 3:1 (H:V), IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE SEEDED WITH ANNUAL WINTER BARLEY AT A MINIMUM RATE OF 5 LBS/1,000 SF AND COVERED WITH A UNIFORM LAYER OF STRAW DERIVED FROM RICE, BARLEY OR WHEAT (2-3 BALES/1,000 SF), INCORPORATING IT INTO SOIL WITH A STUDDED ROLLER OR ANCHORING IT WITH A TACKIFIER STABILIZING EMULSION.
- ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
- ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION REQUIRED BY SECTION 16.22.080 SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
- ALL CONSTRUCTION SHALL CONFORM TO PART 1, SECTION C, "EROSION CONTROL REQUIREMENTS," OF THE COUNTY DESIGN CRITERIA. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER EROSION CONTROL PLAN. ALL DISTURBED SOIL SHALL BE SEEDED, MULCHED OR OTHERWISE PROTECTED BY OCTOBER 15.



TYPICAL INSTALLATION



ENTRENCHMENT DETAIL

STRAW WATTLES PART 1

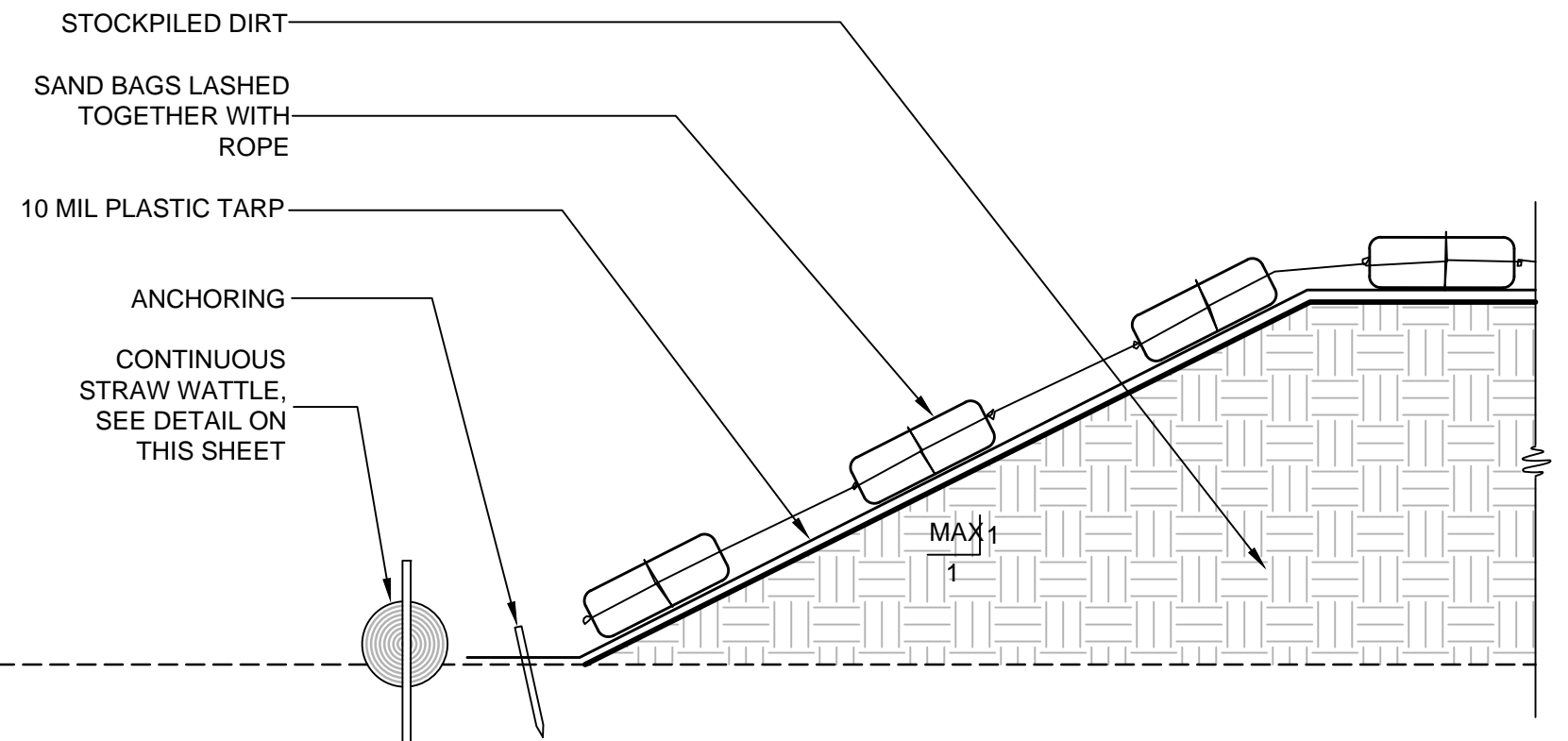
NTS

CONSTRUCTION SPECIFICATIONS

- PREPARE SLOPE BEFORE THE WATTLING PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
- DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE WATTLES IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE WATTLE. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE WATTLE 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
- START BUILDING TRENCHES AND INSTALL WATTLES FROM THE BOTTOM OF THE SLOPE AND WORK UP.
- CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
- LAY THE WATTLE ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WOODEN STAKES.
- DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE WATTLE. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
- INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH WATTLE. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

INSTALLATION AND MAINTENANCE

- INSPECT THE STRAW WATTLE AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE WATTLES ARE IN CONTACT WITH THE SOIL.
- REPAIR ANY RILLS OR GULLIES PROMPTLY.
- RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.



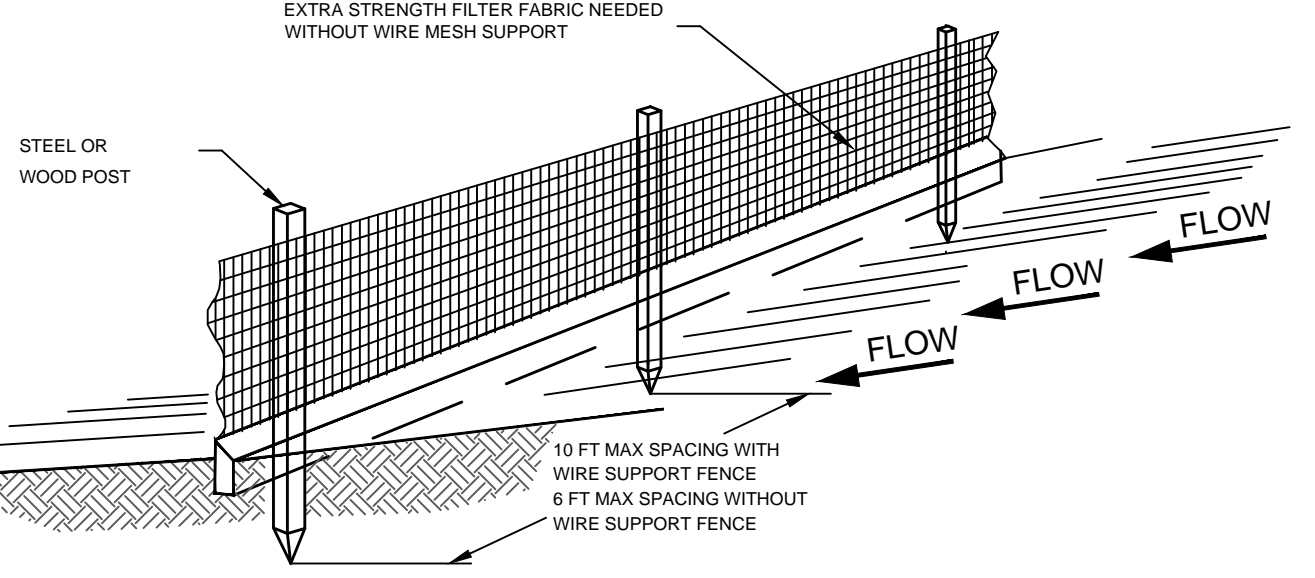
NOTE: STOCKPILE SIZE AND LOCATIONS TO BE DETERMINED BY CONTRACTOR WITH ENGINEERS APPROVAL.

DIRT STOCKPILE

N.T.S.

STRAW WATTLES PART 2

NTS



SILT FENCE

CONSTRUCTION SPECIFICATIONS:

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (0.9 M). STORAGE HEIGHT AND PONDING HEIGHT SHALL NEVER EXCEED 18 INCHES (0.5 M). THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH (0.15 M) OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3.1 M) APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES (0.3 M), WHEN EXTRA-STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE. POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M), TURN THE ENDS OF THE FENCE (LAST 6 FEET) UPHILL IN 1\"/>

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES (152 MM) WIDE AND 8 INCHES (203 MM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25.4 MM) LONG. THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (51 MM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (0.9 M) ABOVE THE ORIGINAL GROUND SURFACE.

THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE. AND 1 INCHES (25.4 MM) OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (0.9 M) ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.

SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 2 FEET (0.6 M) TO 5 FEET (1.5 M) FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.

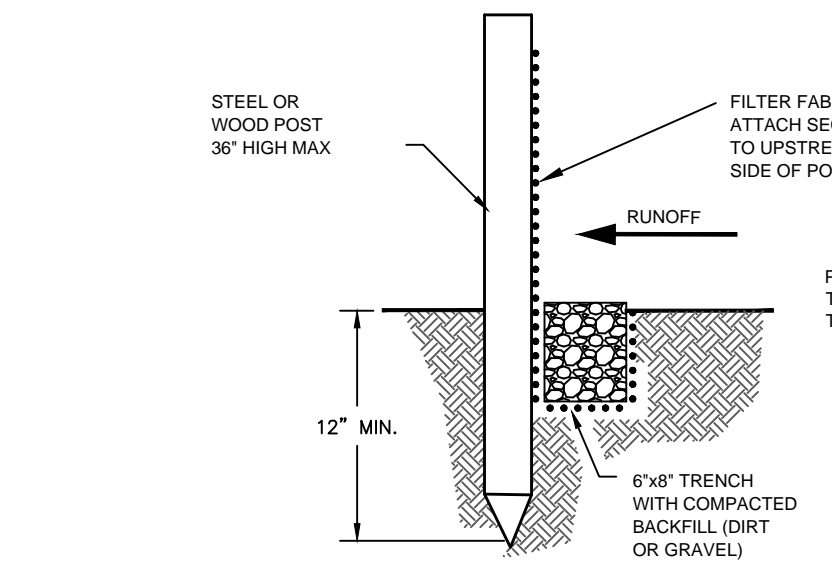
SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

INSPECTION AND MAINTENANCE:

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM (1 INCH (25.4 MM) IN 24 HOURS). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES (0.3 M) MAXIMUM.

THE REMOVED SEDIMENT SHALL CONFORM WITH THE EXISTING GRADE AND BE VEGETATED OR OTHERWISE STABILIZED.

Silt Fence



Standard Detail

NOTES:

- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

Site Housekeeping Requirements

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (i.e. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (i.e. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

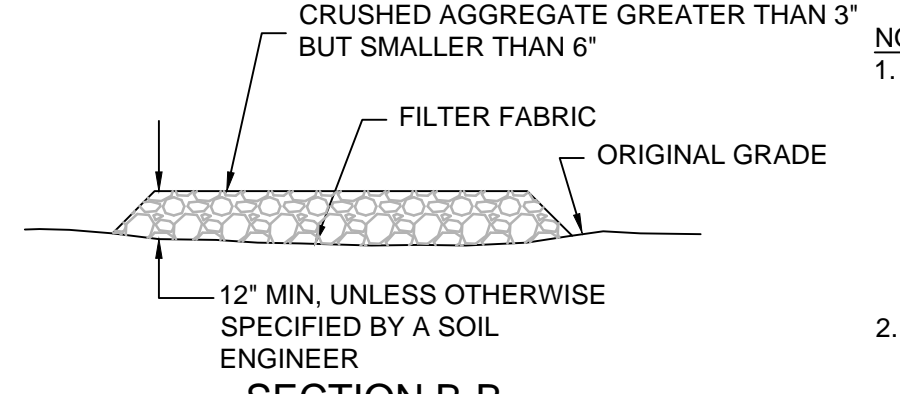
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (e.g. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND AIR AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.

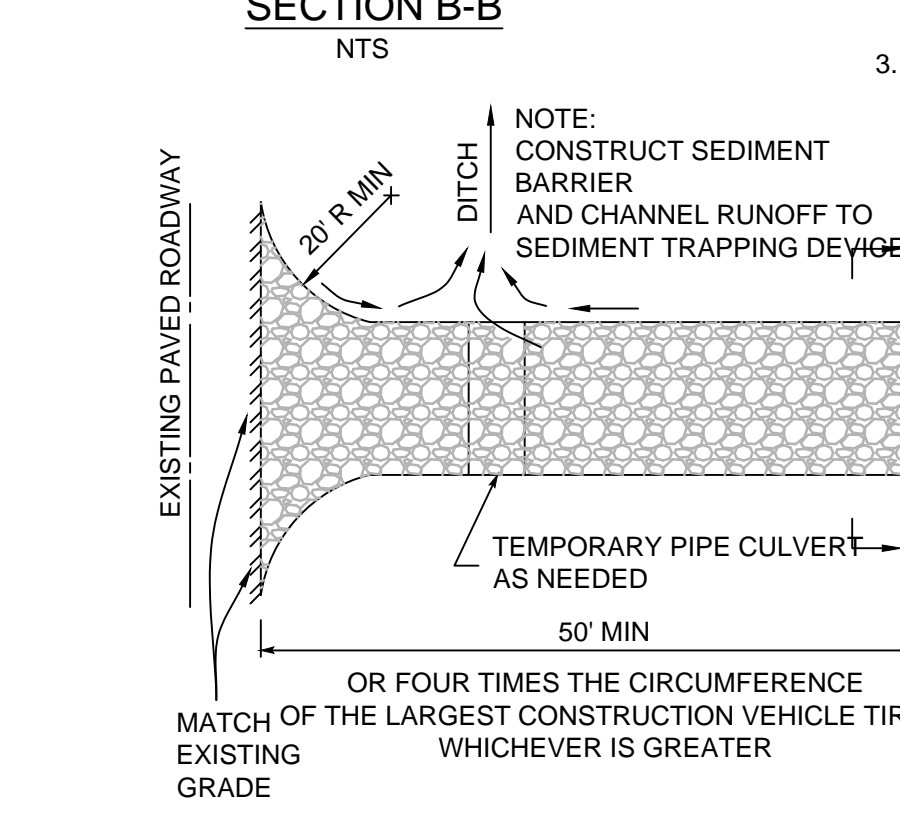
LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVEN OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



STABILIZED CONSTRUCTION ENTRANCE PART 1

NTS

CONSTRUCTION SPECIFICATIONS:

- THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 2-3 INCH (50-75 MM) STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
- THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 6 INCHES (152 MM). USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.
- THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS AND IN ANY CASE SHALL NOT BE LESS THAN 12 FEET (3.6 M) WIDE.
- THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET (15.2 M).
- LOCATE CONSTRUCTION ENTRANCES AND EXITS TO LIMIT SEDIMENT LEAVING THE SITE AND TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES AND ENTRANCES AT CURVES IN PUBLIC ROADS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEE SEDIMENT BASIN BMP.
- ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, STRAW BALES, OR OTHER APPROVED METHODS.

INSPECTION AND MAINTENANCE:

- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- REPLACE GRAVEL MATERIAL WHEN SURFACE VOIDS ARE VISIBLE.
- AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY.
- IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS WITHIN 24 HOURS.

STABILIZED CONSTRUCTION ENTRANCE PART 2

NTS

PREPARATION OF THIS EROSION CONTROL PLAN COMPLETED UNDER THE DIRECTION OF

DAVID RAMSEY, QSD #20758
 RAMSEY CIVIL ENGINEERING, INC
 2905 KRISTIE COURT
 SANTA CRUZ, CA, 95065
 831-462-2905
 DAVID@RAMSEYCE.COM

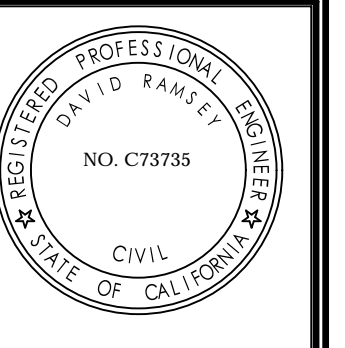


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| DRAWN BY: | DMR |
| DESIGNED BY: | DMR |
| DATE: | 06/04/2021 |
| SCALE: | AS NOTED |
| PROJECT NO: | 20-021 |
| SHEET: | |

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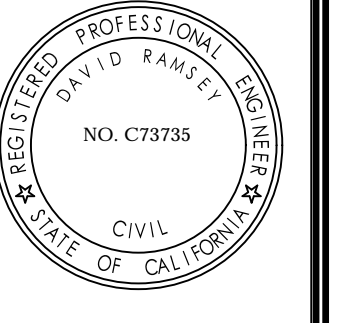


DAVID RAMSEY DATE
 RCE# 73735

APN# 018-372-14
 PLAN TYPE
 RESIDENTIAL
 SUBDIVISION

EROSION CONTROL NOTES AND DETAILS
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

| NUMBER | DESCRIPTION | DATE |
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DAVID RAMSEY DATE
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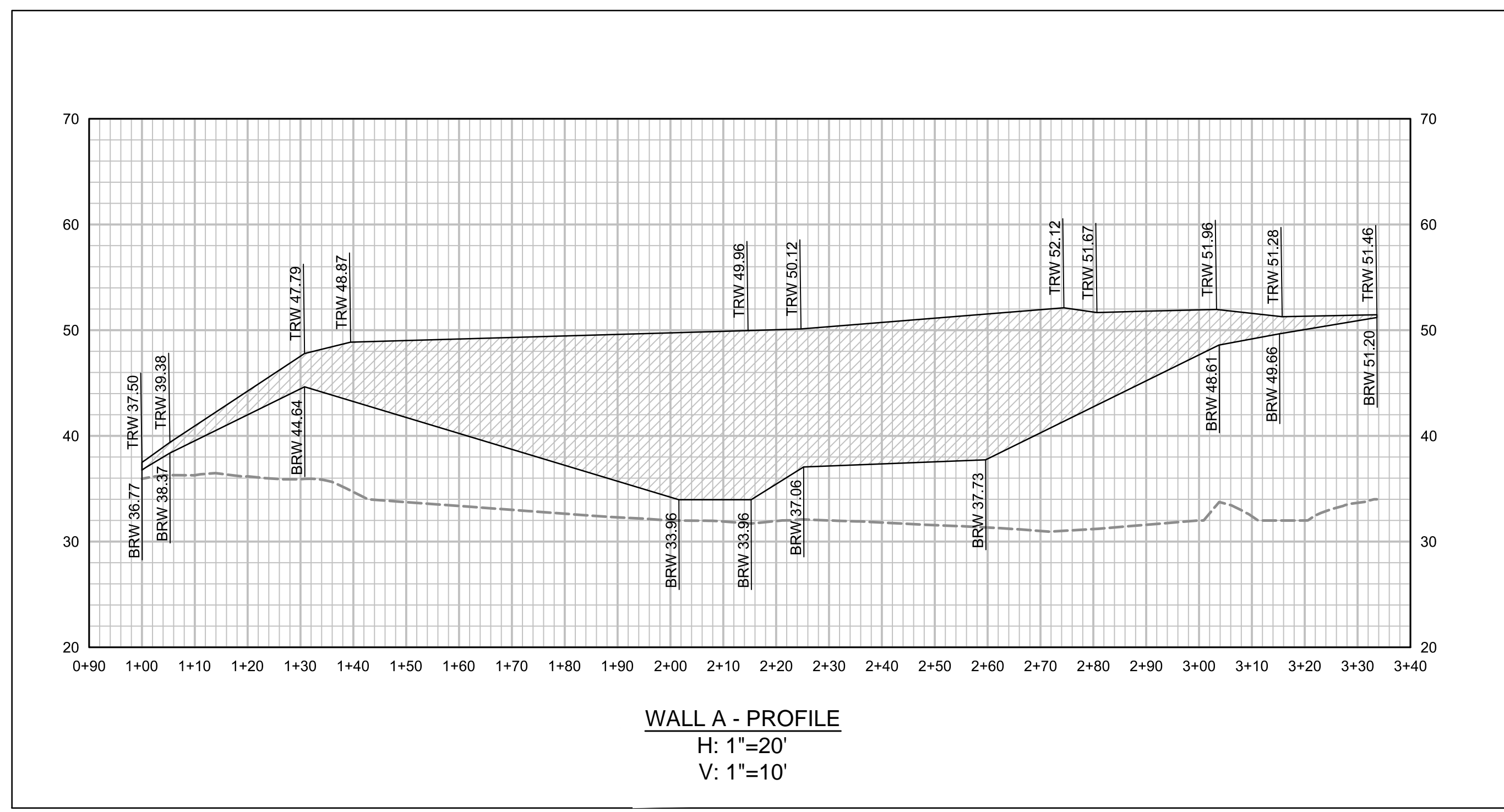
APN# 018-372-14
PLAN TYPE
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SUBDIVISION

RETAINING WALL PROFILES (WALL A & B)
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

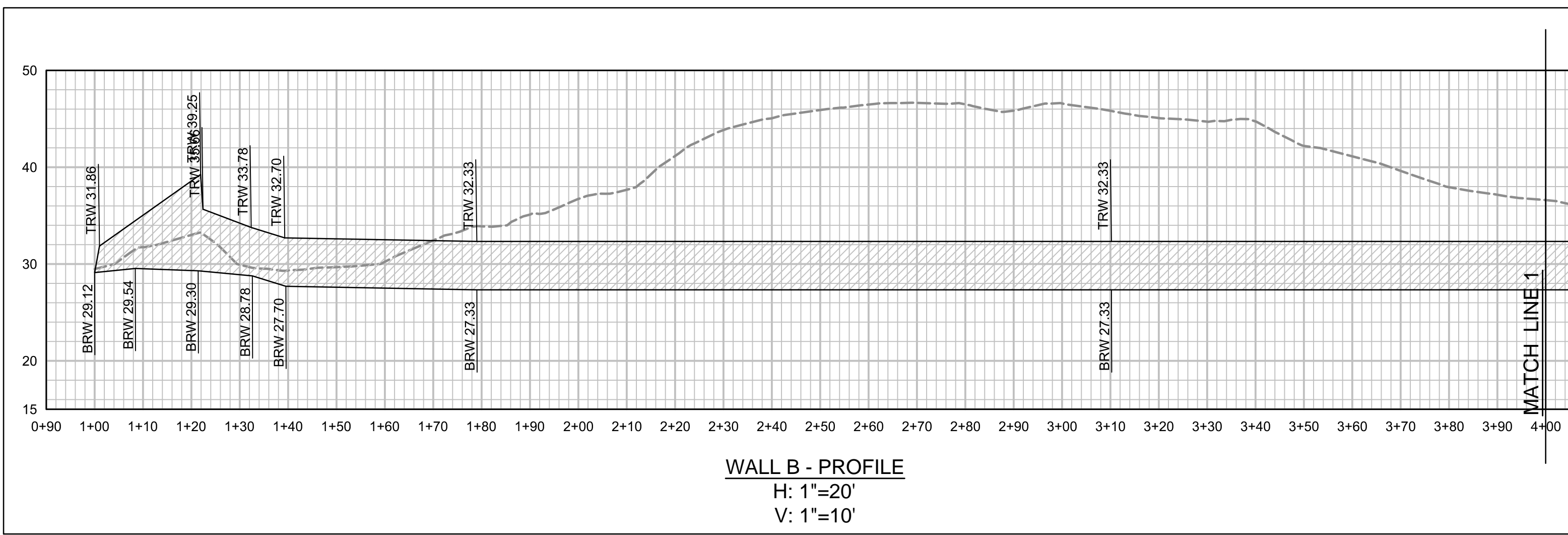
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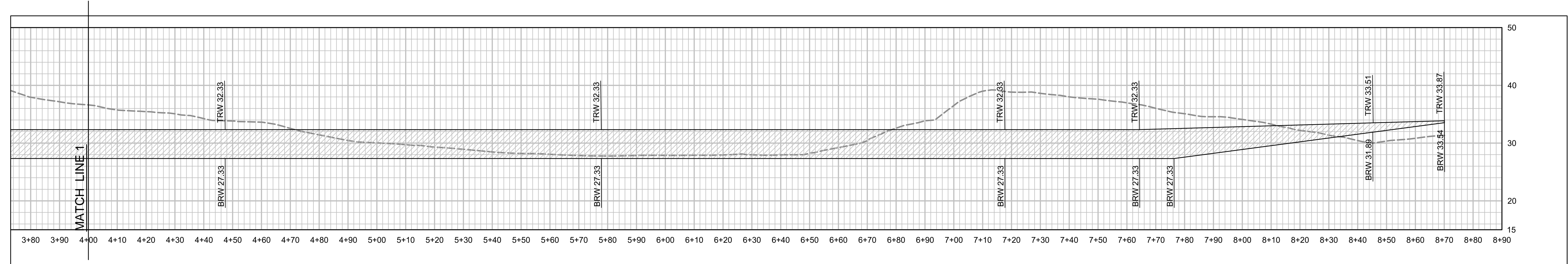
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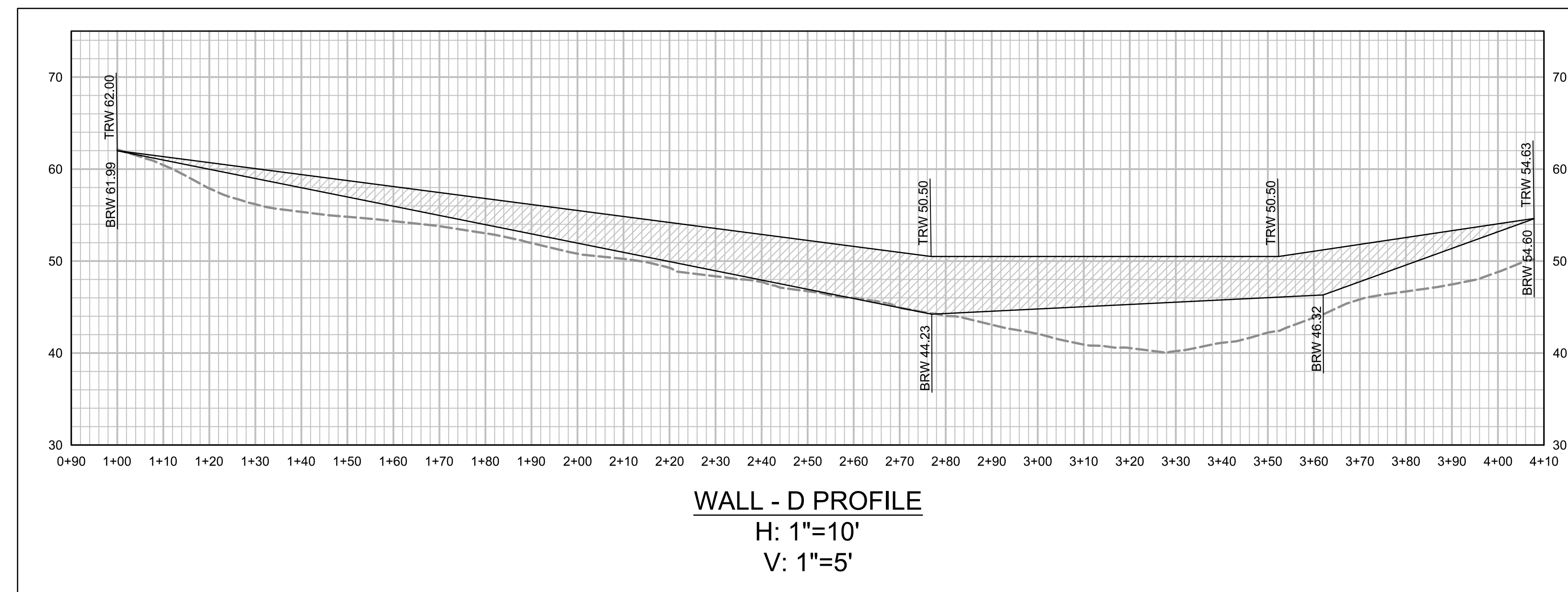
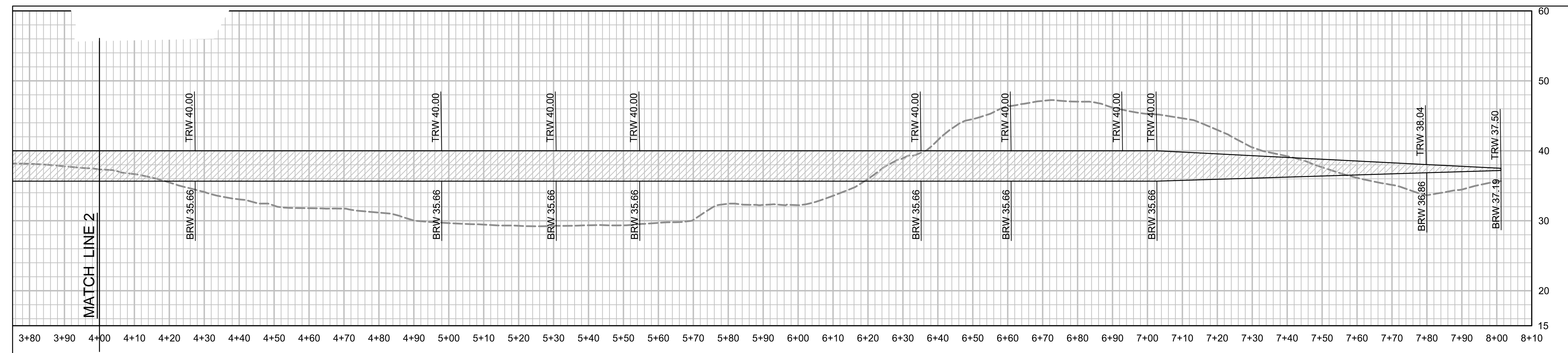
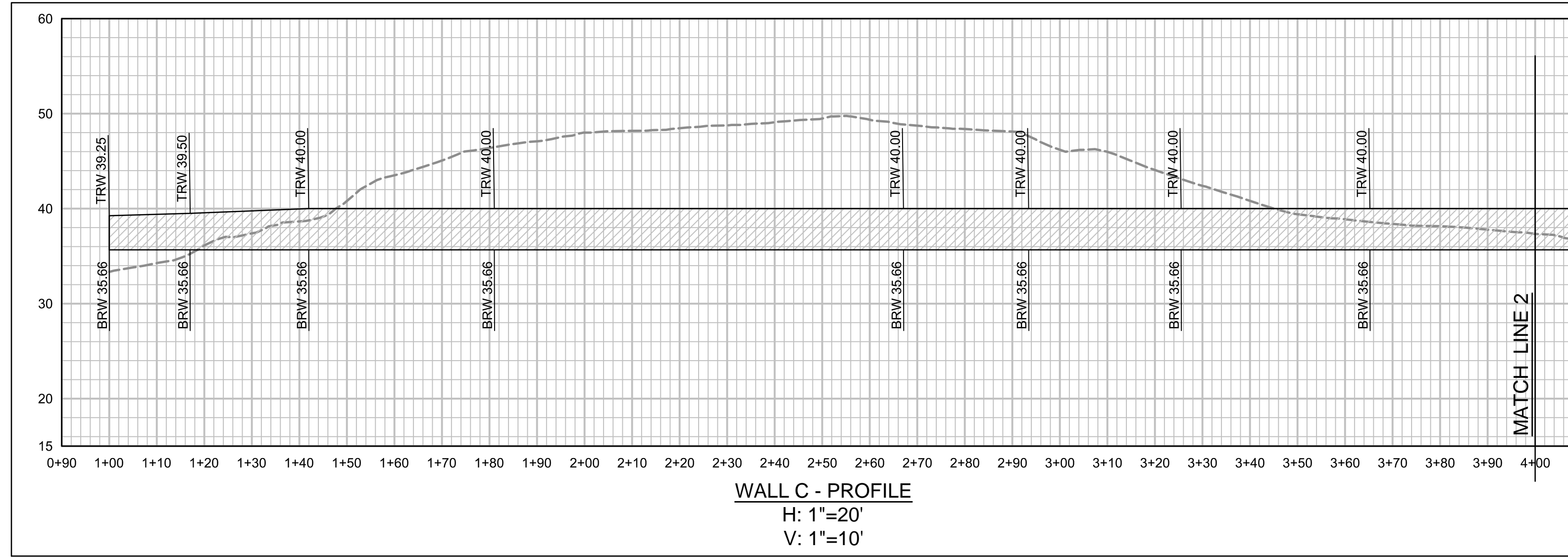


WALL A - PROFILE
H: 1"=20'
V: 1"=10'

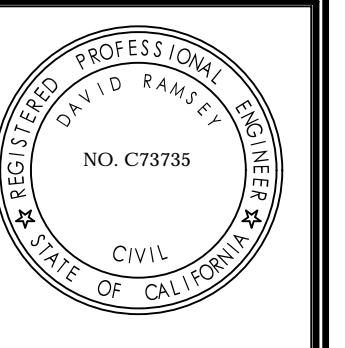


WALL B - PROFILE
H: 1"=20'
V: 1"=10'





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APN# 018-372-14
PLAN TYPE
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SUBDIVISION

RETAINING WALL PROFILES (WALL C & D)
HILLCREST SUBDIVISION
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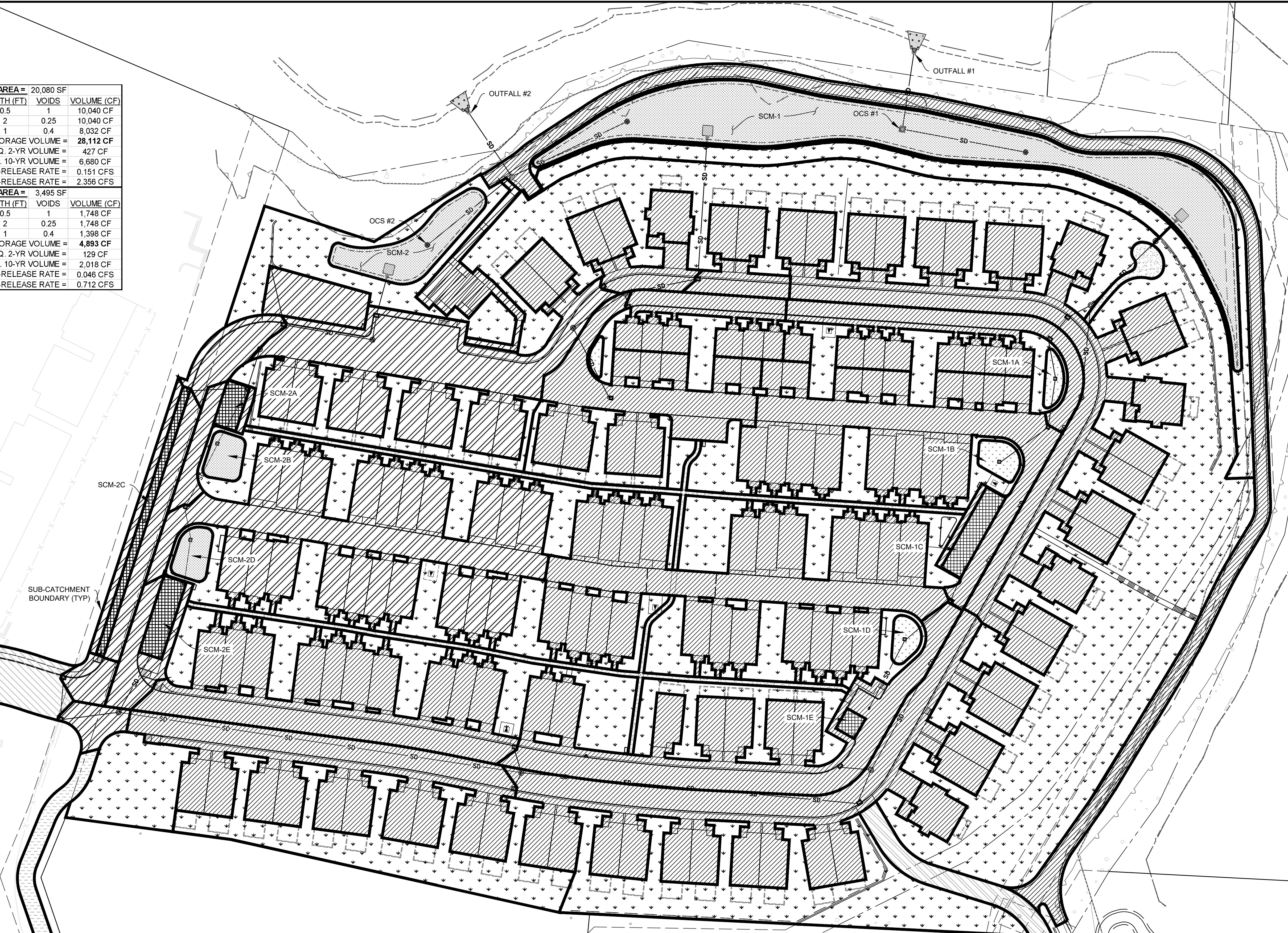
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SHEET:

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| SCM-1 AREA = 20,080 SF | | | |
|---|------------|-------|-------------|
| | DEPTH (FT) | VOIDS | VOLUME (CF) |
| PONDING: | 0.5 | 1 | 10,040 CF |
| BIO SOIL: | 2 | 0.25 | 10,040 CF |
| STONE: | 1 | 0.4 | 8,032 CF |
| TOTAL PROVIDED STORAGE VOLUME = 28,112 CF | | | |
| REQ. 2-YR VOLUME = 427 CF | | | |
| REQ. 10-YR VOLUME = 6,680 CF | | | |
| 2-YR PRE-RELEASE RATE = 0.151 CFS | | | |
| 10-YR, 15-MN PRE-RELEASE RATE = 2.356 CFS | | | |
| SCM-2 AREA = 3,495 SF | | | |
| | DEPTH (FT) | VOIDS | VOLUME (CF) |
| PONDING: | 0.5 | 1 | 1,748 CF |
| BIO SOIL: | 2 | 0.25 | 1,748 CF |
| STONE: | 1 | 0.4 | 1,398 CF |
| TOTAL PROVIDED STORAGE VOLUME = 4,893 CF | | | |
| REQ. 2-YR VOLUME = 129 CF | | | |
| REQ. 10-YR VOLUME = 2,018 CF | | | |
| 2-YR PRE-RELEASE RATE = 0.046 CFS | | | |
| 10-YR PRE-RELEASE RATE = 0.712 CFS | | | |



PROJECT INFORMATION:
 - APN: 018-372-14
 - LOCATED WITHIN WATER MANAGEMENT ZONE 1

PCR 1 - SITE DESIGN & RUNOFF REDUCTION:
 - THE PROJECT WILL BE CONSTRUCTED TO LIMIT THE DISTURBANCE TO NATURAL DRAINAGE FEATURES WITH ONLY MINOR DISTURBANCE TO THE SLOUGH AS NEEDED TO INSTALL THE DRAINAGE OUTFALLS. COMPACTION OF SOILS WILL BE PERFORMED UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER AND WILL ONLY BE PERFORMED WHERE NECESSARY. CLEARING AND GRADING OF NATIVE VEGETATION WILL NOT TAKE PLACE WITHIN RIPARIAN AREAS.
 - EFFORTS TO REDUCE IMPERVIOUS SURFACE INCLUDE PROVIDING REDUCED ROADWAY WIDTHS WHERE POSSIBLE, SHORTER DRIVEWAY LENGTHS, PROVIDING INTERIOR PARKING, AND PROVIDING PERMEABLE PAVEMENT MATERIALS FOR CERTAIN PARKING AREAS.
 - EFFORTS TO DECENTRALIZE THE STORMWATER SYSTEM HAVE BEEN MADE BY PROVIDING ADDITIONAL LANDSCAPE DEPRESSIONS AND PERMEABLE PARKING AREAS THAT WILL SLOW THE FLOW OF INCOMING STORMWATER TO EACH BIOFILTRATION SYSTEM

PCR 2 - WATER QUALITY TREATMENT:
 - BASED ON THE GEOTECHNICAL FINDINGS, THERE IS ADEQUATE EVIDENCE TO PROVE TECHNICAL INFEASIBILITY FOR PROVIDING ANY ON-SITE RETENTION DUE TO THE LOW PERMEABLE SOILS.
 - THE 85TH PERCENTILE, 24-HOUR STORM FOR THIS LOCATION IS 0.8 INCHES.
 - WATER QUALITY TREATMENT SIZING CALCULATIONS WERE PERFORMED USING THE CENTRAL COAST SIZING CALCULATOR.
 - THE MINIMUM REQUIRED SIZE FOR SCM-1 IS 8,367 SF.
 - THE MINIMUM REQUIRED SIZE FOR SCM-2 IS 2,528 SF

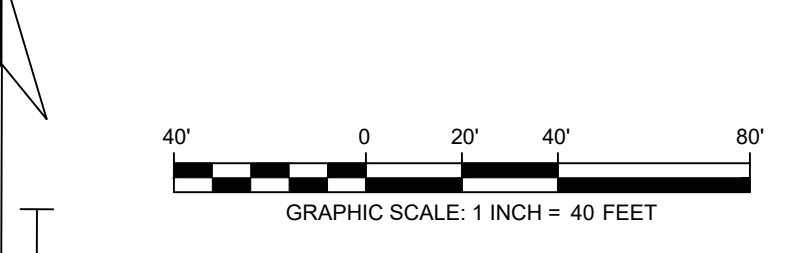
PCR 3 - RUNOFF RETENTION:
 - DUE TO LACK OF INFILTRATION THROUGHOUT THE SITE, THE PROJECT WILL SEEK TECHNICAL INFEASIBILITY FOR RUNOFF RETENTION. INSTEAD, THIS PROJECT WILL DEDICATE TEN PERCENT OF THE PROJECTS EQUIVALENT IMPERVIOUS SURFACE AREA TO RETENTION BASED STORMWATER CONTROL MEASURES.
 - THE TOTAL EISA = 275,908 SF, THEREFORE THE MINIMUM 10% REQUIRED AREA IS 27,591 SF. THE PROVIDED AREA IS 28,321 SF, WHICH INCLUDES THE SCM-1, SCM-2, SCM-1C, SCM-1E, SCM-2A, SCM-2C, AND SCM-2E.

PCR 4 - PEAK MANAGEMENT:
 - DETENTION VOLUMES, PRE-DEVELOPMENT, AND POST DEVELOPMENT FLOWRATES WERE CALCULATED USING THE SANTA CRUZ COUNTY SWM-17 CALCULATOR.
 - FLOWS WILL BE METERED INTO THE SLOUGH VIA THE TWO OUTLET CONTROL STRUCTURES LOCATED WITHIN SCM-1 AND SCM-2. POST DEVELOPMENT FLOWS WILL NOT EXCEED PRE-DEVELOPMENT FLOW-RATES.

NOTES:
 - A FULL STORMWATER REPORT WILL BE PROVIDED WITH THE CONSTRUCTION DOCUMENT SUBMITTAL SET.
 - AN O&M MANUAL WILL BE INCLUDED WITH THE CONSTRUCTION DOCUMENTS SET.

LEGEND

| | |
|--|--|
| | DMA-1 (IMPERVIOUS) |
| | DMA-2 (IMPERVIOUS) |
| | DMA-3 - FIRE ACCESS (IMPERVIOUS) |
| | DMA-4 - LOMA VISTA ENTRANCE (IMPERVIOUS) |
| | DMA-5 - ERRINGTON RD (IMPERVIOUS) |
| | RAINGARDEN |
| | PERMEABLE PAVERS |
| | DECOMPOSED GRANITE (DG) |
| | LANDSCAPE |



| ON-SITE DMA SUMMARY | | | | | |
|---|------------|-----------|---------------------|------------|------------|
| | DMA-1 | DMA-2 | DMA-3 (FIRE ACCESS) | TOTAL | EISA |
| BIORETENTION AREA = | 20,080 SF | 3,495 SF | - | 23,575 SF | - |
| LANDSCAPE DEPRESSIONS = | 2,020 SF | 2,004 SF | - | 4,024 SF | - |
| PERMEABLE PAVERS (C=0.1) = | 1,539 SF | 3,207 SF | - | 4,746 SF | 475 SF |
| IMPERVIOUS AREA (C=0.9) = | 208,416 SF | 62,871 SF | 3,533 SF | 274,820 SF | 274,820 SF |
| DG PATHWAYS (C=0.1) = | 6,132 SF | - | - | 6,132 SF | 613 SF |
| TRIBUTARY AREA ¹ = | 216,087 SF | 66,078 SF | - | 282,165 SF | - |
| TOTAL EISA² = 275,908 SF | | | | | |
| 10% EISA = 27,591 SF | | | | | |
| TOTAL PROVIDED RETENTION BASED SCM'S (BIORETENTION + PERMEABLE PAVERS) = 28,321 SF | | | | | |

NOTE 1 - TOTAL TRIBUTARY AREA (WITHOUT MODIFICATION FACTORS)
 NOTE 2 - TOTAL EISA ACCOUNTS FOR MODIFICATION FACTORS
 NOTE: LANDSCAPE AREAS ARE COMPLIANT WITH WELO ORDINANCE AND THEREFORE ARE EXCLUDED FROM THE EISA PER ATTACHMENT E OF R3-2013-0032

| OFF-SITE DMA SUMMARY | | | | |
|----------------------|-----------------------|----------------------|-----------|------|
| | DMA-4 (LOMA ENTRANCE) | DMA-5 (ERRINGTON RD) | TOTAL | EISA |
| IMPERVIOUS AREA = | 5,716 SF | 7,362 SF | 13,078 SF | - |

| SCM-SUMMARY | | |
|------------------------------|----------------------|-----------|
| SCM # | SCM TYPE | SCM AREA |
| SCM-1 | LARGE BIOSWALE | 20,080 SF |
| SCM-1A | LANDSCAPE DEPRESSION | 544 SF |
| SCM-1B | LANDSCAPE DEPRESSION | 802 SF |
| SCM-1C | PERMEABLE PAVERS | 1,240 SF |
| SCM-1D | LANDSCAPE DEPRESSION | 674 SF |
| SCM-1E | PERMEABLE PAVERS | 299 SF |
| SCM-2 | LARGE BIOSWALE | 3,495 SF |
| SCM-2A | PERMEABLE PAVERS | 660 SF |
| SCM-2B | LANDSCAPE DEPRESSION | 978 SF |
| SCM-2C | PERMEABLE PAVERS | 1,392 SF |
| SCM-2D | LANDSCAPE DEPRESSION | 1,026 SF |
| SCM-2E | PERMEABLE PAVERS | 1,155 SF |
| TOTAL BIORETENTION AREA = | | 23,575 SF |
| TOTAL LANDSCAPE DEPRESSION = | | 4,024 SF |
| TOTAL PERMEABLE PAVERS = | | 4,746 SF |

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DAVID RAMSEY DATE
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APN# 018-372-14
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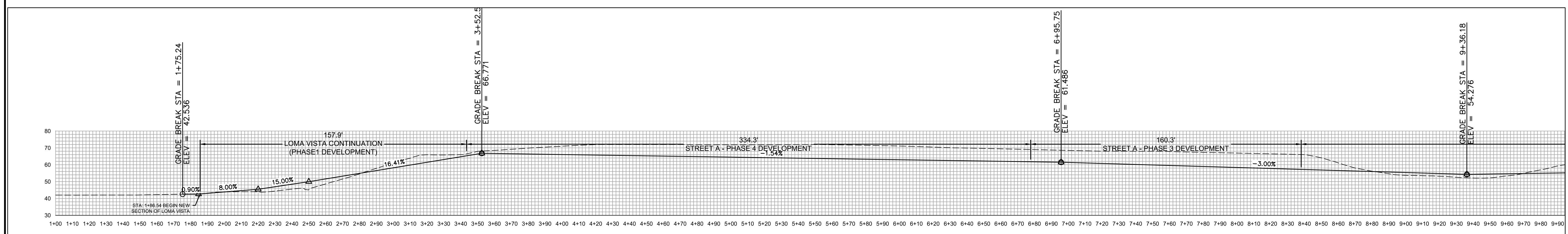
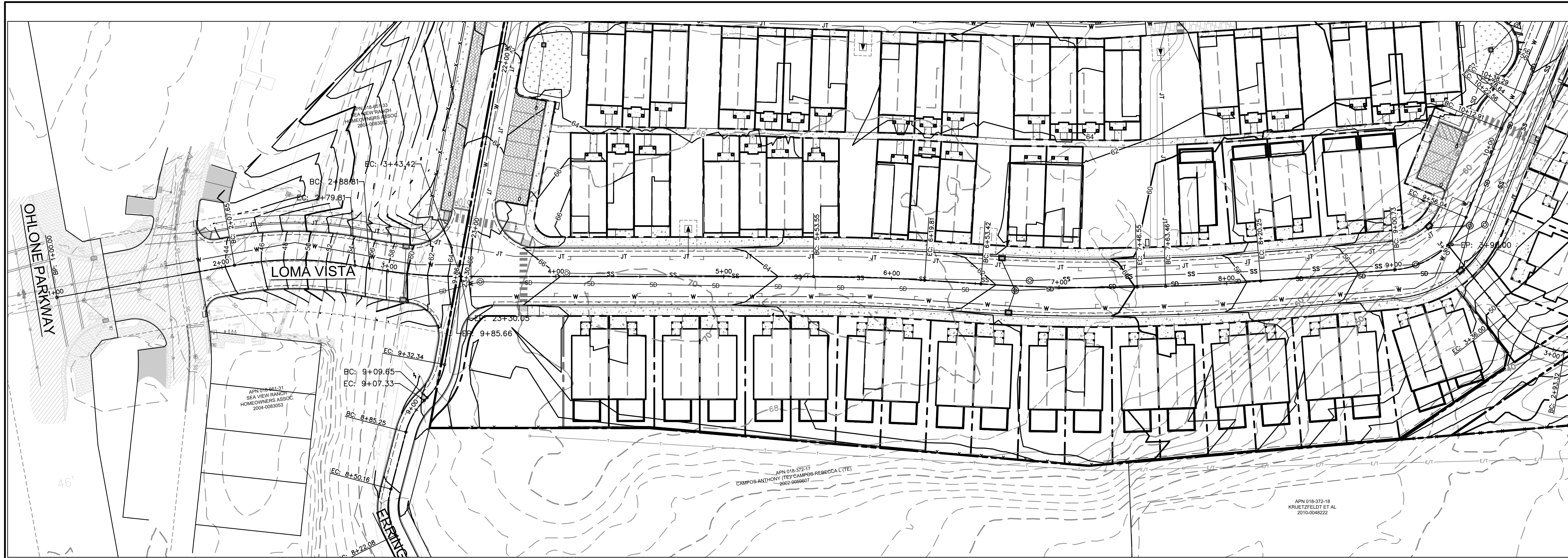
STORMWATER CONTROL PLAN
 HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA, 95076

| DATE | DESCRIPTION | BY | REVISION BLOCK |
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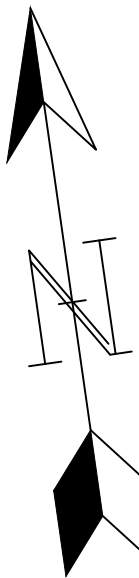
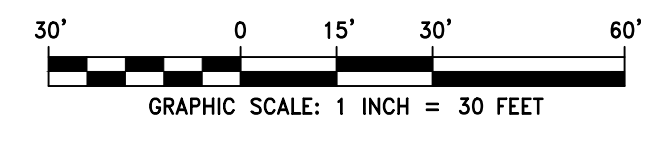
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 SCALE: AS NOTED
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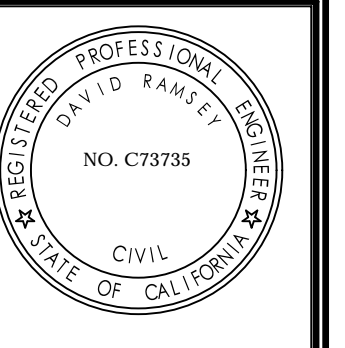
SWCP-1



STREET A - PLAN & PROFILE
STA: 1+00 - 9+50



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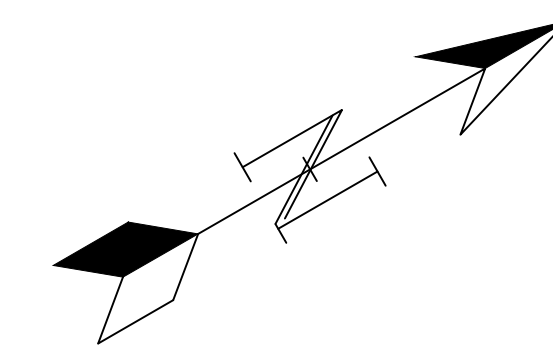
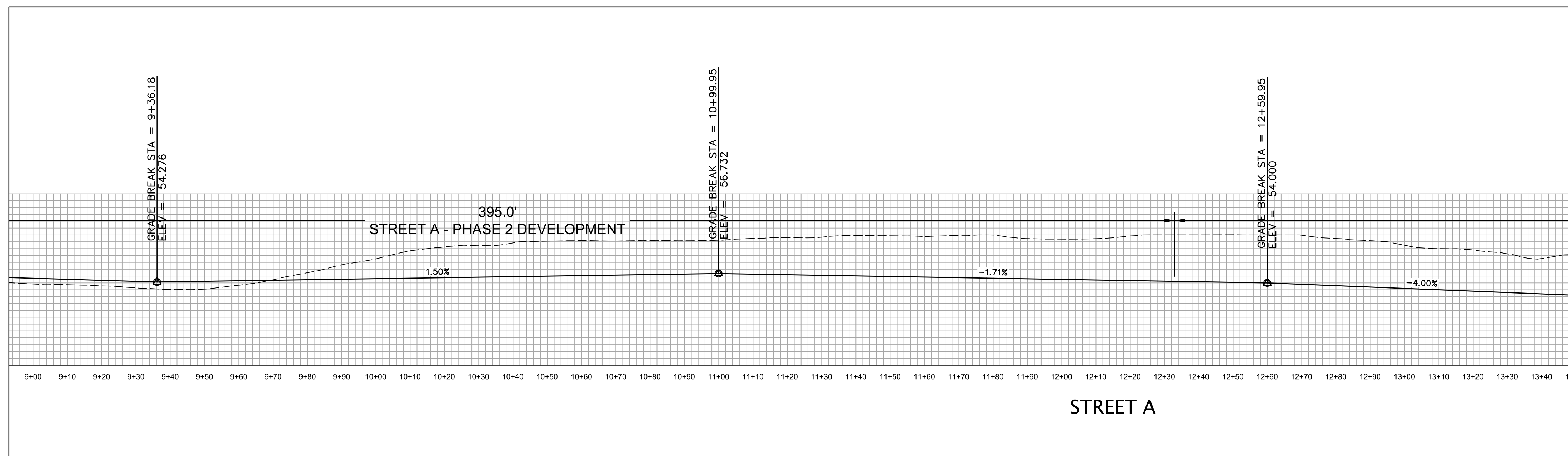
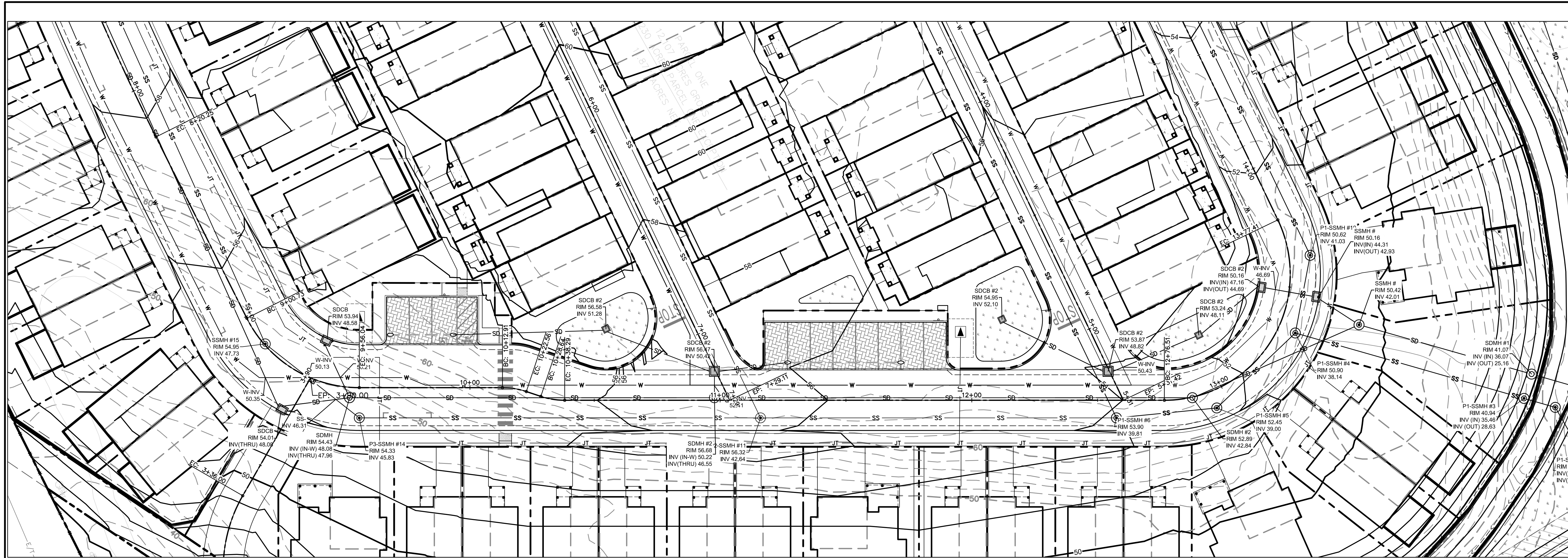
STREET A - PLAN & PROFILE (STA: 1+00 - 9+50)
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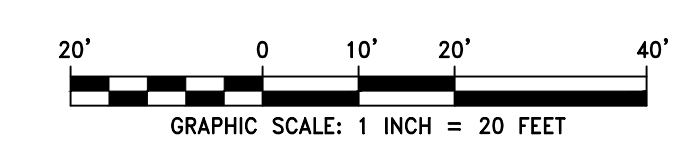
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STREET A - PLAN & PROFILE
STA: 9+50 - 13+60



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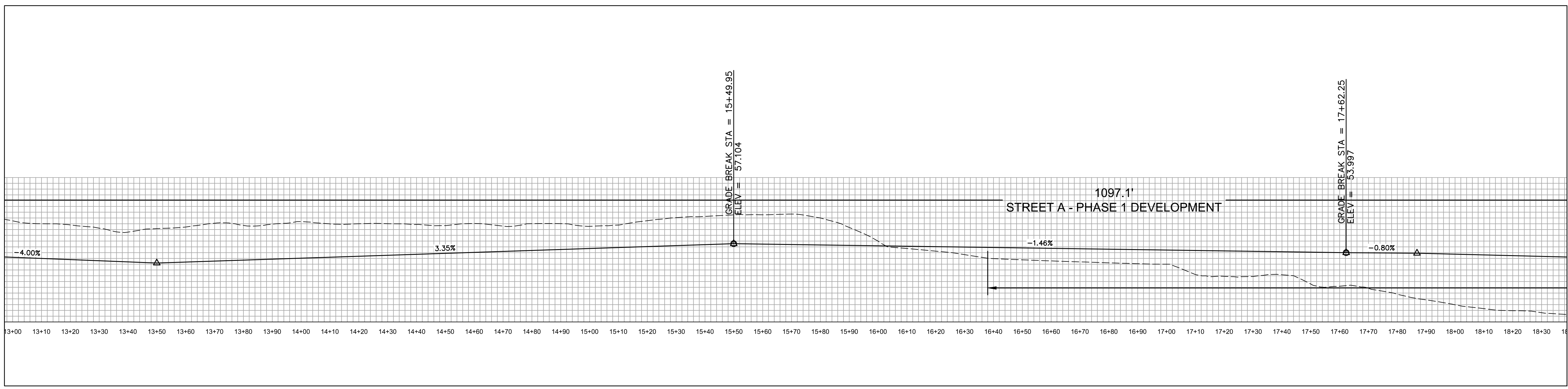
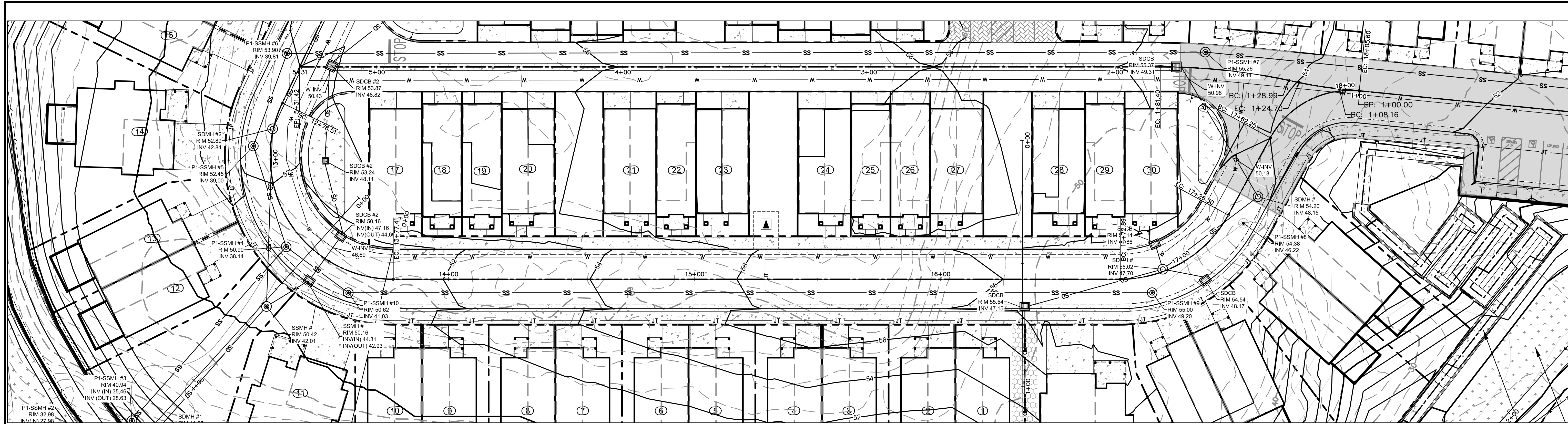
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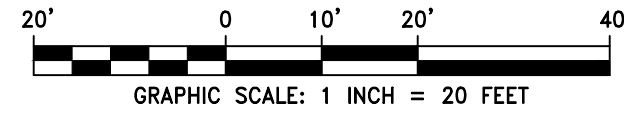
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STREET A - PLAN & PROFILE
STA: 13+60 - 18+30



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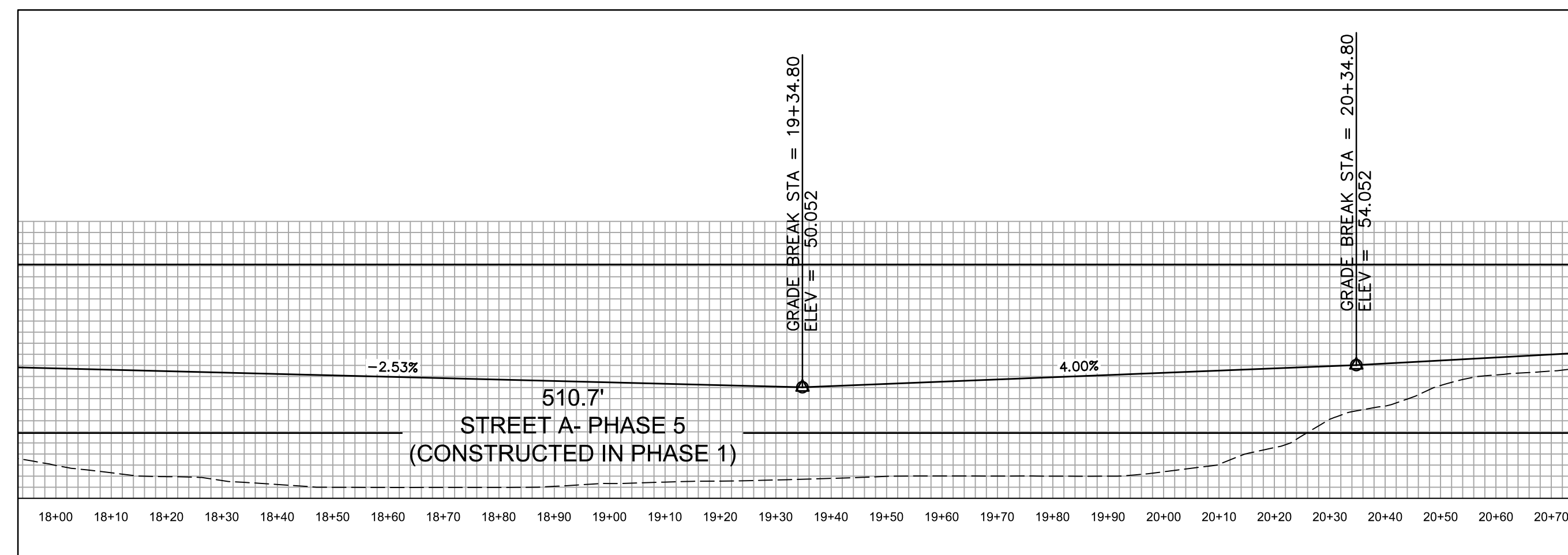
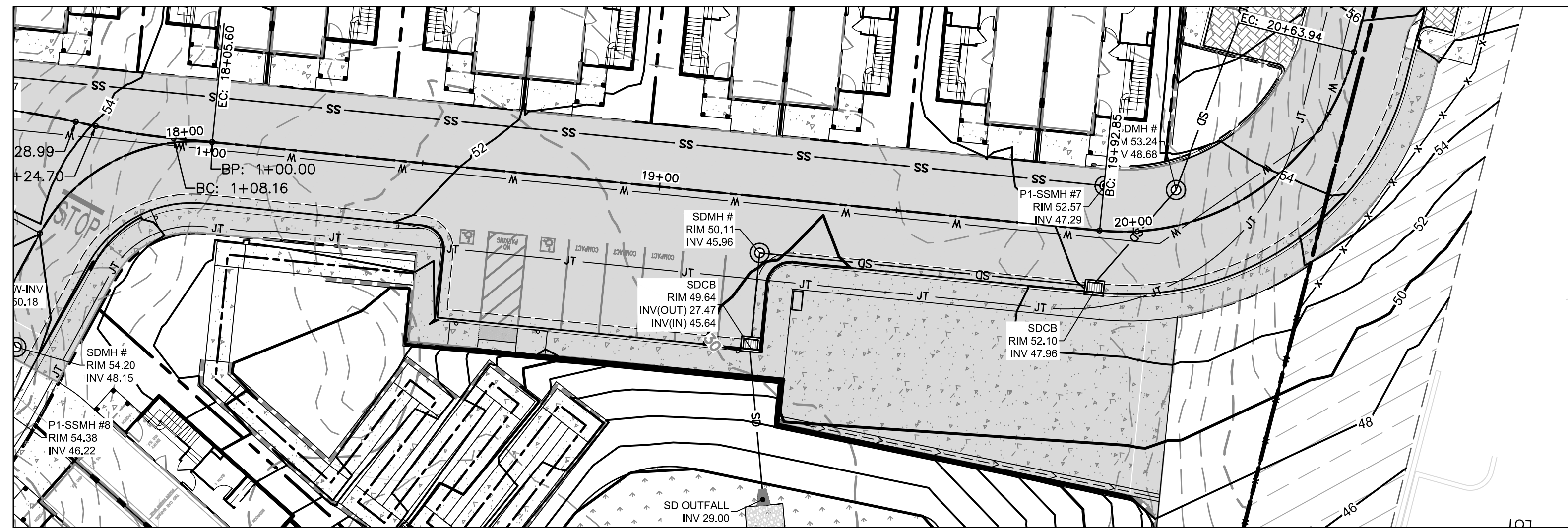
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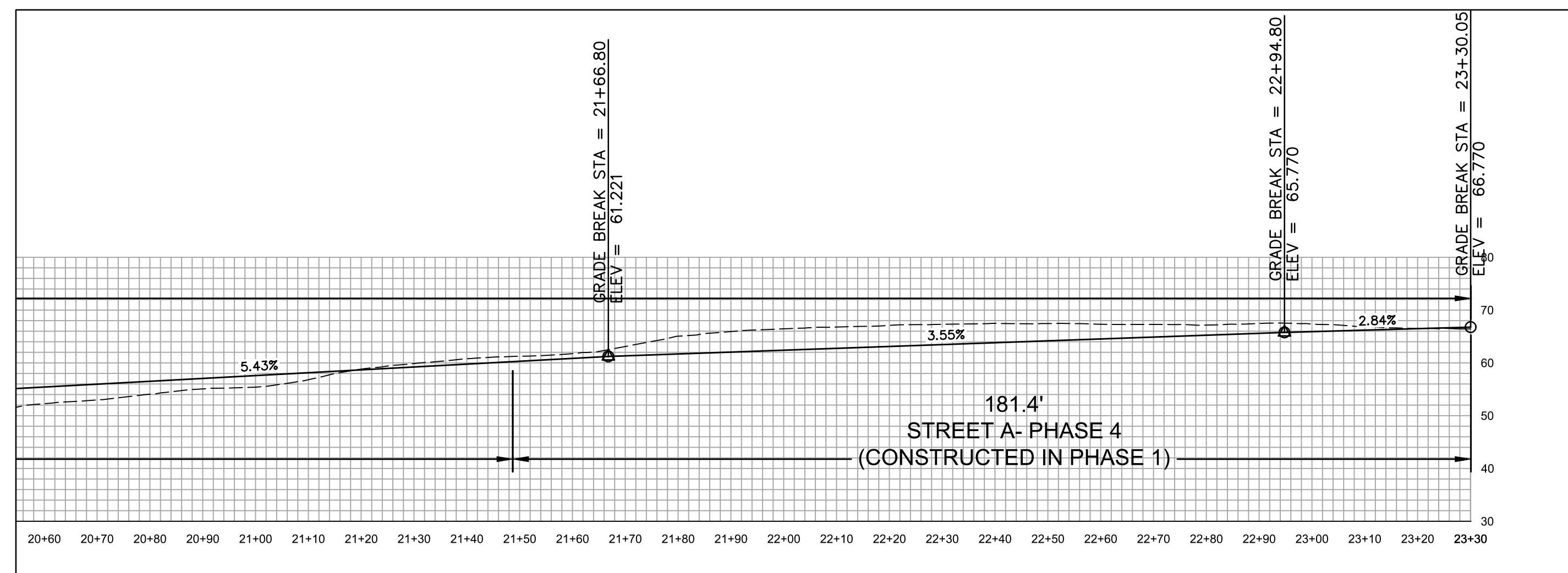
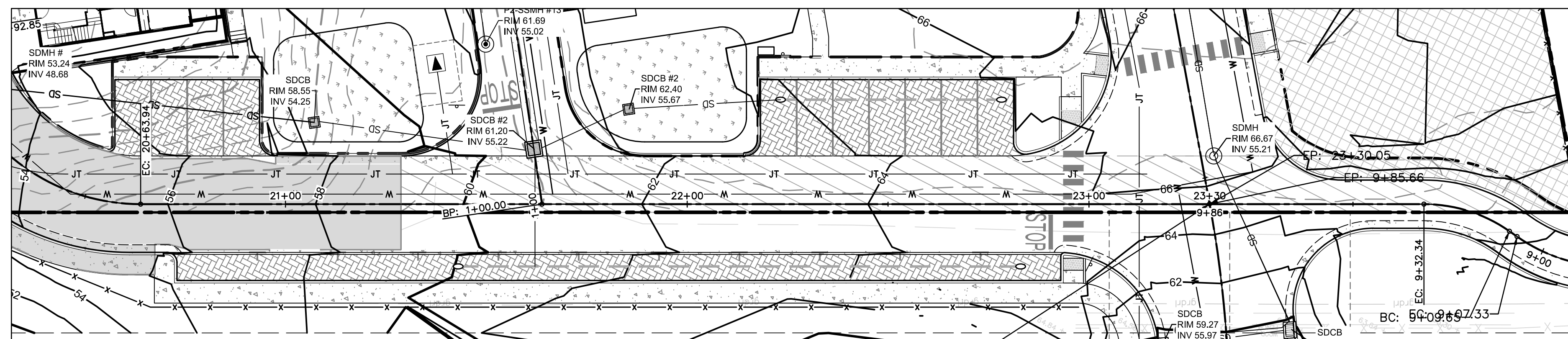
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STREET A - PLAN & PROFILE
STA: 18+20 - 20+64



STREET A - PLAN & PROFILE
STA: 20+64 - 23+30

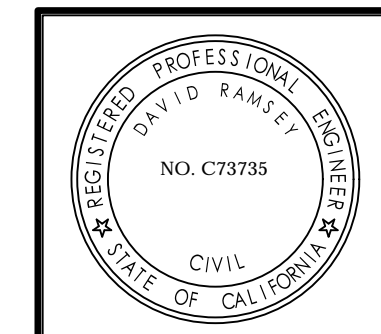


STREET A - PLAN & PROFILE



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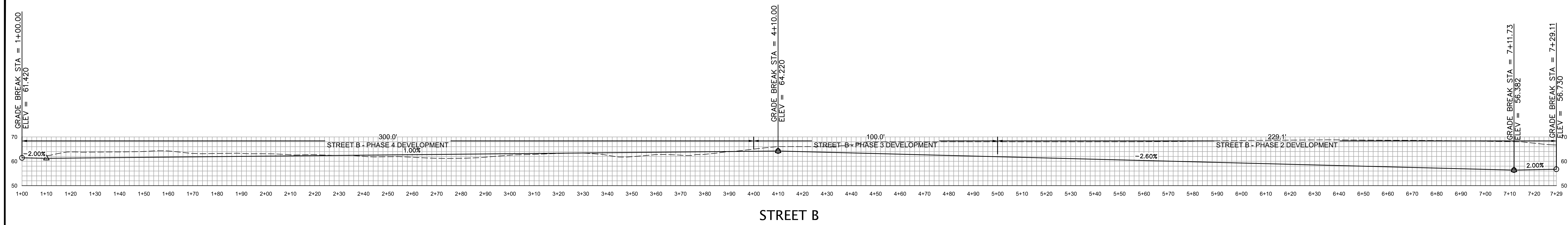
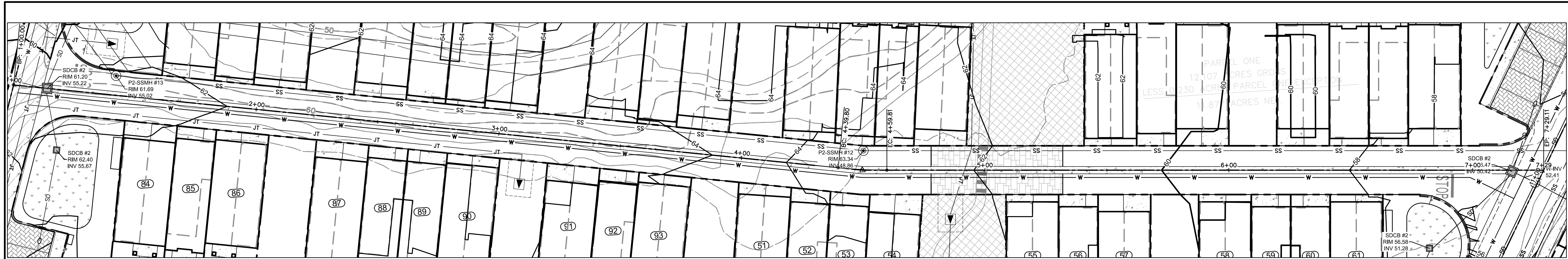
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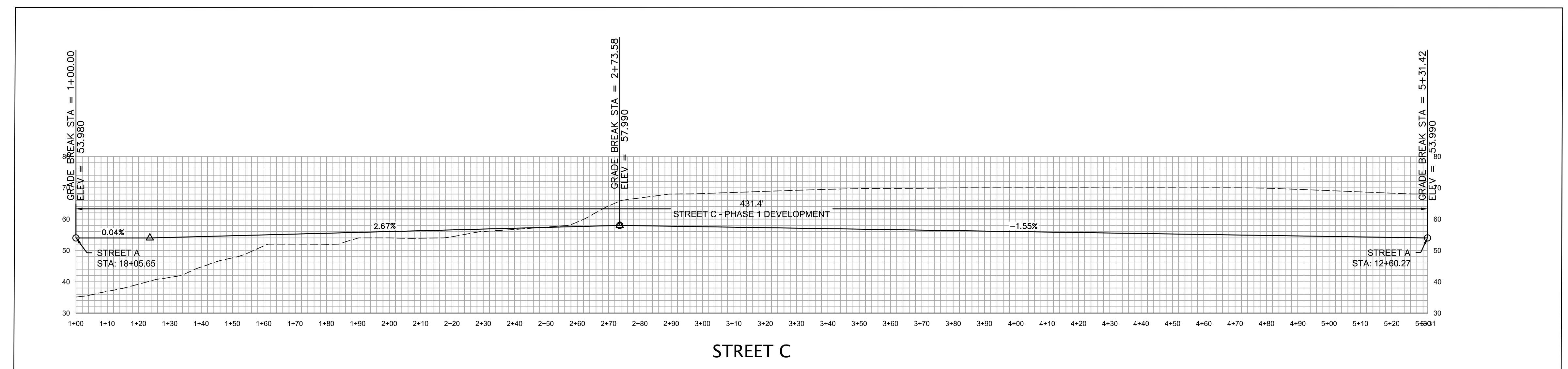
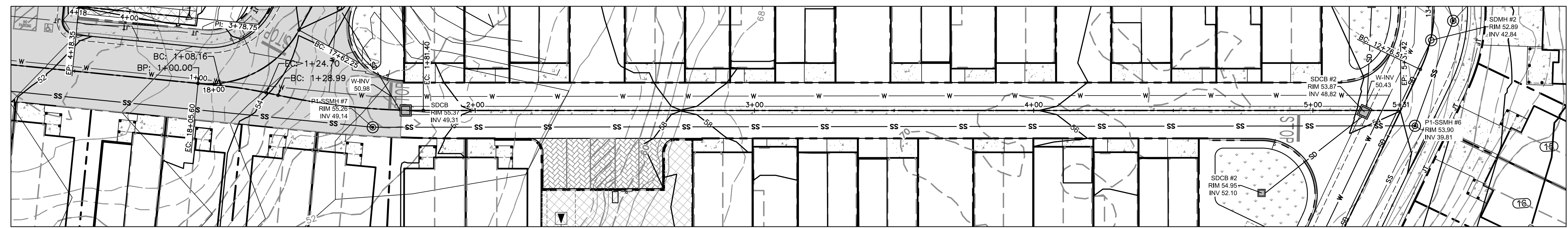
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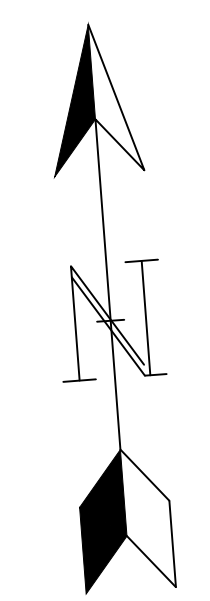
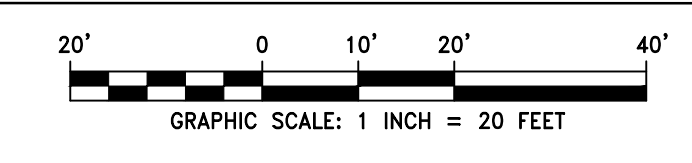


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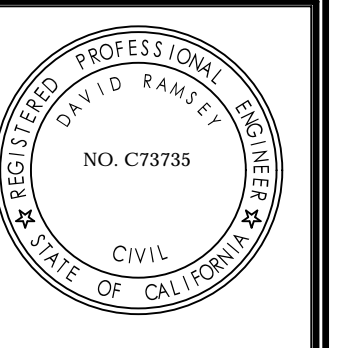


STREET C

STREET B & STREET C - PLAN & PROFILE



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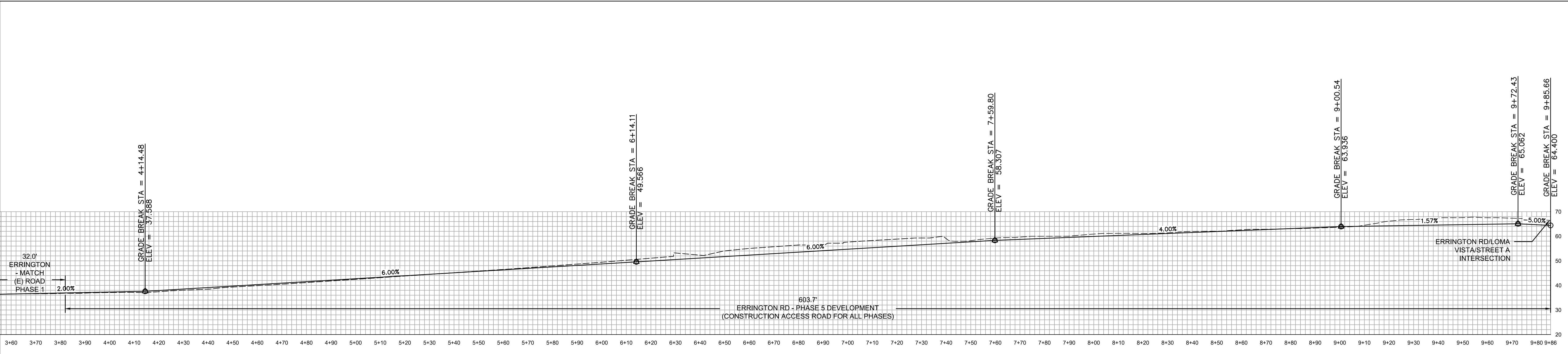
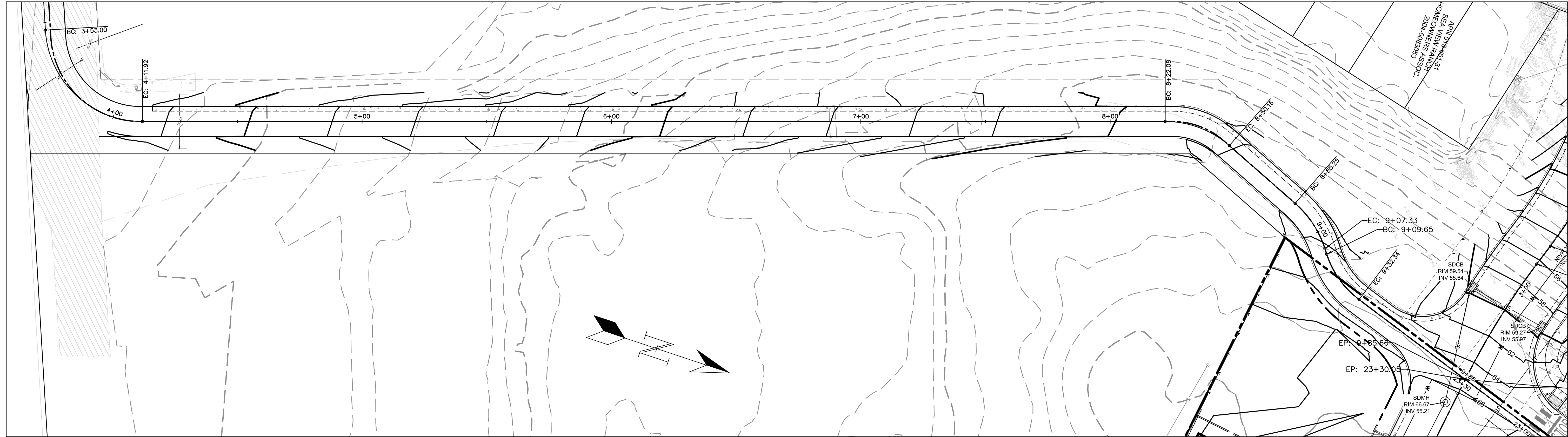
APN# 018-372-14
PLAN TYPE
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HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

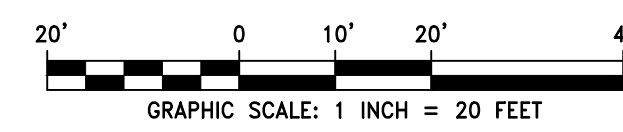
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ERRINGTON ROAD (SECONDARY ENTRANCE ROAD) - PLAN & PROFILE



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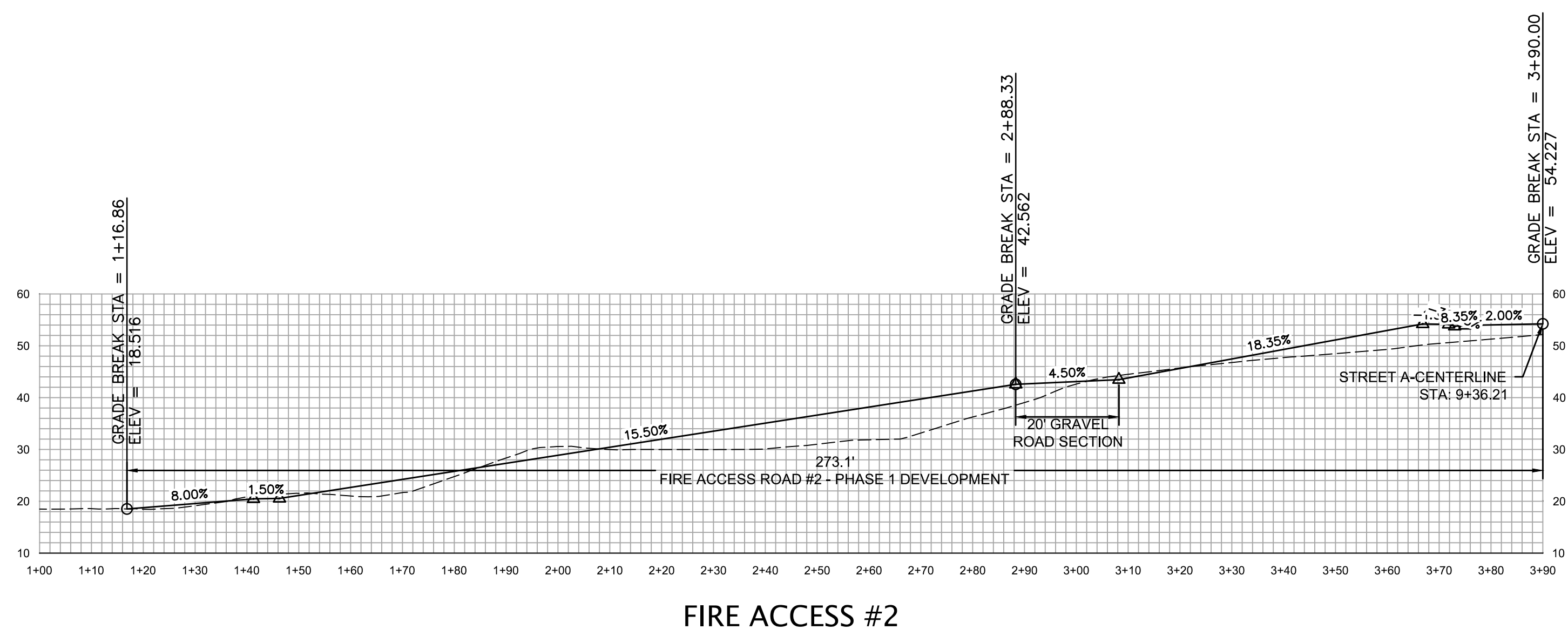
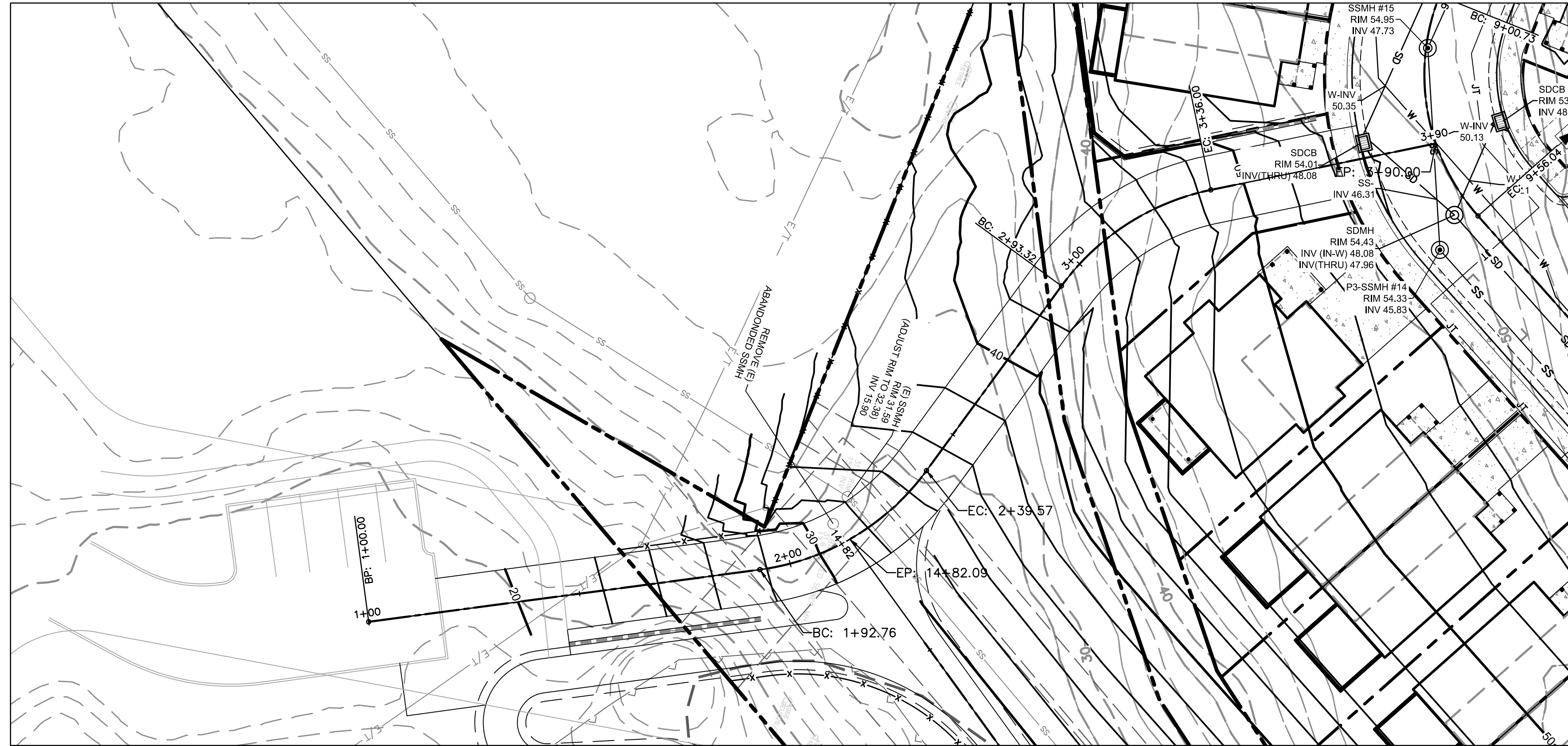
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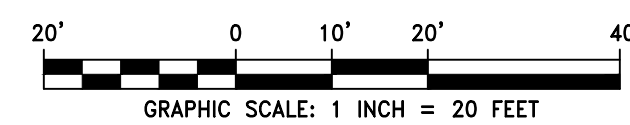
C6.5



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 Call before you dig.



FIRE ACCESS ROAD #2 (VIA SUNSHINE GARDEN) - PLAN & PROFILE



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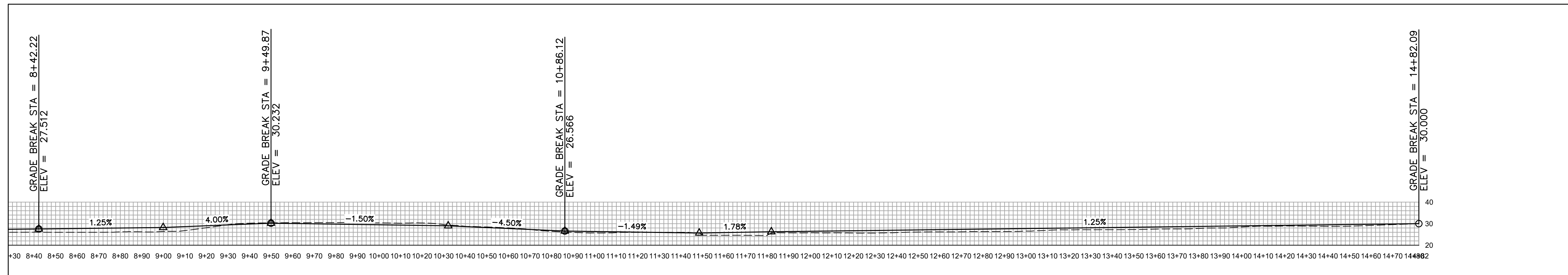
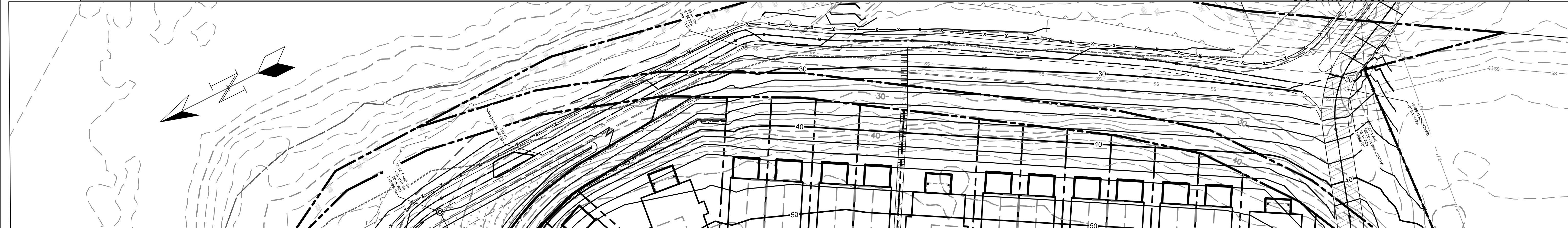
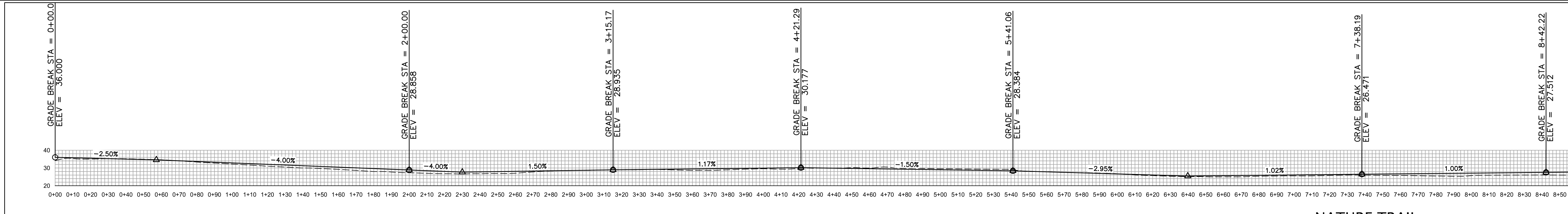
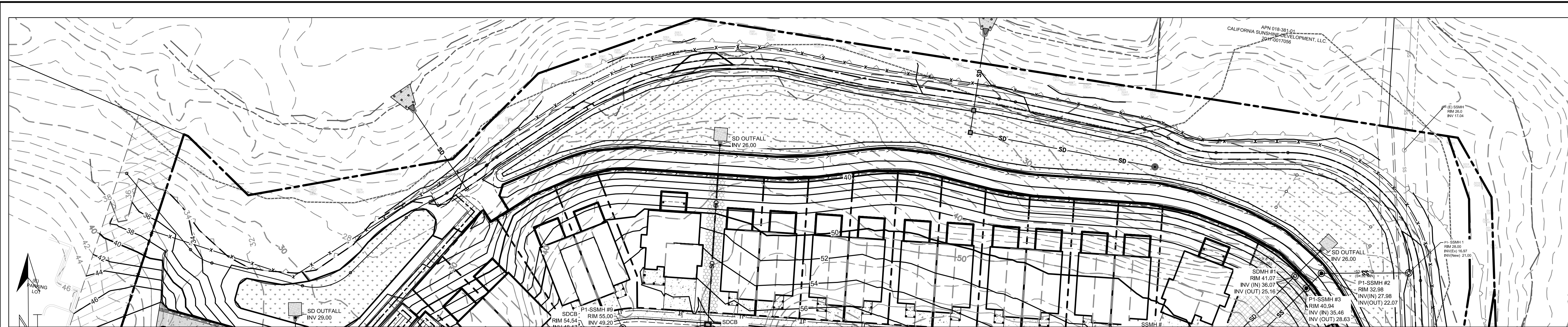
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FIRE ACCESS ROAD #2 (VIA SUNSHINE GARDEN)
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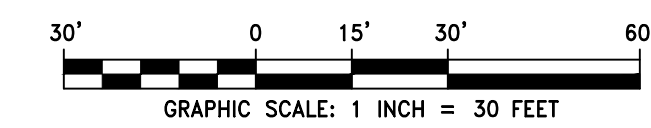
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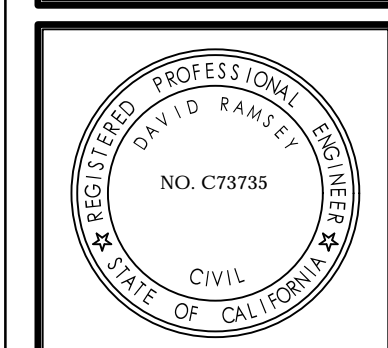
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NATURE TRAIL - PLAN & PROFILE



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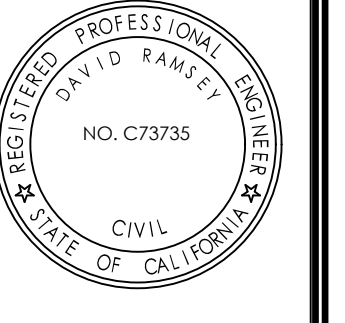
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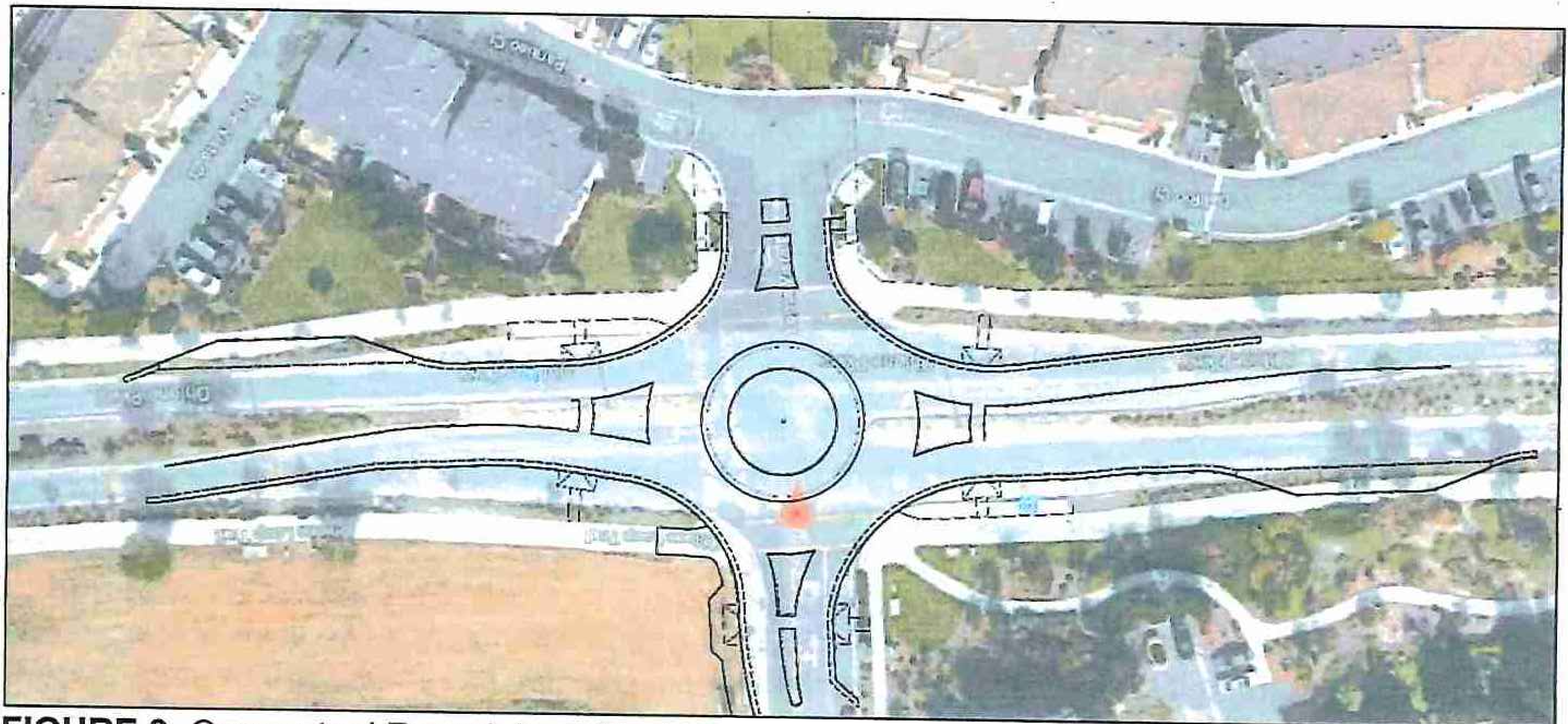
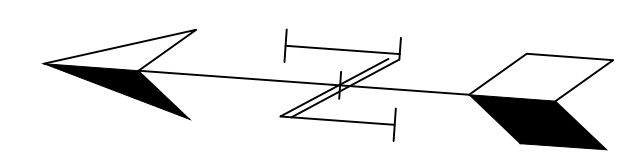


FIGURE 3. Conceptual Roundabout Design



NATURE TRAIL - PLAN & PROFILE



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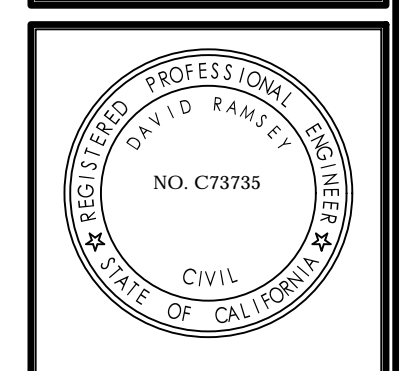
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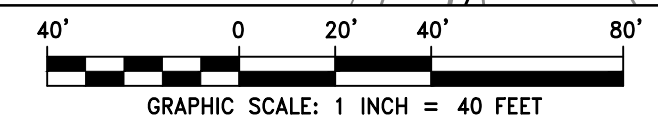
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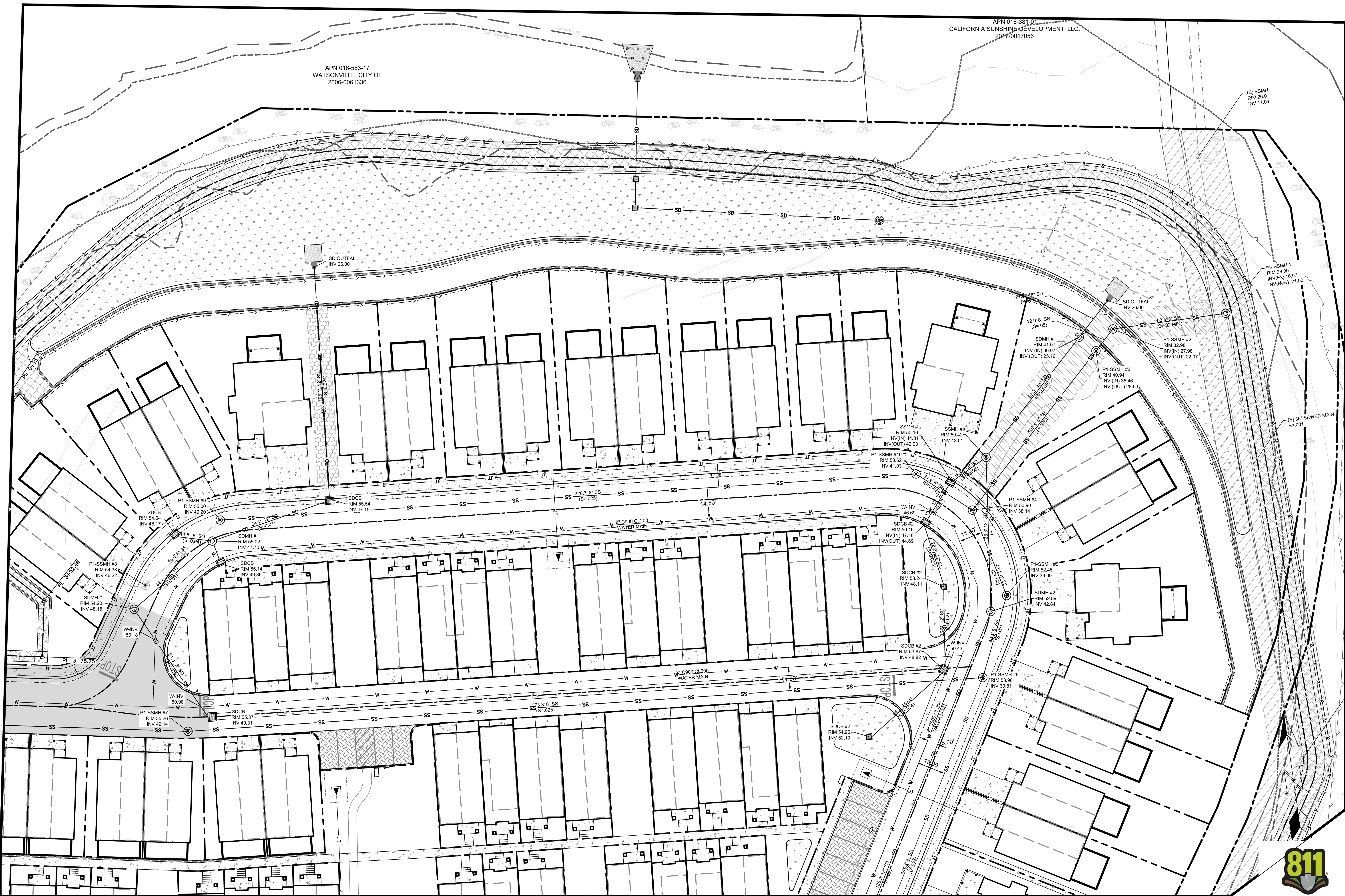
C8.0

PRELIMINARY UTILITY PLAN



APN 018-583-17
WATSONVILLE, CITY OF
2006-0061336

APN 018-381-01
CALIFORNIA SUNSHINE DEVELOPMENT, LLC
2017-0017056



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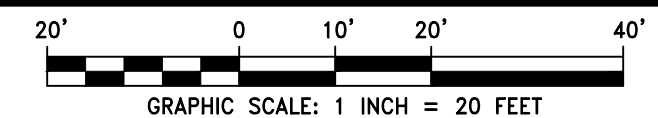
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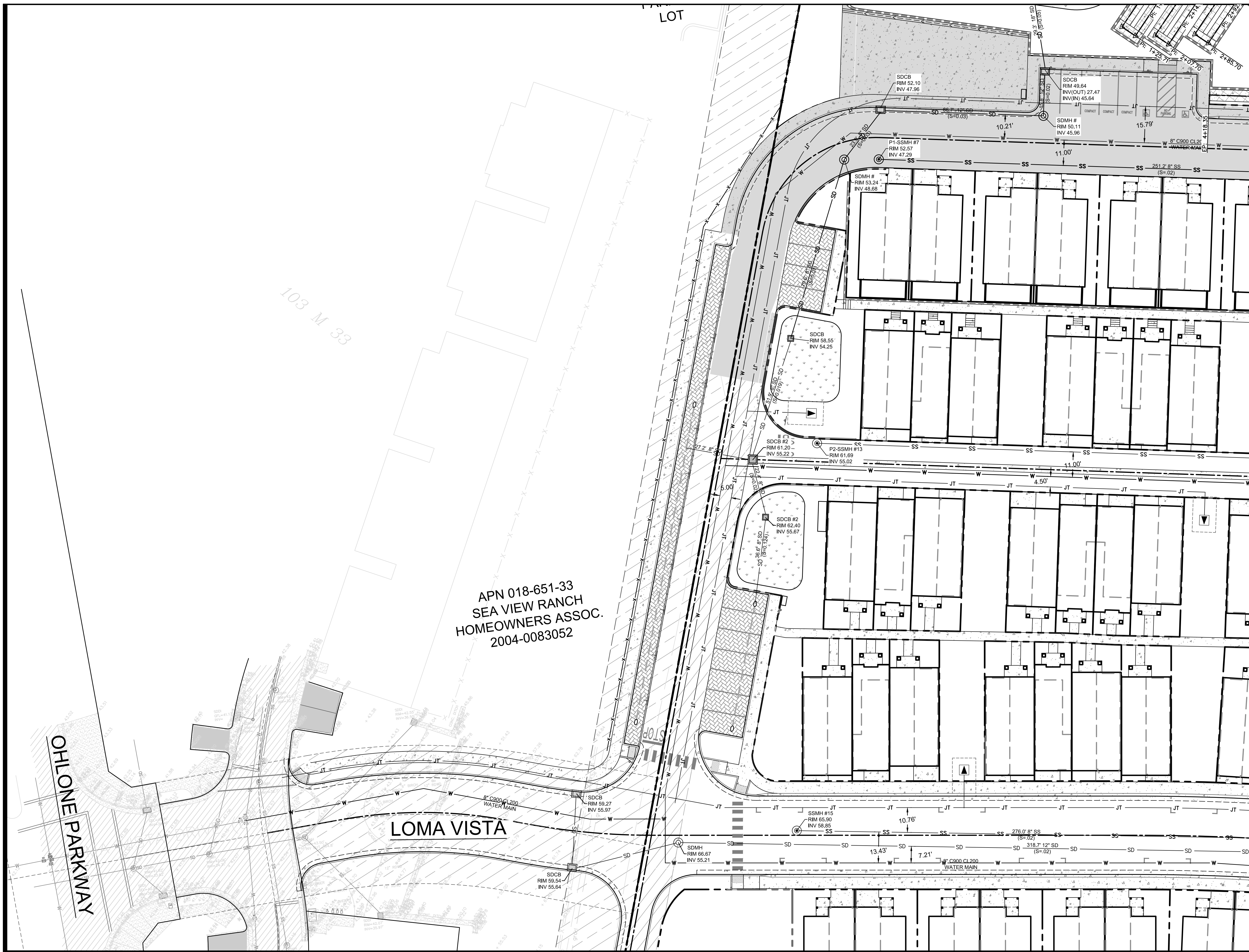
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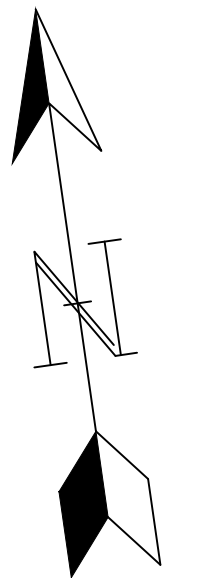


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 SEA VIEW RANCH
 HOMEOWNERS ASSOC.
 2004-0083052

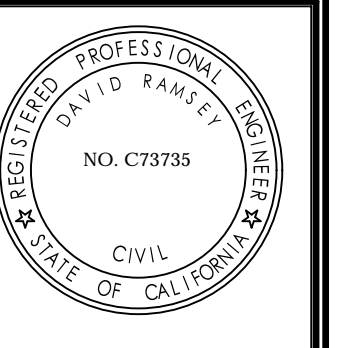
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