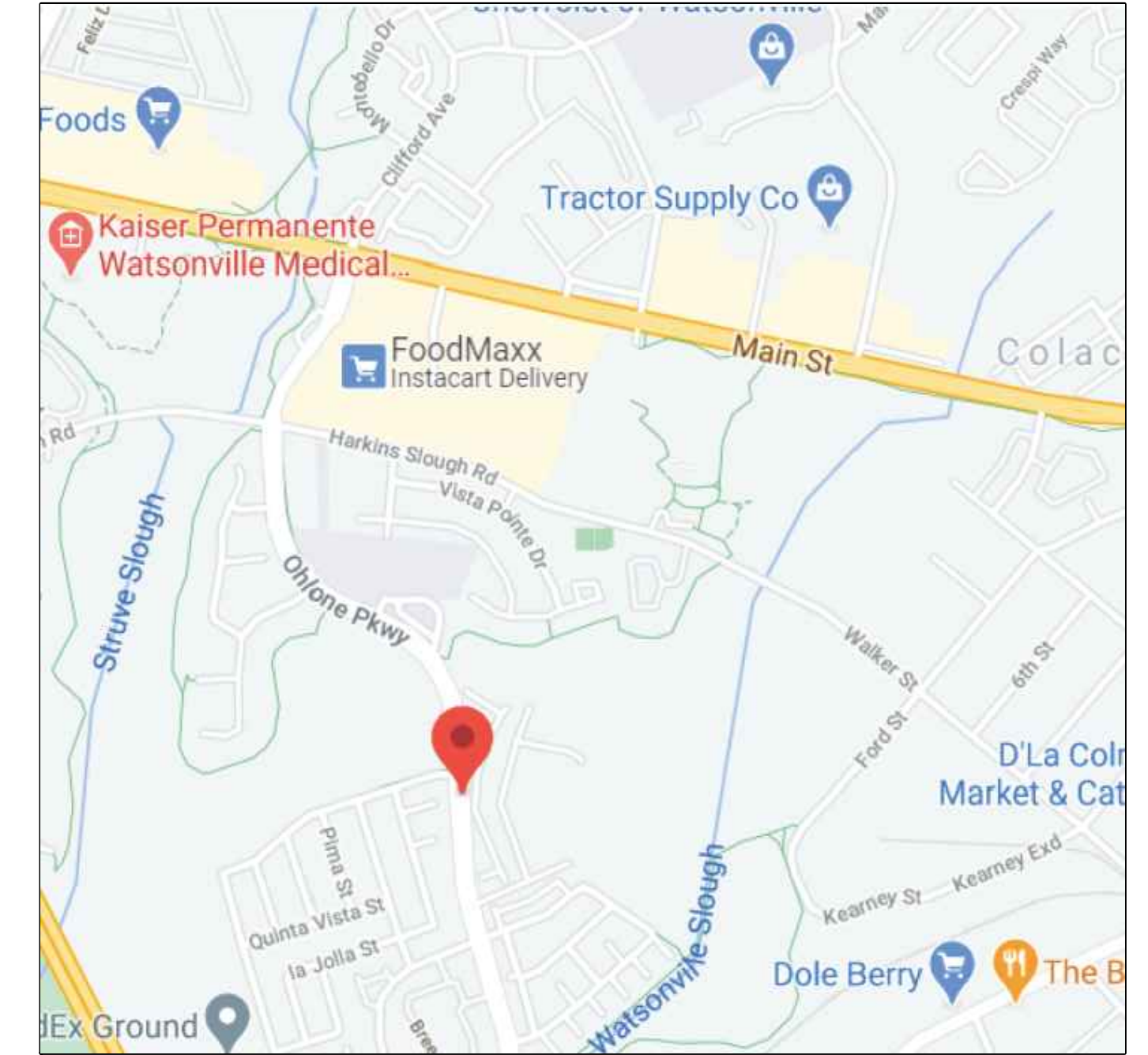


SUBDIVISION MAP & IMPROVEMENT PLANS FOR HILLCREST SUBDIVISION 511 OHLONE PARKWAY WATSONVILLE, CALIFORNIA 95076

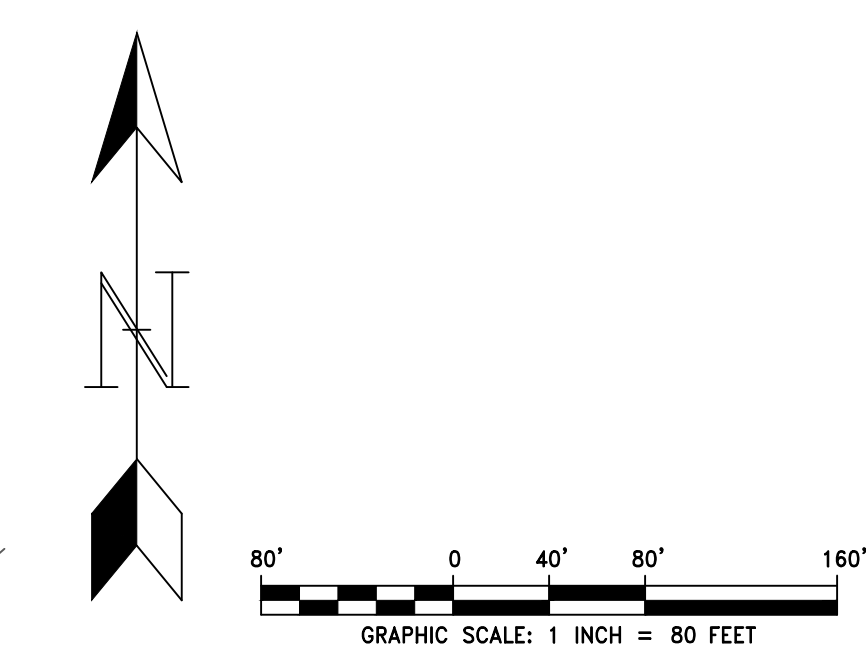
ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
BRW	BOTTOM OF RETAINING WALL
BS	BOTTOM OF STAIRS
BW	BOTTOM OF WALL
B/W	BACK OF SIDEWALK
CB	CATCH BASIN
CBC	CALIFORNIA BUILDING CODE
CDFW	CALIFORNIA DEPARTMENT OF FISH & WILDLIFE
CO	CLEANOUT
CONC	CONCRETE
COTG	CLEANOUT TO GRADE
DS	DOWN SPOUT
DTL	DETAIL
DWG	DRAWING
DWY	DRIVEWAY
EG	EXISTING GROUND
EP	EDGE OF PAVEMENT
EV	ELECTRIC VEHICLE
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
(E)	EXISTING
EX	EXISTING
FC	FACE OF CURB
FG	FINISH GRADE
FF	FINISH FLOOR
FL	FLOWLINE
FNC	FENCE
FT	FOOT/FEET
GB	GRADE BREAK
GFL	GUTTER FLOW LINE
HDPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FOOT
LOG	LIMIT OF GRADING
LP	LOW POINT
MIN	MINIMUM
MH	MANHOLE
N	NORTH
NE	NORTHEAST
NTS	NOT TO SCALE
NW	NORTHWEST
OC	ON CENTER
OCEW	ON CENTER, EACH WAY
OH	OVERHEAD
PAE	PUBLIC ACCESS EASEMENT
PCC	PORTLAND CEMENT CONCRETE
PP	POWER POLE
PL	PROPERTY LINE
POC	POINT OF CONNECTION
PUE	PUBLIC UTILITY EASEMENT
PV	PAVEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RC	RELATIVE COMPACTION
RWQCB	REGIONAL WATER QUALITY CONTROL BOARD
S	SOUTH, SLOPE
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SE	SOUTHEAST
SFR	SINGLE FAMILY RESIDENCE
SHT	SHEET
SSCO	SANITARY SEWER CLEAN OUT
STD	STANDARD
STME	SIDEWALK AND TRAIL MAINTENANCE EASEMENT
TC	TOP OF CURB
TFC	TOP OF FLUSH CURB
TRW	TOP OF RETAINING WALL
TS	TOP OF STAIRS
TW	TOP OF WALL
USA	UNDERGROUND SERVICE ALERT
USACE	US ARMY CORPS OF ENGINEERS
W	WEST, WATER



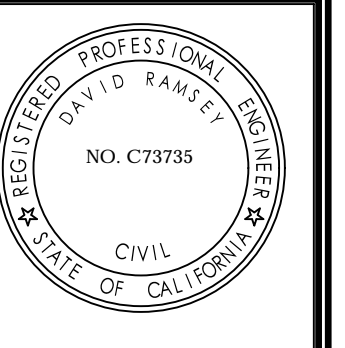
Vicinity Map

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DAVID RAMSEY DATE
RCE# 73735

APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

COVER SHEET
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

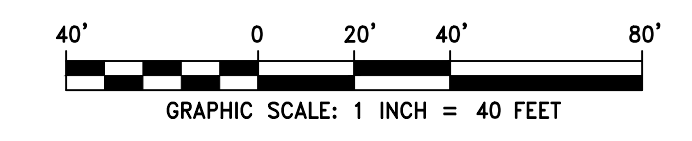
NUMBER	DESCRIPTION	DATE

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DESIGNED BY: DMR
DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

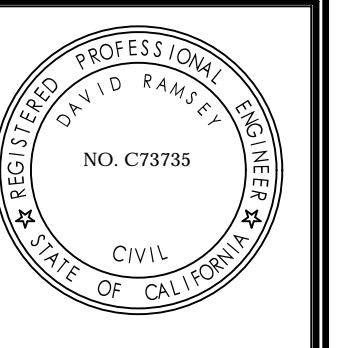
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EXISTING CONDITIONS PLAN



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EXISTING CONDITIONS
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

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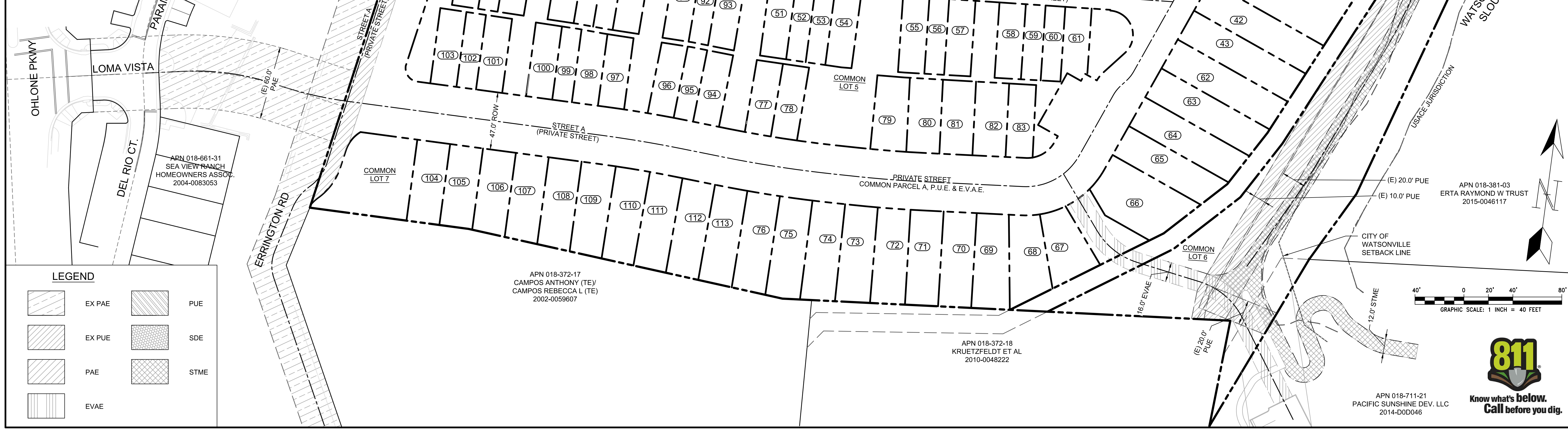
C2.0

PHASE	LOT #	AREA (SF)	PHASE	LOT #	AREA (SF)	PHASE	LOT #	AREA (SF)	PHASE	LOT #	AREA (SF)
PHASE 1	1	2378	PHASE 3	51	1322	PHASE 4	84	1,344	PHASE 5	114	2,448
	2	2,287		52	984		85	999		115	2,860
	3	2,385		53	979		86	1,326		116	2,617
	4	2,514		54	1,326		87	1,315		117	2,245
	5	2,533		55	1,343		88	982		118	4,733
	6	2,413		56	1,006		89	985		119	1,527
	7	2,298		57	1,338		90	1,311		120	1,594
	8	2,266		58	1,330		91	1,299		121	1,596
	9	2,266		59	993		92	972		122	1,547
	10	2,277		60	991		93	1,309		123	1,540
	11	4,131		61	1,142		94	1,286		124	1,540
	12	2,158		62	2,773		95	965		125	1,539
	13	2,223		63	2,703		96	1,273		126	1,539
	14	5,444		64	2,592		97	1,271		127	1,539
	15	3,029		65	2,395		98	1,280		128	1,539
16	3,054	66	3,262	99	974	129	1,539				
17	1,321	67	1,871	100	1,307	130	1,522				
18	951	68	2,124	101	1,322	131	1,222				
19	951	69	2,245	102	996	132	916				
20	1,269	70	2,104	103	1,336	133	1,223				
21	1,269	71	2,104	104	1,809	134	1,223				
22	951	72	2,162	105	1,809	135	917				
23	1,269	73	2,191	106	1,847	136	917				
24	1,270	74	2,233	107	1,911	137	1,224				
25	951	75	2,275	108	1,974	138	1,225				
26	951	76	2,217	109	2,062	139	918				
27	1,270	77	1,295	110	2,112	140	1,226				
28	1,270	78	1,302	111	2,117	141	1,235				
29	951	79	1,705	112	2,134	142	951				
30	1,264	80	1,643	113	2,181	143	958				
31	1,261	81	1,637			144	1,278				
32	945,5464	82	1,632								
33	1,258	83	1,325								
34	1,263										
35	1,263										
36	1,258										
37	946										
38	1,241										
39	3,026										
40	2,982										
41	4,983										
42	2,862										
43	2,818										
44	1,263										
45	946										
46	946										
47	1,264										
48	1,263										
49	946										
50	1,263										

COMMON LOT AREA SUMMARY	
COMMON LOT	AREA (SF)
1	82,937
2	3,244
3	5,561
4	18,963
5	21,910
6	35,995
7	4,152

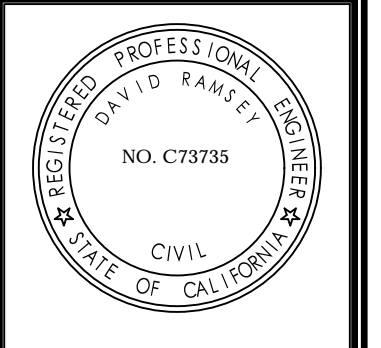
COMMON PARCEL AREA SUMMARY	
COMMON PARCEL	AREA (SF)
A	98,727

NOTE: ALL STREETS ARE PART OF COMMON PARCEL A. COMMON PARCEL A SHALL BE A P.U.E AND E.V.A.E THROUGHOUT



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APN# 018-372-14
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TENTATIVE MAP
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

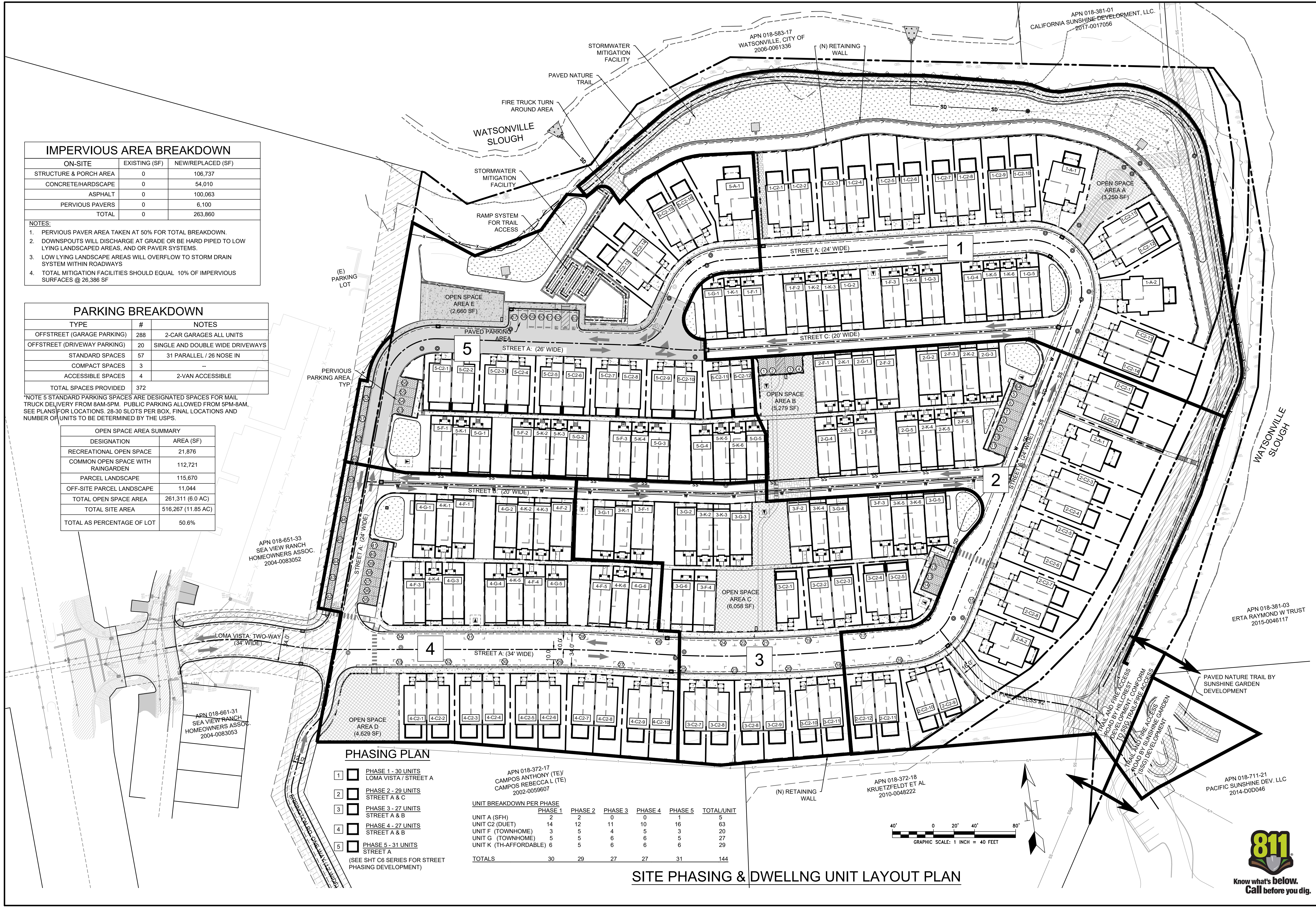
NUMBER	DESCRIPTION	DATE

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SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C3.0

REVISION BLOCK	NUMBER	DESCRIPTION	DATE

DRAWN BY:	DMR
DESIGNED BY:	DMR
DATE:	06/21/2021
SCALE:	AS NOTED
PROJECT NO.:	20-021
SHEET:	



IMPERVIOUS AREA BREAKDOWN

ON-SITE	EXISTING (SF)	NEW/REPLACED (SF)
STRUCTURE & PORCH AREA	0	106,737
CONCRETE/HARDSCAPE	0	54,010
ASPHALT	0	100,063
PERVIOUS PAVERS	0	6,100
TOTAL	0	263,860

- NOTES:**
- PERVIOUS PAVER AREA TAKEN AT 50% FOR TOTAL BREAKDOWN.
 - DOWNSPOUTS WILL DISCHARGE AT GRADE OR BE HARD PIPED TO LOW LYING LANDSCAPED AREAS, AND OR PAVER SYSTEMS.
 - LOW LYING LANDSCAPE AREAS WILL OVERFLOW TO STORM DRAIN SYSTEM WITHIN ROADWAYS
 - TOTAL MITIGATION FACILITIES SHOULD EQUAL 10% OF IMPERVIOUS SURFACES @ 26,386 SF

PARKING BREAKDOWN

TYPE	#	NOTES
OFFSTREET (GARAGE PARKING)	288	2-CAR GARAGES ALL UNITS
OFFSTREET (DRIVEWAY PARKING)	20	SINGLE AND DOUBLE WIDE DRIVEWAYS
STANDARD SPACES	57	31 PARALLEL / 26 NOSE IN
COMPACT SPACES	3	--
ACCESSIBLE SPACES	4	2-VAN ACCESSIBLE
TOTAL SPACES PROVIDED	372	

NOTE 5 STANDARD PARKING SPACES ARE DESIGNATED SPACES FOR MAIL TRUCK DELIVERY FROM 8AM-5PM. PUBLIC PARKING ALLOWED FROM 5PM-8AM. SEE PLANS FOR LOCATIONS. 28-30 SLOTS PER BOX. FINAL LOCATIONS AND NUMBER OF UNITS TO BE DETERMINED BY THE USPS.

OPEN SPACE AREA SUMMARY

DESIGNATION	AREA (SF)
RECREATIONAL OPEN SPACE	21,876
COMMON OPEN SPACE WITH RAINGARDEN	112,721
PARCEL LANDSCAPE	115,670
OFF-SITE PARCEL LANDSCAPE	11,044
TOTAL OPEN SPACE AREA	261,311 (6.0 AC)
TOTAL SITE AREA	516,267 (11.85 AC)
TOTAL AS PERCENTAGE OF LOT	50.6%

PHASING PLAN

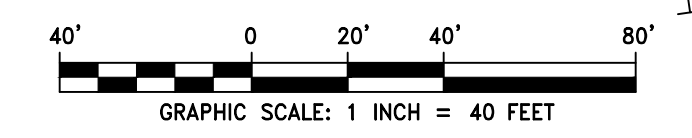
- 1 PHASE 1 - 30 UNITS
LOMA VISTA / STREET A
 - 2 PHASE 2 - 29 UNITS
STREET A & C
 - 3 PHASE 3 - 27 UNITS
STREET A & B
 - 4 PHASE 4 - 27 UNITS
STREET A & B
 - 5 PHASE 5 - 31 UNITS
STREET A
- (SEE SHT C6 SERIES FOR STREET PHASING DEVELOPMENT)

APN 018-372-17
CAMPOS ANTHONY (TE)
CAMPOS REBECCA L (TE)
2002-0059607

UNIT BREAKDOWN PER PHASE

	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	TOTAL/UNIT
UNIT A (SFH)	2	2	0	0	1	5
UNIT C2 (DUET)	14	12	11	10	16	63
UNIT F (TOWNHOME)	3	5	4	5	3	20
UNIT G (TOWNHOME)	5	5	6	6	5	27
UNIT K (TH-AFFORDABLE)	6	5	6	6	6	29
TOTALS	30	29	27	27	31	144

SITE PHASING & DWELLING UNIT LAYOUT PLAN



POST SOIL MITIGATION EARTHWORK QUANTITIES

46,340	CUBIC YARDS EXCAVATION
52,180	CUBIC YARDS EMBANKMENT
5,840	CUBIC YARDS (EMBANKMENT)

NOTES

1. ESTIMATE DOES NOT INCLUDE BUILDING FOOTINGS OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.



HATCH LEGEND

	ASPHALT 3" AC / 10" CLASS 2 AGGREGATE BASE R.C. 95% (T15.5)		SOIL REMEDIATION AREA CONTAMINATED SOIL REMEDIATION AREA
	CONCRETE 4" CONCRETE / 6" CL2 AGG. BASE COMPACTED TO 95% R.C.		SWM MITIGATION AREA - RAINGARDEN BIORETENTION SOIL MIXTURE OVER PERMEABLE STONE MATERIAL
	PERVIOUS PAVERS PER MANUFACTURER DETAILS		PARK AREA OPEN SPACE PARK AREA

NOTE:
1. CONCRETE AT DRIVEWAY APRON AND SIDEWALKS WITHIN DRIVE AISLE, SHALL BE 6.5" PCC / 6" CL 2 AGG BASE COMPACTED TO 95% R.C.

PRELIMINARY ROUGH GRADING PLAN



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DAVID RAMSEY DATE
RCE# 73735

APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

ROUGH GRADING PLAN & SITE DRAINAGE
HILLCREST SUBDIVISION
510 OHILONE PARKWAY, WATSONVILLE, CA 95076

NUMBER	DESCRIPTION	DATE

DRAWN BY: DMR
DESIGNED BY: DMR
DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C5.0

PROJECT SITE - PHASE I(a), I(b), & I(c)
PRE-SITE IMPROVEMENTS: SOIL MITIGATION & ROUGH GRADING SEQUENCE

- PHASE I(a) 1,500 CY CLASS 1 HAZ SOILS OFF-HAUL PER HAYES WEBER REPORT, (FIGURE-1, PROJECT 2X823), TO KETTLEMAN HILL HAZARDOUS WASTE FACILITY
- PHASE I(b) 8,240 CY* CLASS 2 CONTAMINATED SOILS OFF-HAUL TOP 6 INCHES SURFACE LAYER TO HOLLISTER, CA
- PHASE I(c) 25,460 CY** AFTER THE TOP 6 INCHES STATED ABOVE, THEN THE NEXT 18 INCHES IS PLACED ON-SITE IN THE REMEDIATION PIT.

TOTAL CONTAMINATED SOIL VOLUMES 35,200 CY
 -TOTAL VOLUMES BURIED ON-SITE 18,830 CY
 -TOTAL VOLUMES REMOVED OFF SITE 16,370 CY

*AFTER DEDUCTING 555 CY OF KETTLEMAN, CA OFF-HAUL
 **AFTER DEDUCTING 945 CY OF KETTLEMAN, CA OFF-HAUL

NOTES FOR PHASE I (c) - SPECIFIC REFERENCE TO C5.1 AND C5.2:

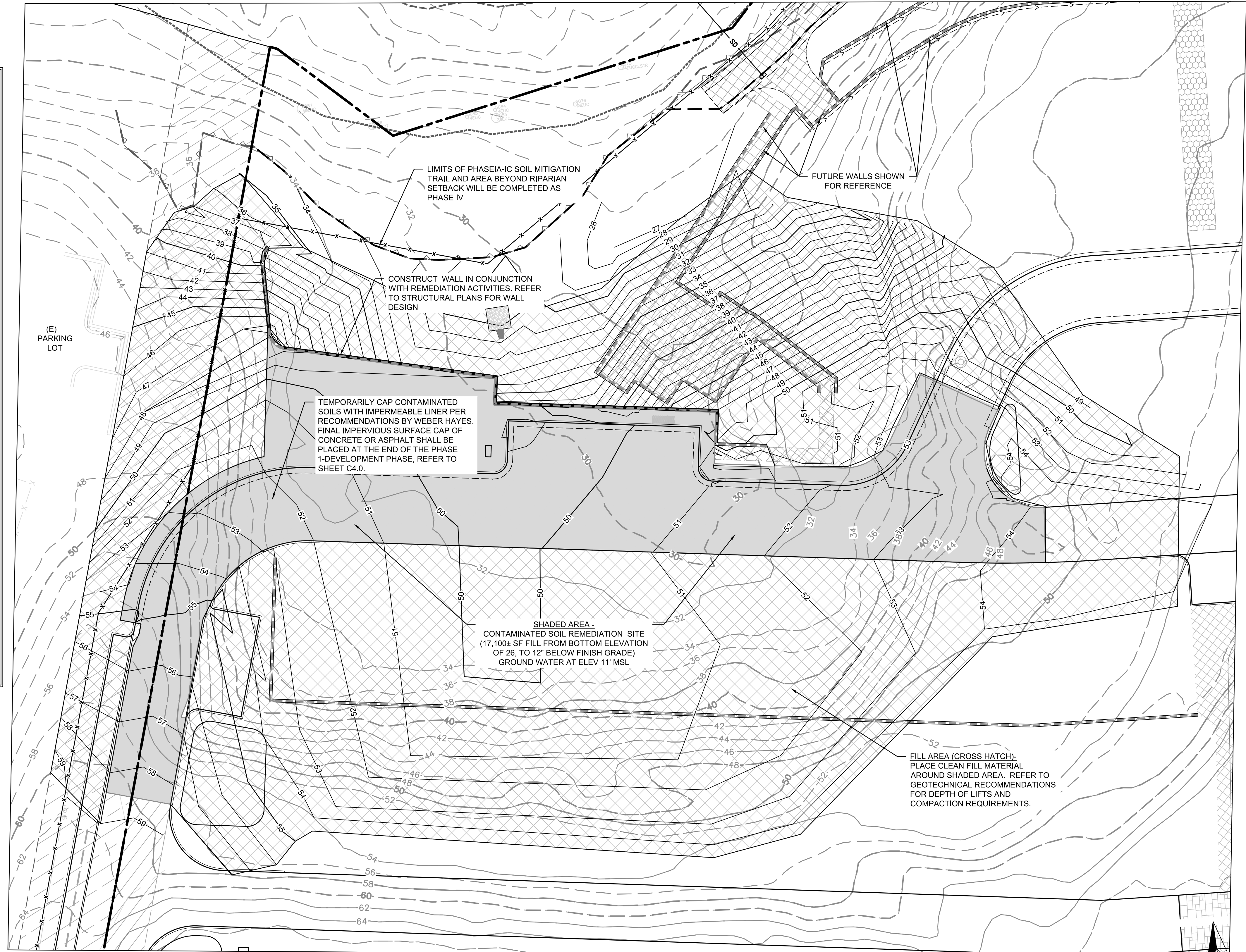
- AFTER PHASE I(B) REMOVAL OF 6 INCHES ON QUADRANTS #1 THROUGH #4, THE NEXT 18 INCHES OF SOIL, IS PLACED ON QUADRANTS #5 THROUGH #8. THEN THE SOIL IN QUADRANTS #1 THROUGH #4 (MINIMUM 24 IN FROM EXISTING GRADE) WILL BE NON-CONTAMINATED (CLEAN) SOILS. THESE SOILS WILL BE REMOVED AS NECESSARY TO FILL IN THE AREAS TO THE WEST, EAST, AND SOUTH OF THE PROPOSED REMEDIATION PIT. THE NORTH SIDE OF THE REMEDIATION PIT SHALL BE CONTAINED BY THE CONSTRUCTION OF THE REMEDIATION PIT WALL. CLEAN SOILS WILL BE SCRAPPED FROM THE MIDDLE PORTION OF THE PROPERTY AFTER THE 24 INCHES ARE REMOVED.
- EXCAVATE SOILS IN THE REMEDIATION PIT TO A DEPTH OF 15 FT MINIMUM ABOVE THE HIGH WATER MARK (ELEVATION 11). THIS SOIL IS STOCKPILED ON THE SITE (SEE C5.2) IN QUADRANT 1 THROUGH #4 ESTIMATED AT 5,400 CY. THE REMEDIATION PIT, AT THE TIME IT STARTS TO ACCEPT CONTAMINATED SOILS, HAS A BOTTOM DEPTH ELEVATION = 26FT MIN (15FT ABOVE MSL ELEVATION=11).
- THE REMEDIATION PIT WILL BE CONSTRUCTED BACKFILLING WITH CONTAMINATED SOILS IN INCREMENTS WHILE SIMULTANEOUSLY CONSTRUCTING THE BLOCK WALL ALONG THE NORTH SIDE OF THE REMEDIATION PIT. PLACE GEO-GRID REINFORCEMENT MATERIAL AS DIRECTED BY THE STRUCTURAL PLANS. BACKFILLING ASSUMES A 15% COMPACTION FACTOR AT 12 IN LIFTS COMPACTED AT 90% MIN. RELATIVE COMPACTION, OR AS DIRECTED OTHERWISE BE THE GEOTECHNICAL ENGINEER.
- ONCE THE FINAL ELEVATION OF THE PIT IS REACHED, 12 INCHES BELOW FINAL PAVEMENT/CONCRETE ELEVATIONS, INSTALL A TEMPORARY IMPERMEABLE PLASTIC LINER (30 MIL MIN.) TOPPED WITH CLEAN BACKFILL MATERIAL.
- REMEDATION PIT ON-SITE VOLUME CAPACITY FOR CONTAMINATED SOIL IS ESTIMATED TO BE 18,830 CY, TAKEN TO BOTTOM OF IMPERVIOUS SURFACE SUBBASE.
- SOIL EXCEEDING THE REMEDIATION PIT VOLUME, ESTIMATED CAPACITY OF 18,830 CY, IS APPROXIMATELY 6,600 CY AND SHALL BE OFF-HAULED TO AN APPROVED SITE.

OTHER MITIGATIONS

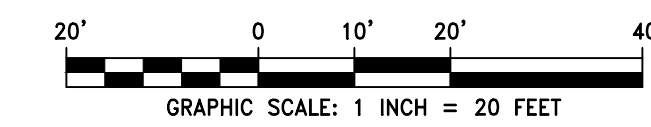
- NATURE TRAIL SOIL MITIGATION WILL BE ADDRESSED WITH THE REMOVAL OF SOILS FOR THE STRUCTURAL SECTION OF THE NEW TRAIL AREA =12,865 SF (476 CY OF OFF-HAUL MATERIAL [12 INCHES REMOVAL FOR ASPHALT- 3 INCHES AC OVER 9 INCHES CL 2 AGGREGATE BASE])

GENERAL NOTES

- CONTAMINATED SOIL REMEDIATION AREA TO OCCUR UNDER IMPERVIOUS SURFACES PER WEBER HAYES REPORT
- EXCAVATED MATERIALS (NON-CONTAMINATED) TO BE USED ELSEWHERE ON-SITE FOR FILL PURPOSES.
- ALL VOLUMES ARE APPROXIMATE AND VOLUMES TO BE CONVERTED TO TONNAGE AT THE RATIO OF 1.48



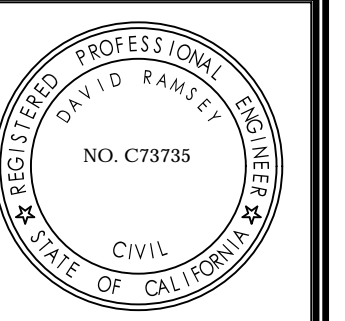
REMEDATION SITE PLAN



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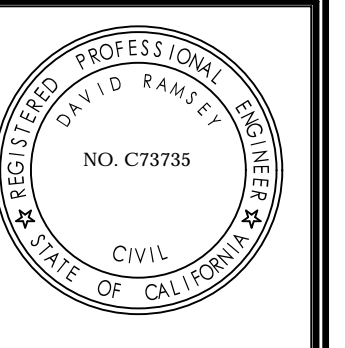
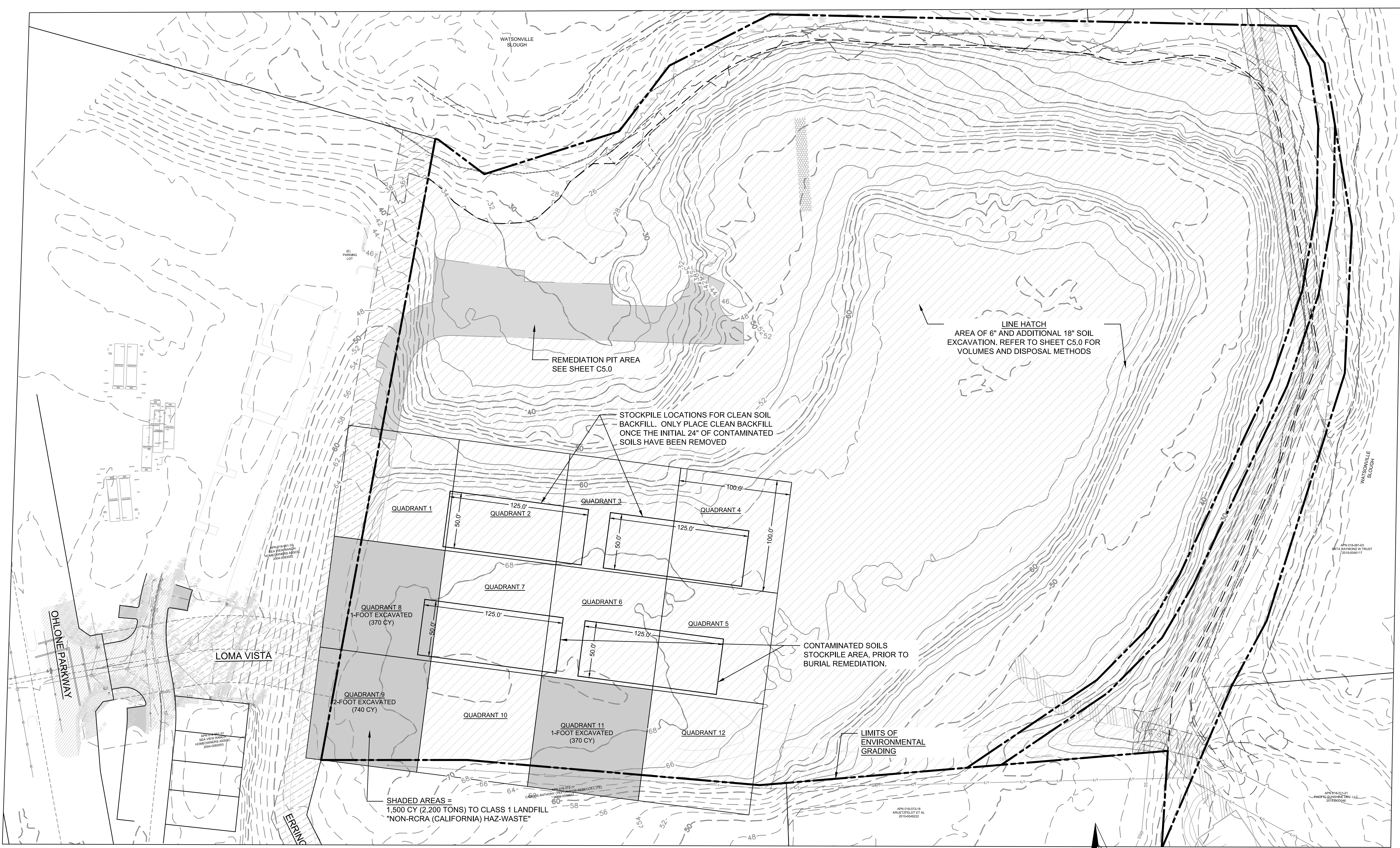
APN# 018-372-14
 PLAN TYPE
 RESIDENTIAL
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REMEDATION PIT GRADING PLAN
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

NUMBER	BY	DESCRIPTION	DATE

DRAWN BY: DMR
 DESIGNED BY: DMR
 DATE: 06/04/2021
 SCALE: AS NOTED
 PROJECT NO: 20-021
 SHEET:

C5.1



DAVID RAMSEY DATE
 RCE# 73735

APN# 018-372-14
 PLAN TYPE
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 SUBDIVISION

SITE ENVIRONMENTAL GRADING PLAN
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

REVISION BLOCK	NUMBER	DESCRIPTION	DATE

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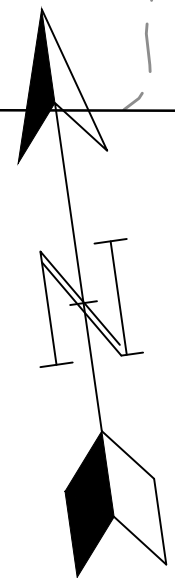
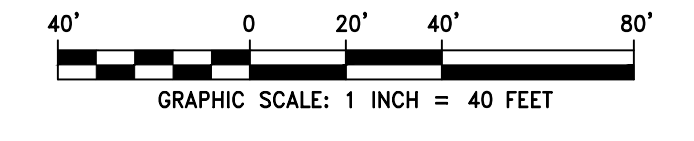
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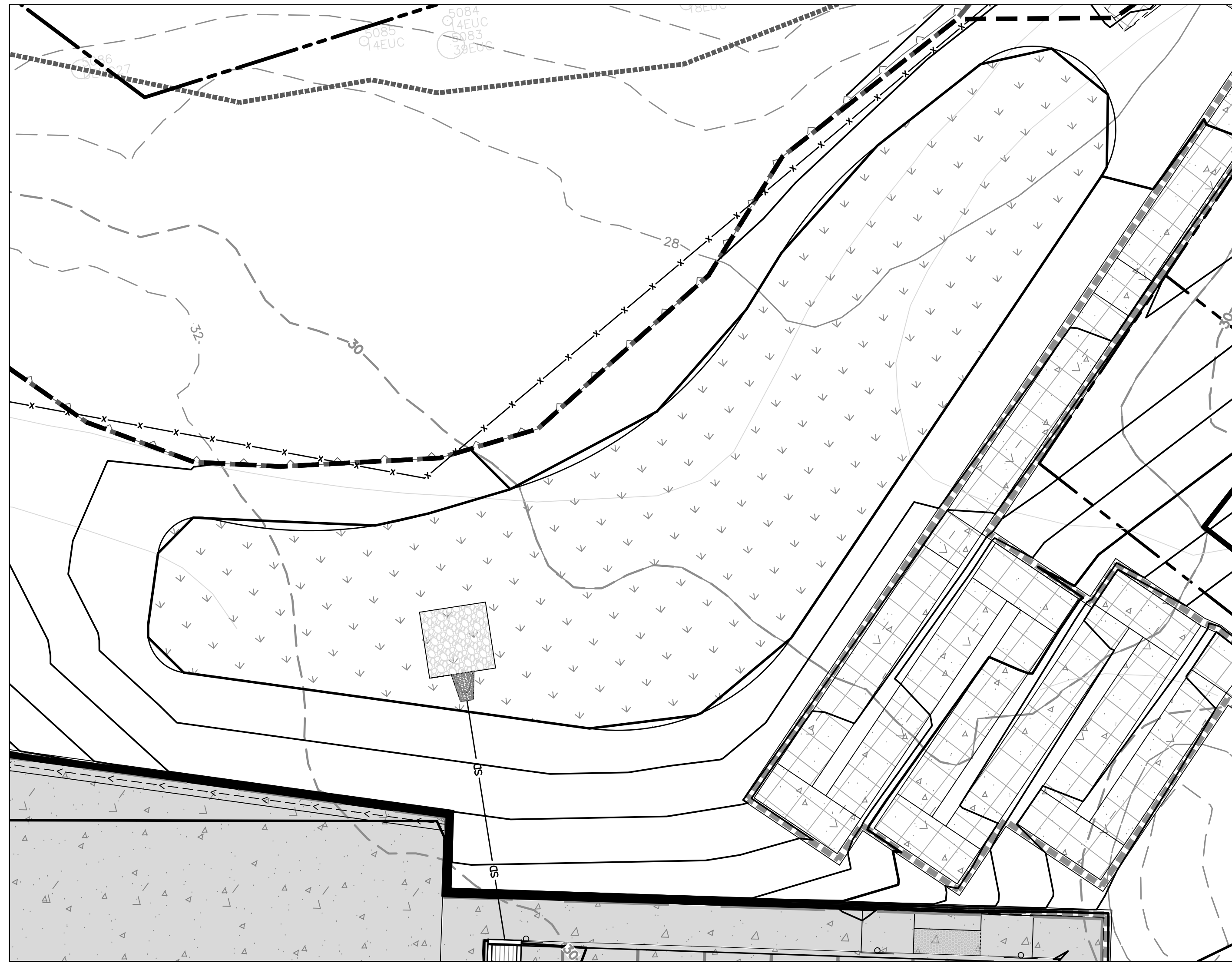
PHASE IA-PHASE IC:
 NO GRADING SHALL OCCUR WITHIN THE JURISDICTIONAL SETBACK LINES ALONG THE WATSONVILLE SLOUGH - CONTRACTOR SHALL STAKE SETBACK LINE AND STRING BETWEEN STAKES TO PREVENT GRADING FROM CROSSING INTO SETBACK AREAS.

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
 A SWPPP (STORMWATER POLLUTION PREVENTION PLAN) HAS BEEN ESTABLISHED THIS PROJECT. REFER TO CALIFORNIA STATE WATER BOARD: WDD# - 3 44C380348

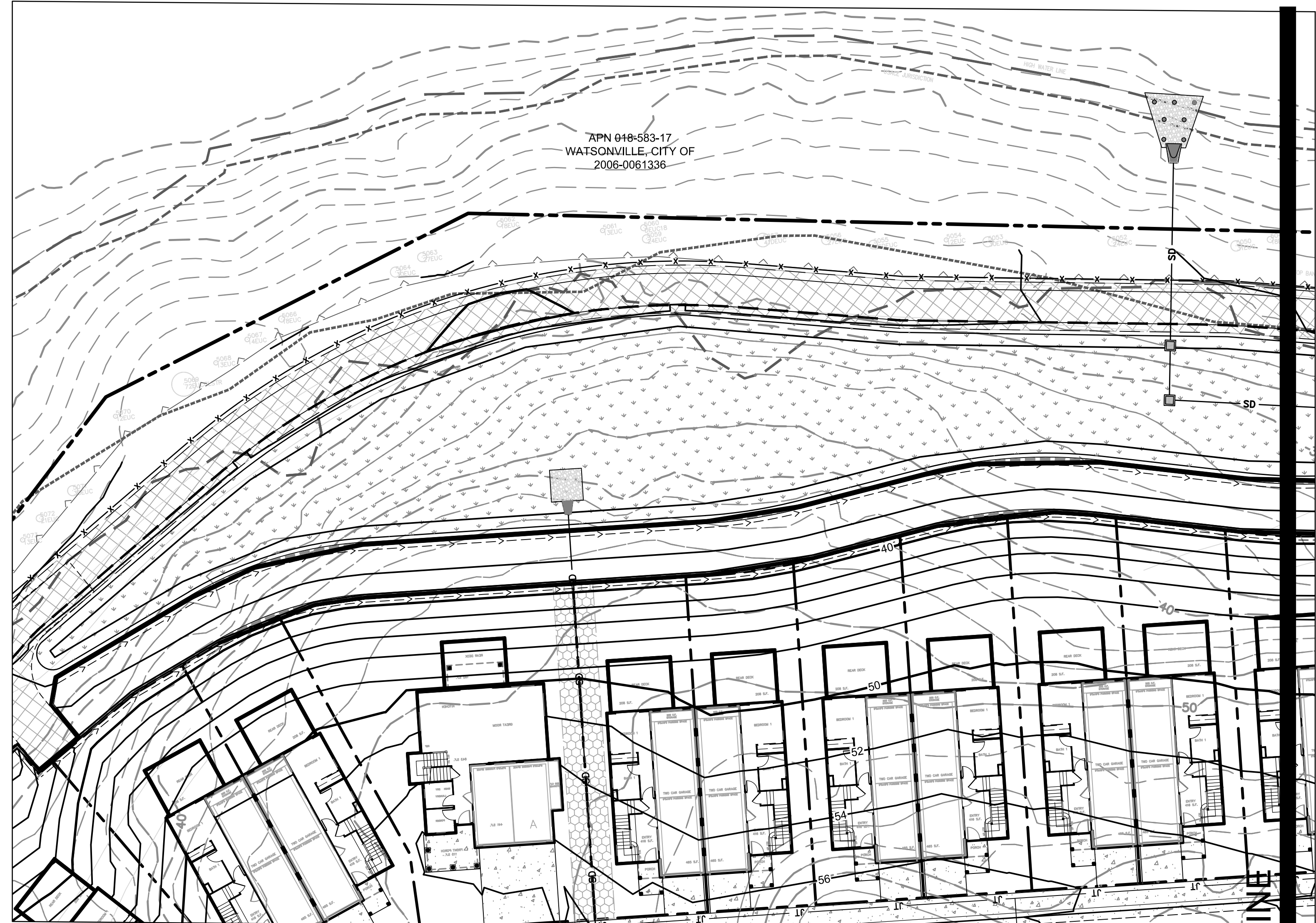
- NOTES:**
1. QUADRANT AREA ARE PER WEBER HAYES & ASSOCIATES FIG. 1 (PROJECT 2X623)
 2. LANDFILL ACCEPTANCE OF SURPLUS SOILS
 3. REFER TO SHEET C5.1 FOR SOIL DISPOSAL BREAKDOWN
 4. VOLUMES SPECIFIED IN QUADRANTS 8, 9 AND 11 SHALL BE DISPOSED OF AT A CLASS 1 LANDFILL.
 5. ALL REMAINING SOILS FROM THE 24" EXCAVATION ARE NON-HAZARDOUS, AND SHALL BE EITHER BURIED AND CAPPED ONSITE, OR REMOVED TO CLASS 2 LANDFILL, SEE SHEET C5.1 FOR BREAKDOWN
 6. GRADING QUANTITIES SHOWN ON THESE PLANS FOR PHASE 1A & PHASE 1B ARE APPROXIMATE ONLY. QUANTITIES DO NOT INCLUDE POTENTIAL TRASH OR DEBRIS VOLUMES.
 7. ALL DISTURBED GROUND SHALL BE STABILIZED PRIOR TO OCTOBER 15. THE APPLICANT SHALL OBTAIN AUTHORIZATION FROM THE CITY OF WATSONVILLE IF GROUND AND SOIL DISTURBANCE ON THE PROJECT IS EXPECTED TO OCCUR IN THE WINTER SEASON, BEYOND OCT. 15.

SITE ENVIRONMENTAL GRADING PLAN





RAINGARDEN 1
 GRAPHIC SCALE: 1 INCH = 10 FEET



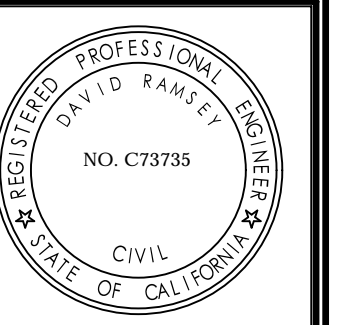
RAINGARDEN 2



GRAPHIC SCALE: 1 INCH = 20 FEET

MATCH LINE

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 RCE# 73735

APN# 018-372-14
 PLAN TYPE
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 SUBDIVISION

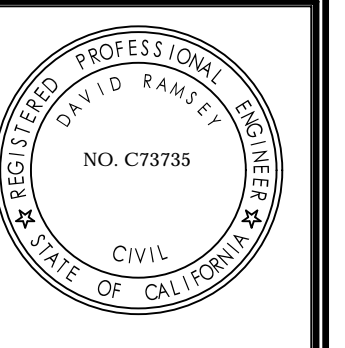
SITE DRAINAGE/RAINGARDEN PLAN
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

REVISION BLOCK	NUMBER	BY	DESCRIPTION	DATE

DRAWN BY: DMR
 DESIGNED BY: DMR
 DATE: 06/04/2021
 SCALE: AS NOTED
 PROJECT NO: 20-021
 SHEET:



C5.3



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RCE# 73735

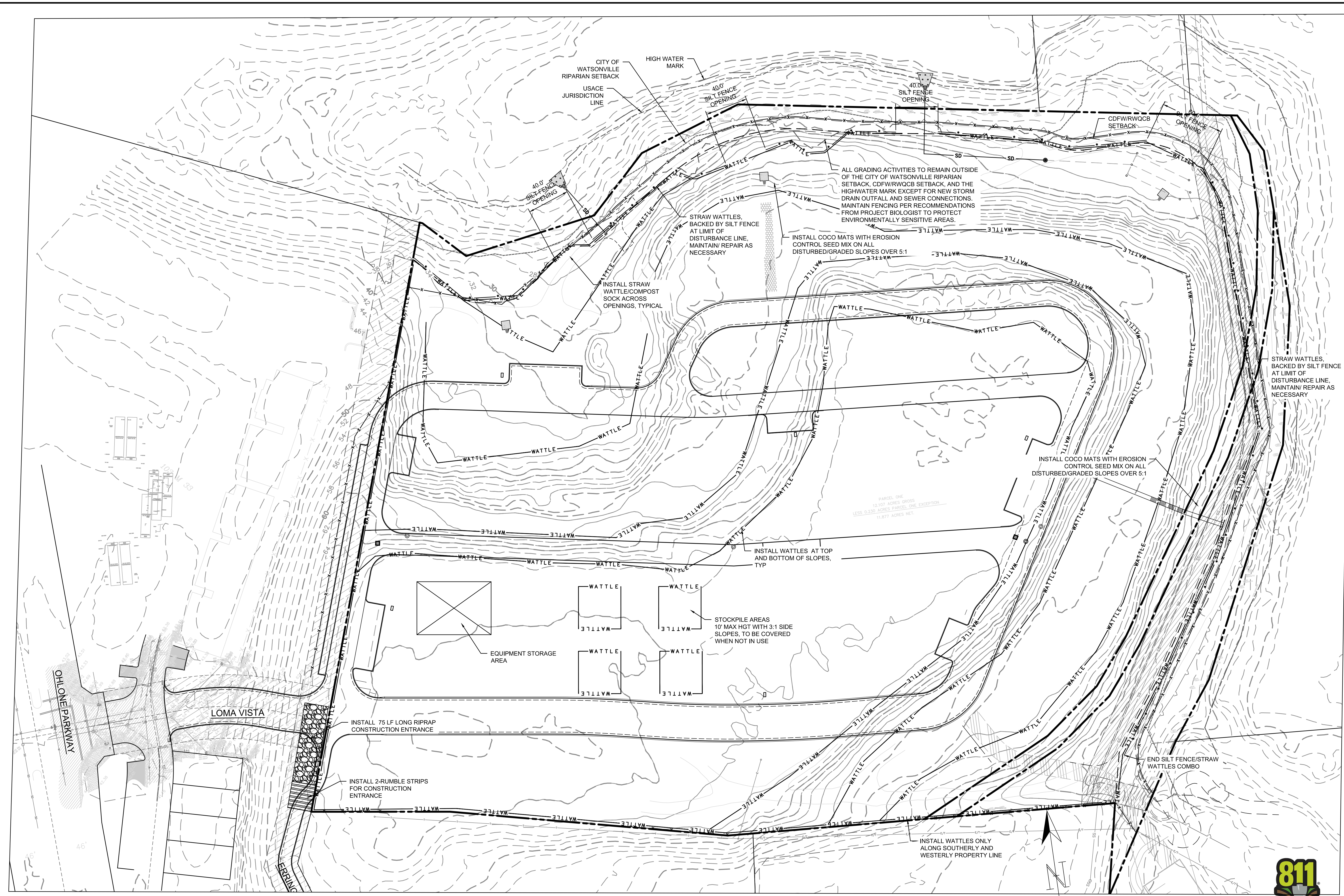
APN# 018-372-14
PLAN TYPE
RESIDENTIAL
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ROUGH GRADING EROSION CONTROL PLAN
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

REVISION BLOCK	NUMBER	BY	DESCRIPTION	DATE

DRAWN BY: DMR
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DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

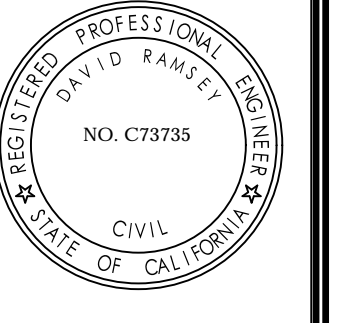
C5.4



EROSION CONTROL PLAN



Know what's below.
Call before you dig.



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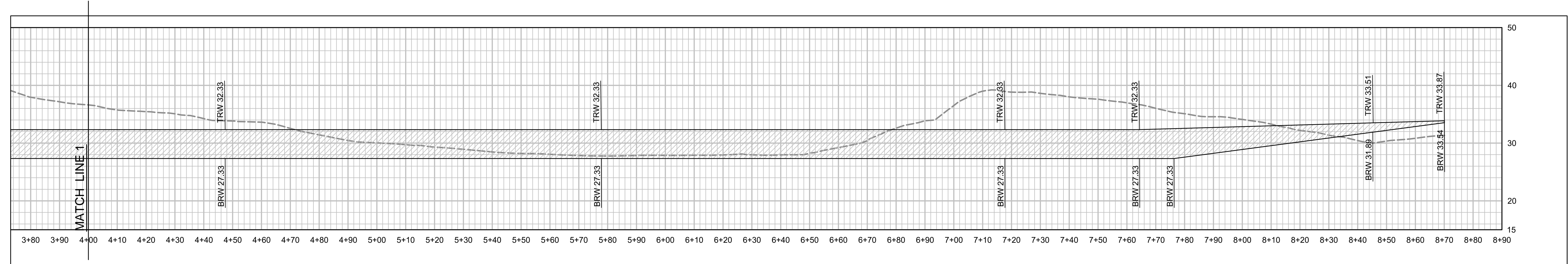
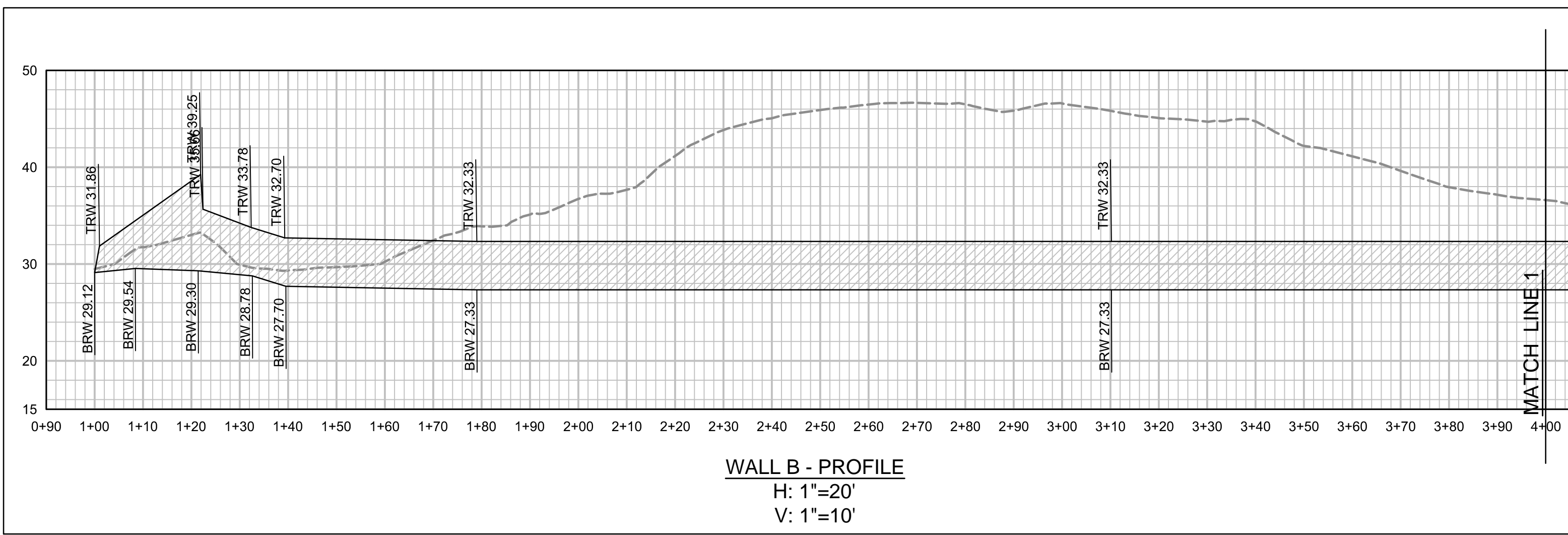
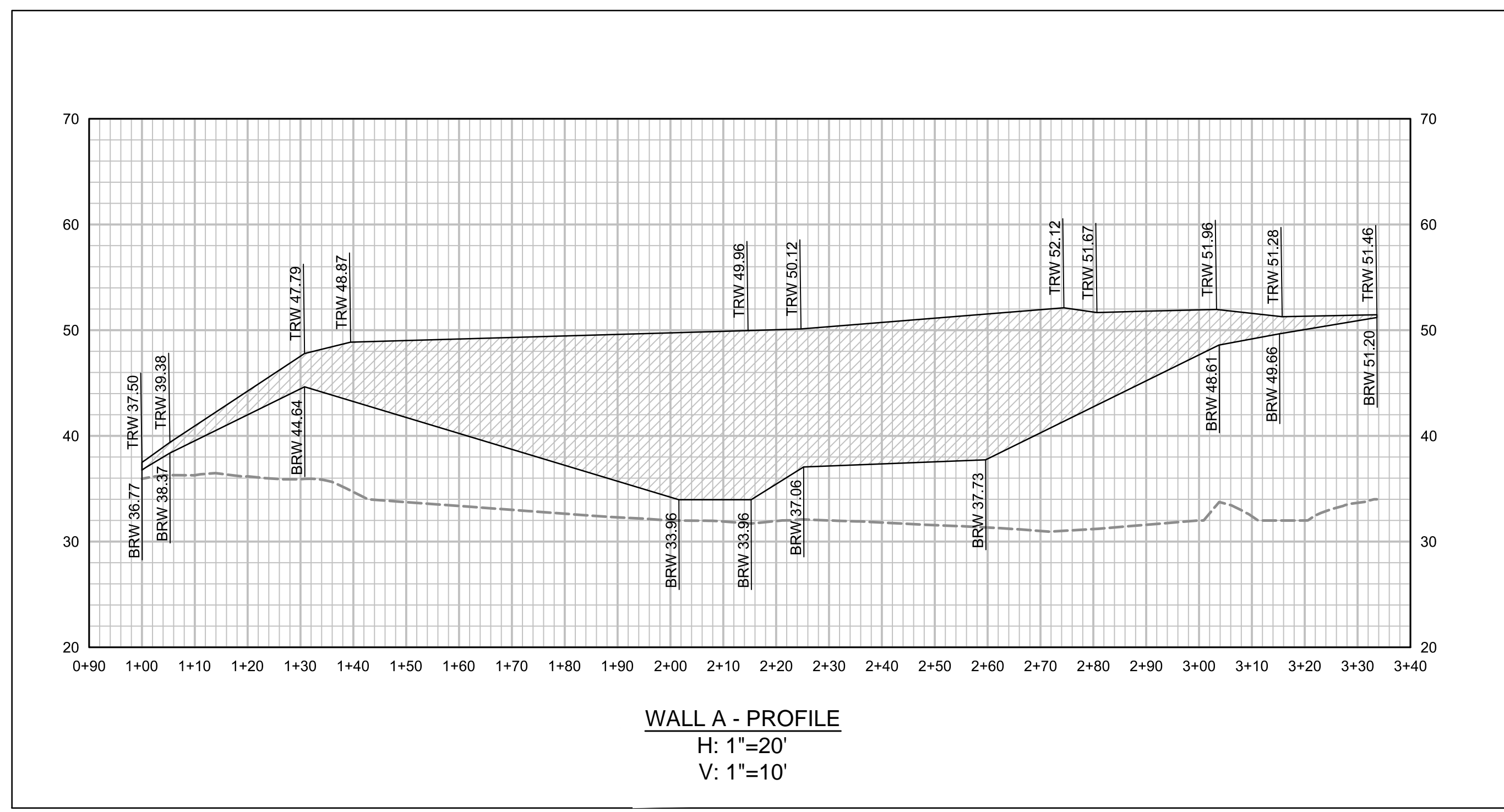
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PLAN TYPE
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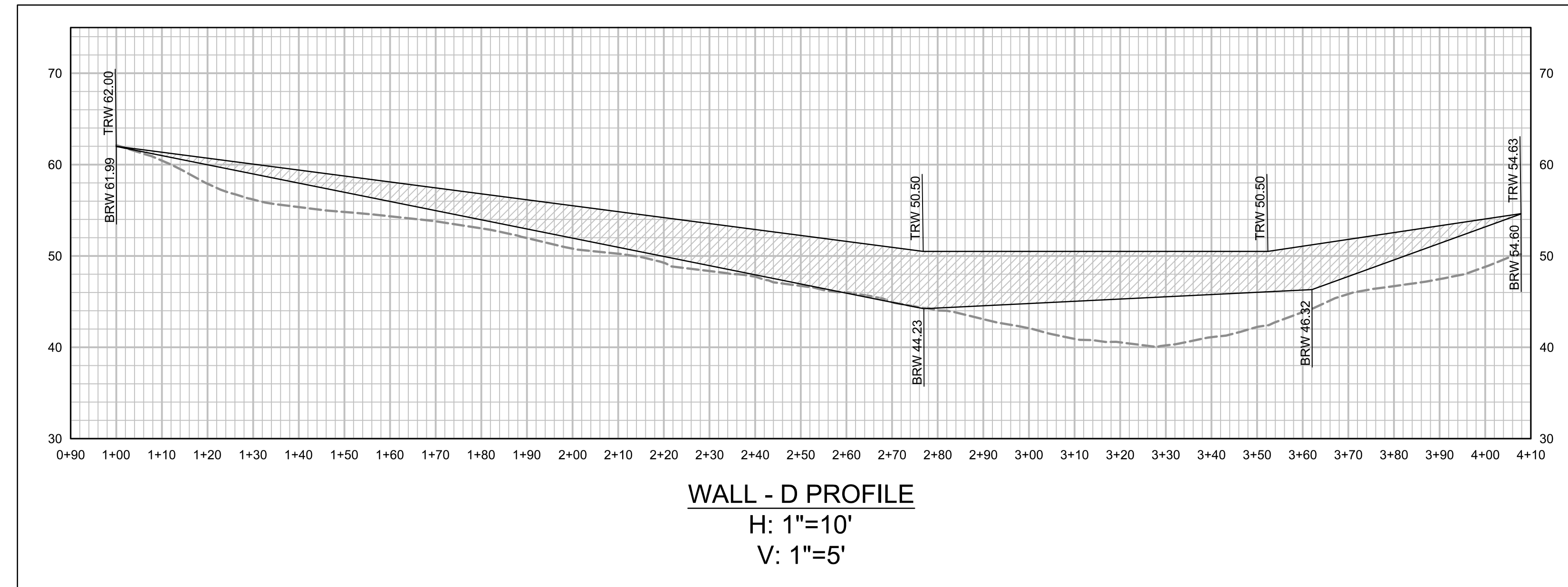
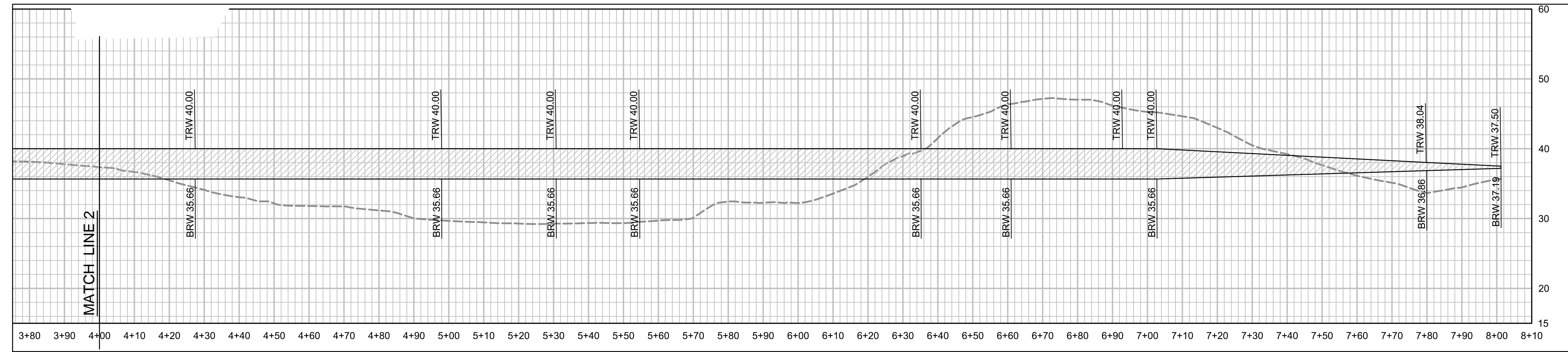
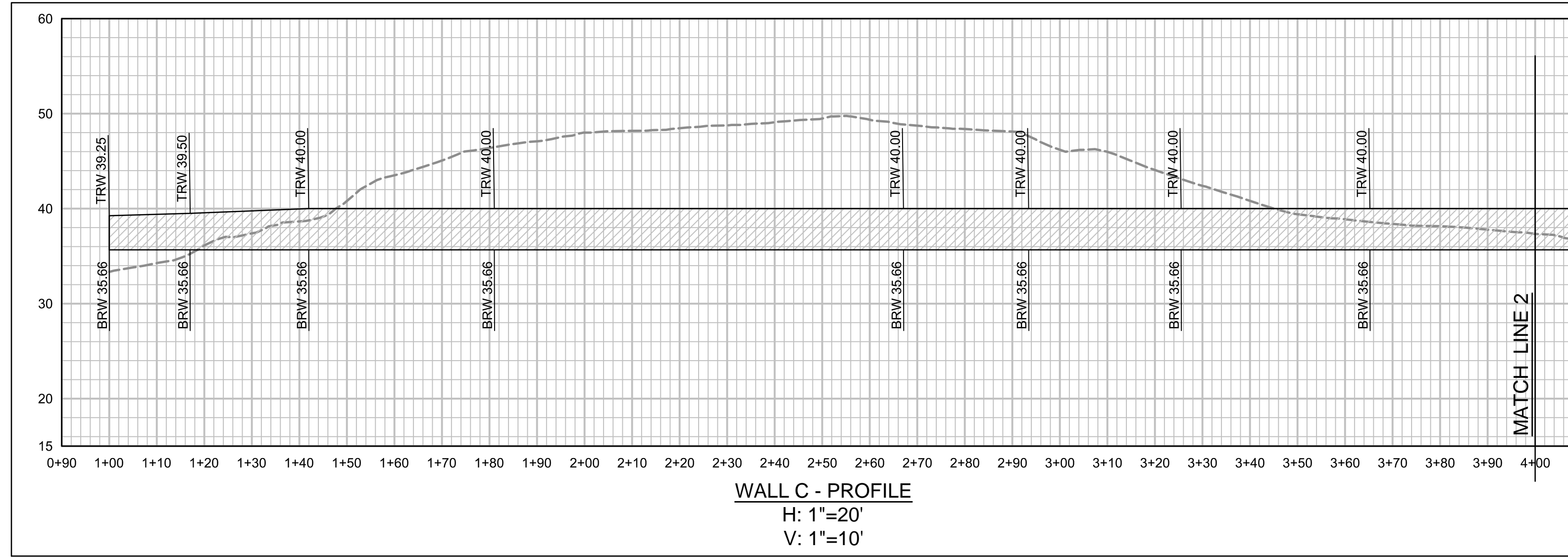
RETAINING WALL PROFILES (WALL A & B)
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

REVISION BLOCK	NUMBER	BY	DESCRIPTION	DATE

DRAWN BY: DMR
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SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C5.6





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RETAINING WALL PROFILES (WALL C & D)
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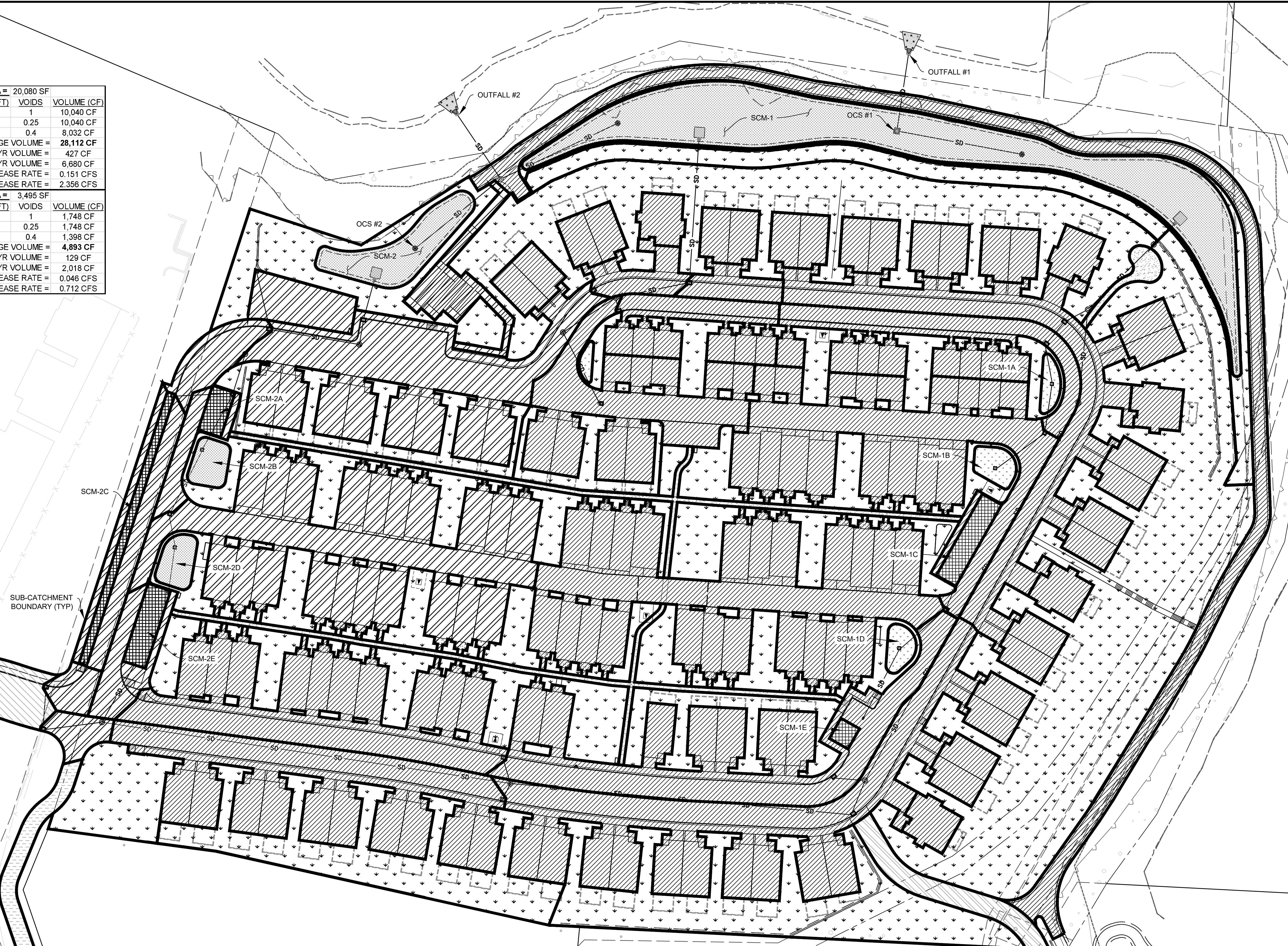
NUMBER	BY	DESCRIPTION	DATE

DRAWN BY: DMR
DESIGNED BY: DMR
DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C5.7



SCM-1 AREA = 20,080 SF			
	DEPTH (FT)	VOIDS	VOLUME (CF)
PONDING:	0.5	1	10,040 CF
BIO SOIL:	2	0.25	10,040 CF
STONE:	1	0.4	8,032 CF
TOTAL PROVIDED STORAGE VOLUME = 28,112 CF			
REQ. 2-YR VOLUME = 427 CF			
REQ. 10-YR VOLUME = 6,680 CF			
2-YR PRE-RELEASE RATE = 0.151 CFS			
10-YR, 15-MN PRE-RELEASE RATE = 2.356 CFS			
SCM-2 AREA = 3,495 SF			
	DEPTH (FT)	VOIDS	VOLUME (CF)
PONDING:	0.5	1	1,748 CF
BIO SOIL:	2	0.25	1,748 CF
STONE:	1	0.4	1,398 CF
TOTAL PROVIDED STORAGE VOLUME = 4,893 CF			
REQ. 2-YR VOLUME = 129 CF			
REQ. 10-YR VOLUME = 2,018 CF			
2-YR PRE-RELEASE RATE = 0.046 CFS			
10-YR PRE-RELEASE RATE = 0.712 CFS			



PROJECT INFORMATION:
 - APN: 018-372-14
 - LOCATED WITHIN WATER MANAGEMENT ZONE 1

PCR 1 - SITE DESIGN & RUNOFF REDUCTION:
 - THE PROJECT WILL BE CONSTRUCTED TO LIMIT THE DISTURBANCE TO NATURAL DRAINAGE FEATURES WITH ONLY MINOR DISTURBANCE TO THE SLOUGH AS NEEDED TO INSTALL THE DRAINAGE OUTFALLS. COMPACTION OF SOILS WILL BE PERFORMED UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER AND WILL ONLY BE PERFORMED WHERE NECESSARY. CLEARING AND GRADING OF NATIVE VEGETATION WILL NOT TAKE PLACE WITHIN RIPARIAN AREAS.
 - EFFORTS TO REDUCE IMPERVIOUS SURFACE INCLUDE PROVIDING REDUCED ROADWAY WIDTHS WHERE POSSIBLE, SHORTER DRIVEWAY LENGTHS, PROVIDING INTERIOR PARKING, AND PROVIDING PERMEABLE PAVEMENT MATERIALS FOR CERTAIN PARKING AREAS.
 - EFFORTS TO DECENTRALIZE THE STORMWATER SYSTEM HAVE BEEN MADE BY PROVIDING ADDITIONAL LANDSCAPE DEPRESSIONS AND PERMEABLE PARKING AREAS THAT WILL SLOW THE FLOW OF INCOMING STORMWATER TO EACH BIOFILTRATION SYSTEM

PCR 2 - WATER QUALITY TREATMENT:
 - BASED ON THE GEOTECHNICAL FINDINGS, THERE IS ADEQUATE EVIDENCE TO PROVE TECHNICAL INFEASIBILITY FOR PROVIDING ANY ON-SITE RETENTION DUE TO THE LOW PERMEABLE SOILS.
 - THE 85TH PERCENTILE, 24-HOUR STORM FOR THIS LOCATION IS 0.8 INCHES.
 - WATER QUALITY TREATMENT SIZING CALCULATIONS WERE PERFORMED USING THE CENTRAL COAST SIZING CALCULATOR.
 - THE MINIMUM REQUIRED SIZE FOR SCM-1 IS 8,367 SF.
 - THE MINIMUM REQUIRED SIZE FOR SCM-2 IS 2,528 SF

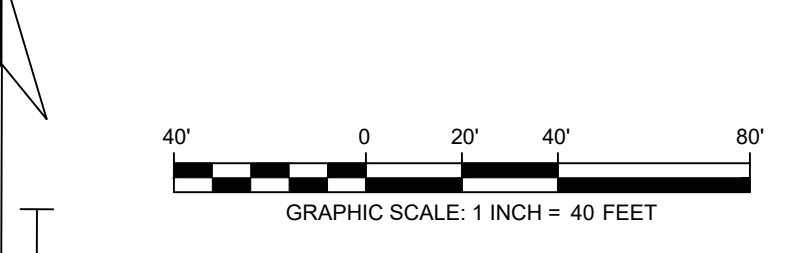
PCR 3 - RUNOFF RETENTION:
 - DUE TO LACK OF INFILTRATION THROUGHOUT THE SITE, THE PROJECT WILL SEEK TECHNICAL INFEASIBILITY FOR RUNOFF RETENTION. INSTEAD, THIS PROJECT WILL DEDICATE TEN PERCENT OF THE PROJECTS EQUIVALENT IMPERVIOUS SURFACE AREA TO RETENTION BASED STORMWATER CONTROL MEASURES.
 - THE TOTAL EISA = 275,908 SF, THEREFORE THE MINIMUM 10% REQUIRED AREA IS 27,591 SF. THE PROVIDED AREA IS 28,321 SF, WHICH INCLUDES THE SCM-1, SCM-2, SCM-1C, SCM-1E, SCM-2A, SCM-2C, AND SCM-2E.

PCR 4 - PEAK MANAGEMENT:
 - DETENTION VOLUMES, PRE-DEVELOPMENT, AND POST DEVELOPMENT FLOWRATES WERE CALCULATED USING THE SANTA CRUZ COUNTY SWM-17 CALCULATOR.
 - FLOWS WILL BE METERED INTO THE SLOUGH VIA THE TWO OUTLET CONTROL STRUCTURES LOCATED WITHIN SCM-1 AND SCM-2. POST DEVELOPMENT FLOWS WILL NOT EXCEED PRE-DEVELOPMENT FLOW-RATES.

NOTES:
 - A FULL STORMWATER REPORT WILL BE PROVIDED WITH THE CONSTRUCTION DOCUMENT SUBMITTAL SET.
 - AN O&M MANUAL WILL BE INCLUDED WITH THE CONSTRUCTION DOCUMENTS SET.

LEGEND

	DMA-1 (IMPERVIOUS)
	DMA-2 (IMPERVIOUS)
	DMA-3 - FIRE ACCESS (IMPERVIOUS)
	DMA-4 - LOMA VISTA ENTRANCE (IMPERVIOUS)
	DMA-5 - ERRINGTON RD (IMPERVIOUS)
	RAINGARDEN
	PERMEABLE PAVERS
	DECOMPOSED GRANITE (DG)
	LANDSCAPE



ON-SITE DMA SUMMARY					SCM-SUMMARY			
	DMA-1	DMA-2	DMA-3 (FIRE ACCESS)	TOTAL	EISA	SCM #	SCM TYPE	SCM AREA
BIORETENTION AREA =	20,080 SF	3,495 SF	-	23,575 SF	-	SCM-1	LARGE BIOSWALE	20,080 SF
LANDSCAPE DEPRESSIONS =	2,020 SF	2,004 SF	-	4,024 SF	-	SCM-1A	LANDSCAPE DEPRESSION	544 SF
PERMEABLE PAVERS (C=0.1) =	1,539 SF	3,207 SF	-	4,746 SF	475 SF	SCM-1B	LANDSCAPE DEPRESSION	802 SF
IMPERVIOUS AREA (C=0.9) =	208,416 SF	62,871 SF	3,533 SF	274,820 SF	274,820 SF	SCM-1C	PERMEABLE PAVERS	1,240 SF
DG PATHWAYS (C=0.1) =	6,132 SF	-	-	6,132 SF	613 SF	SCM-1D	LANDSCAPE DEPRESSION	674 SF
TRIBUTARY AREA ¹ =	216,087 SF	66,078 SF	-	282,165 SF	-	SCM-1E	PERMEABLE PAVERS	299 SF
TOTAL EISA² = 275,908 SF						SCM-2	LARGE BIOSWALE	3,495 SF
10% EISA = 27,591 SF						SCM-2A	PERMEABLE PAVERS	660 SF
TOTAL PROVIDED RETENTION BASED SCM'S (BIORETENTION + PERMEABLE PAVERS) = 28,321 SF						SCM-2B	LANDSCAPE DEPRESSION	978 SF
NOTE 1 - TOTAL TRIBUTARY AREA (WITHOUT MODIFICATION FACTORS)						SCM-2C	PERMEABLE PAVERS	1,392 SF
NOTE 2 - TOTAL EISA ACCOUNTS FOR MODIFICATION FACTORS						SCM-2D	LANDSCAPE DEPRESSION	1,026 SF
NOTE: LANDSCAPE AREAS ARE COMPLIANT WITH WELO ORDINANCE AND THEREFORE ARE EXCLUDED FROM THE EISA PER ATTACHMENT E OF R3-2013-0032						SCM-2E	PERMEABLE PAVERS	1,155 SF
OFF-SITE DMA SUMMARY					TOTAL BIORETENTION AREA = 23,575 SF			
	DMA-4 (LOMA ENTRANCE)	DMA-5 (ERRINGTON RD)			TOTAL LANDSCAPE DEPRESSION = 4,024 SF			
IMPERVIOUS AREA =	5,716 SF	7,362 SF			TOTAL PERMEABLE PAVERS = 4,746 SF			

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APN# 018-372-14
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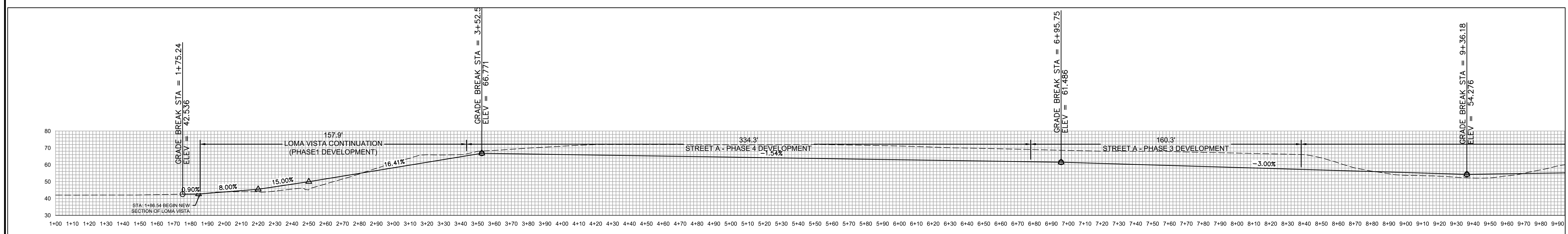
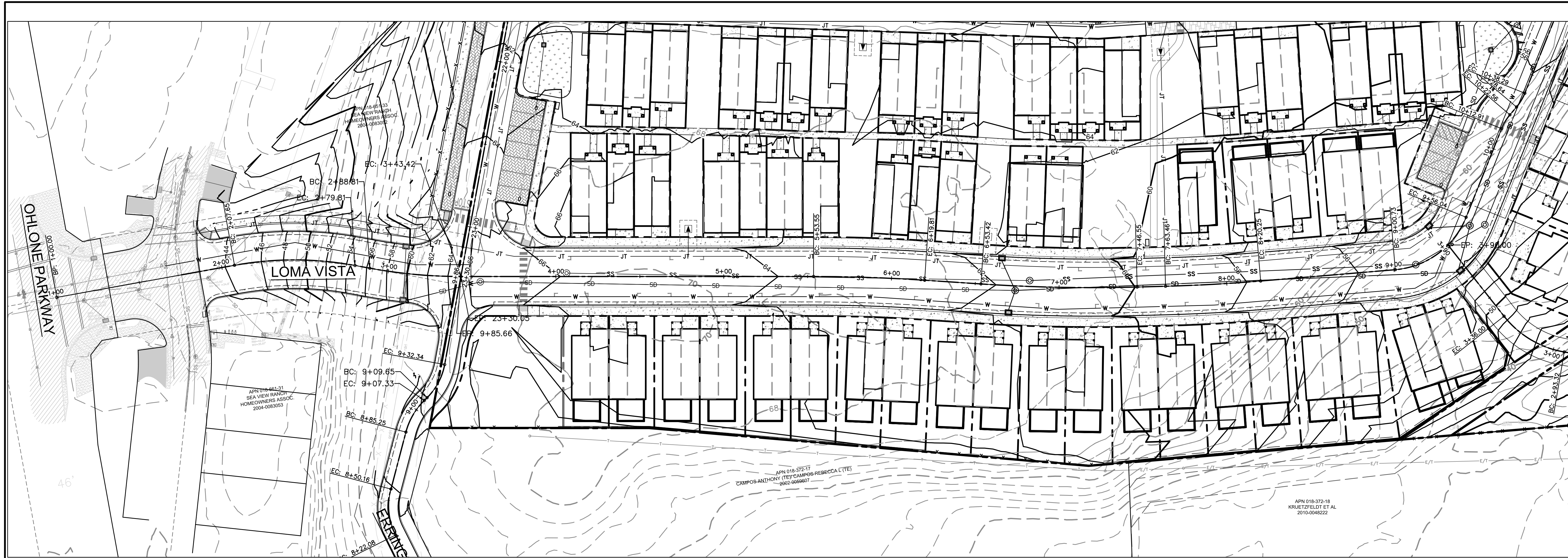
STORMWATER CONTROL PLAN
 HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA, 95076

DATE	DESCRIPTION	BY	REVISION BLOCK

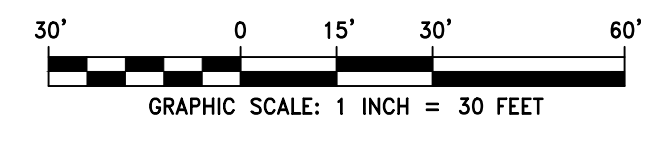
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 SCALE: AS NOTED
 PROJECT NO: 20-021
 SHEET:



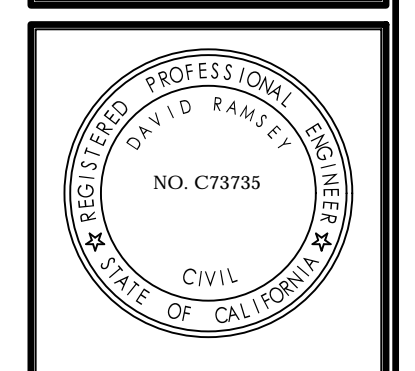
SWCP-1



STREET A - PLAN & PROFILE
STA: 1+00 - 9+50



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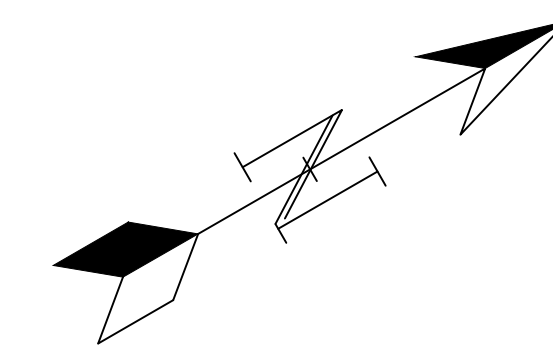
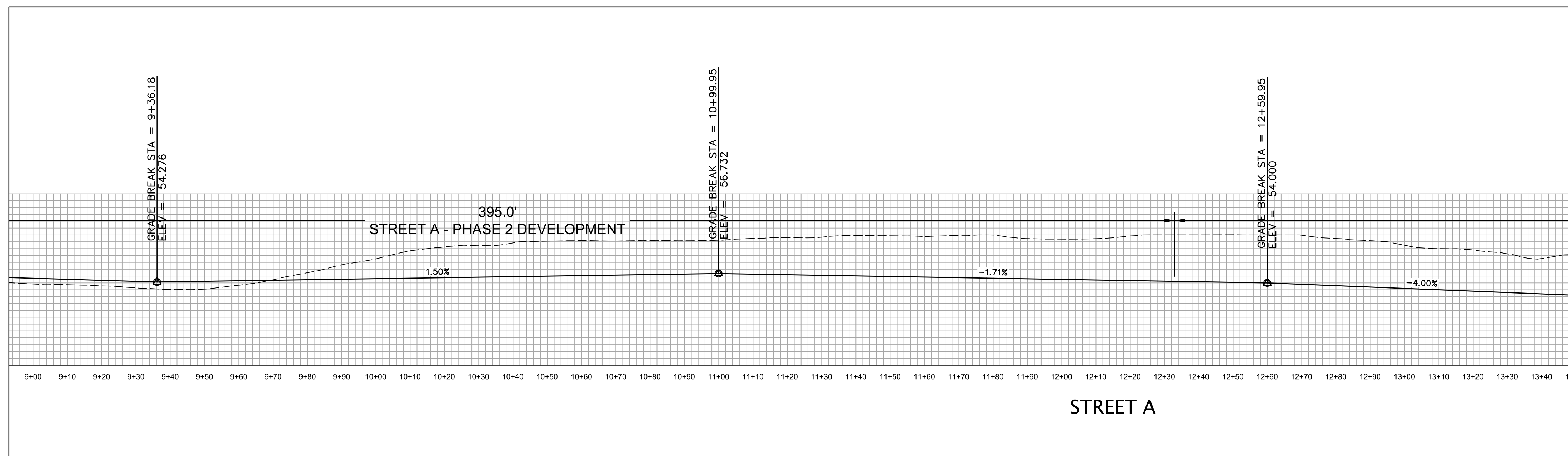
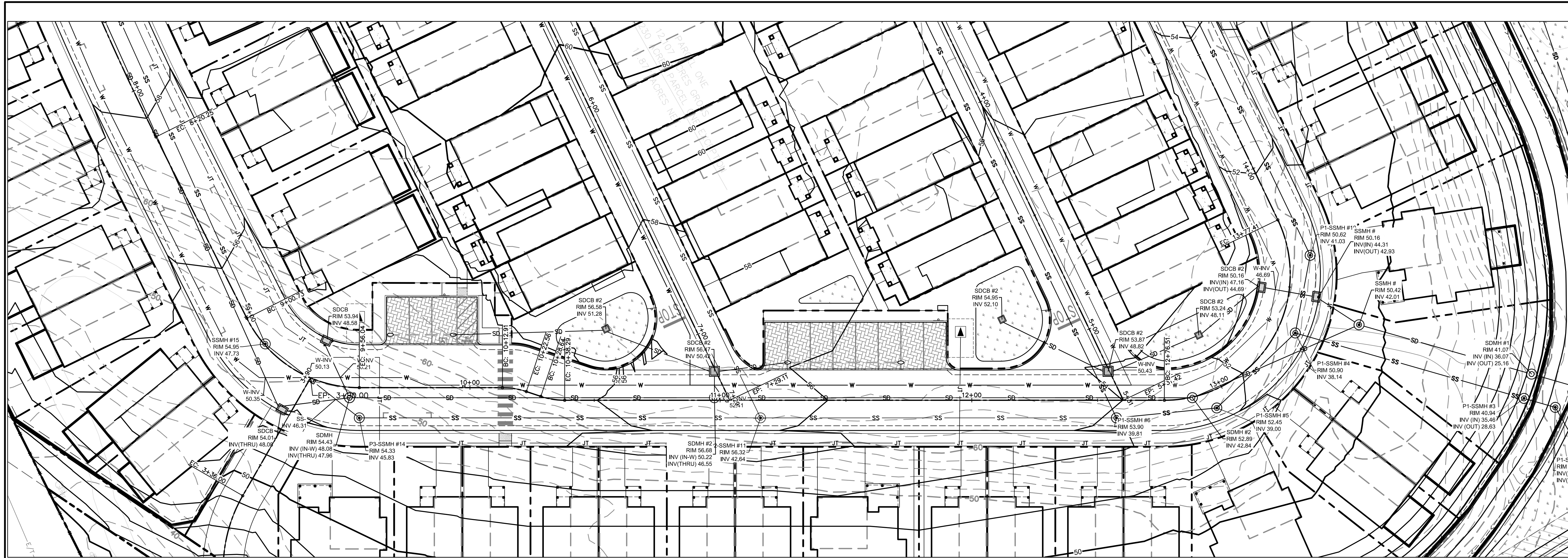
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NUMBER	BY	DESCRIPTION	DATE

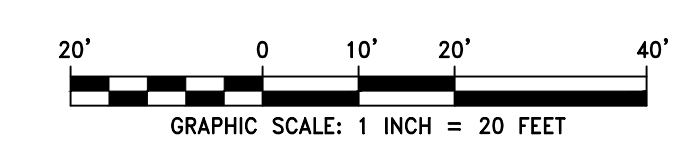
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 SCALE: AS NOTED
 PROJECT NO: 20-021
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C6.0

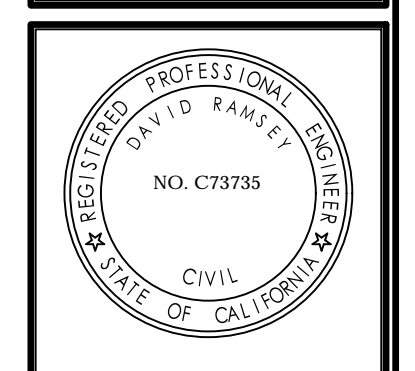




STREET A - PLAN & PROFILE
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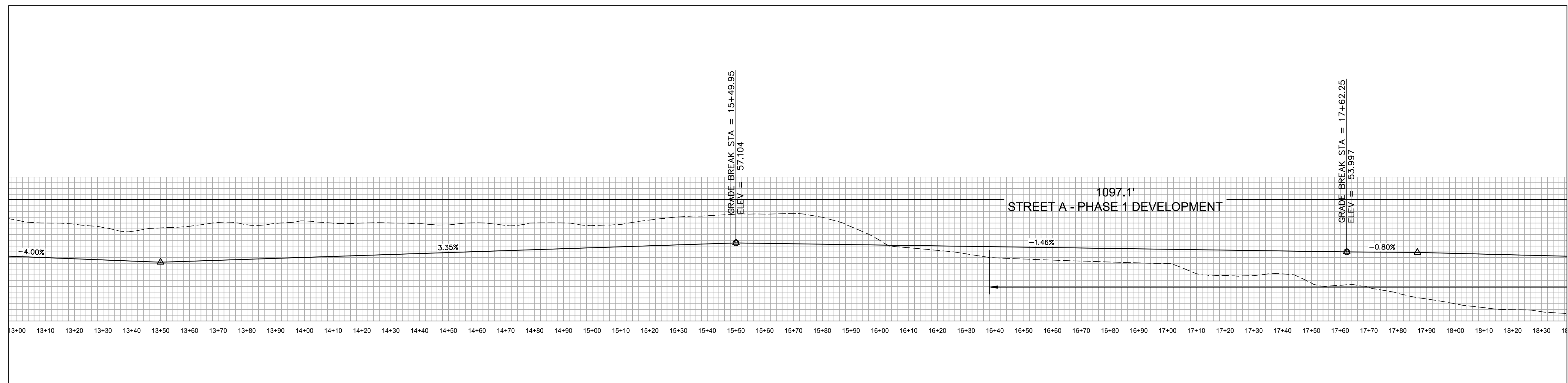
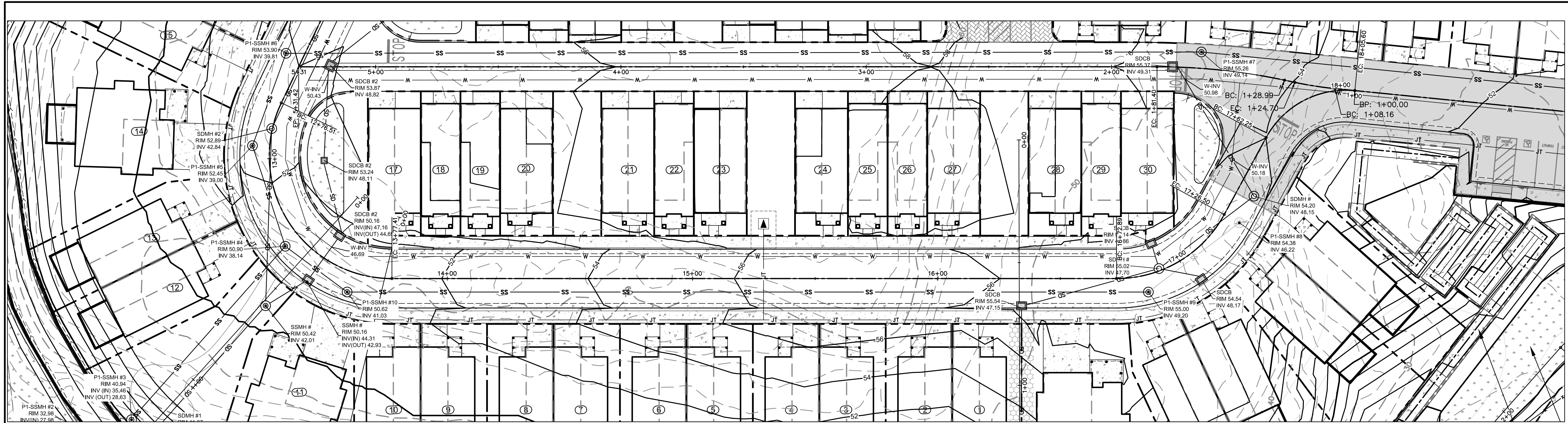
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HILLCREST SUBDIVISION
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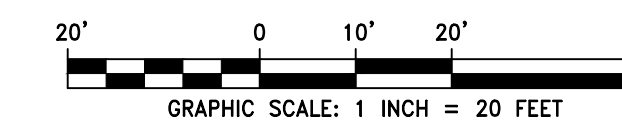
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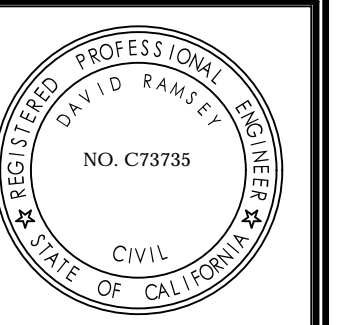
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STREET A - PLAN & PROFILE
STA: 13+60 - 18+30



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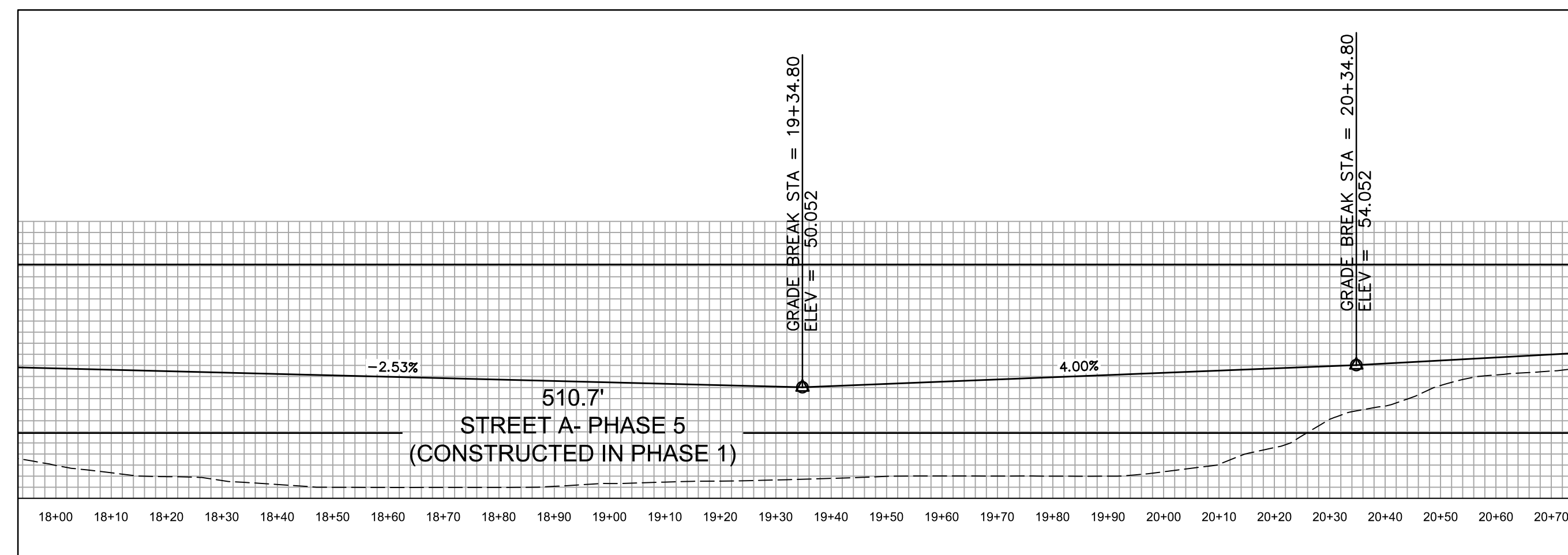
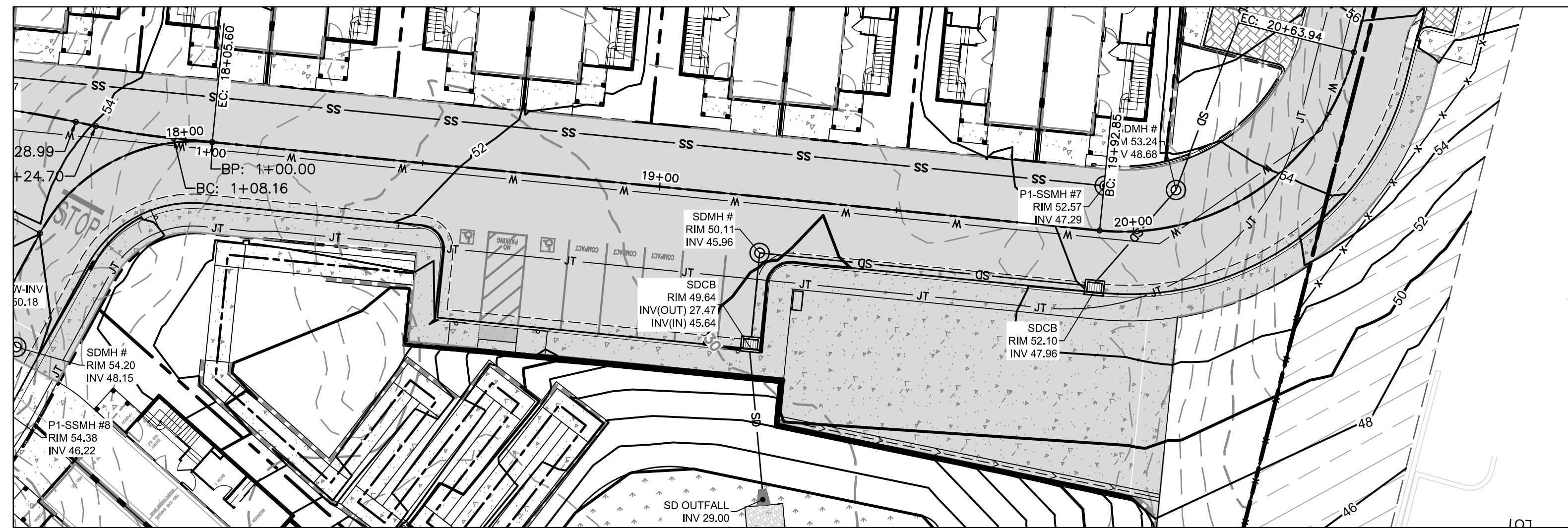
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HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

NUMBER	BY	DESCRIPTION	DATE

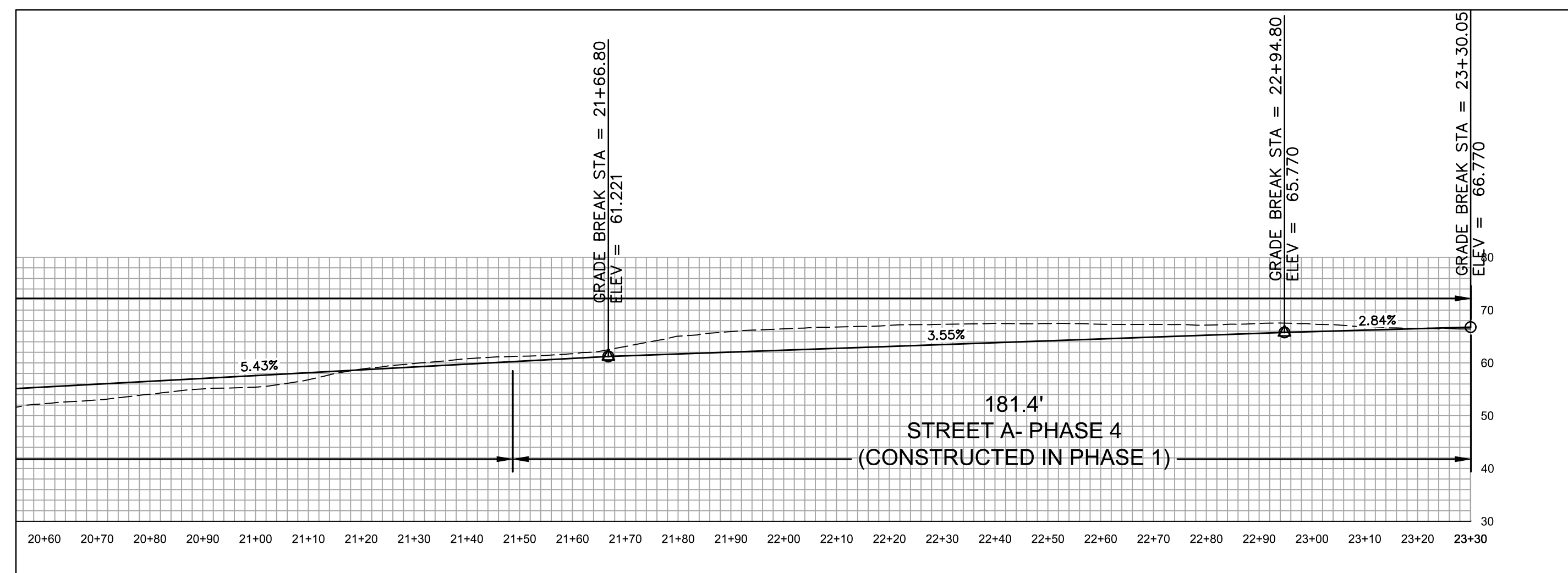
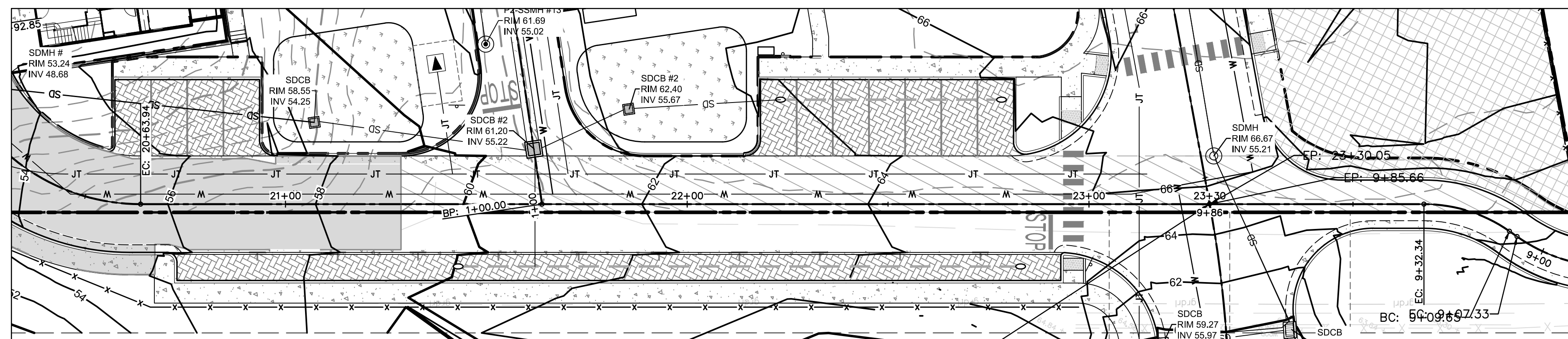
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C6.2





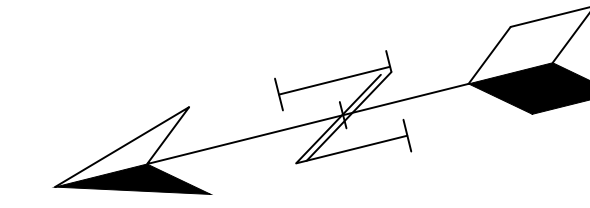
STREET A - PLAN & PROFILE
STA: 18+20 - 20+64



STREET A - PLAN & PROFILE
STA: 20+64 - 23+30



STREET A - PLAN & PROFILE



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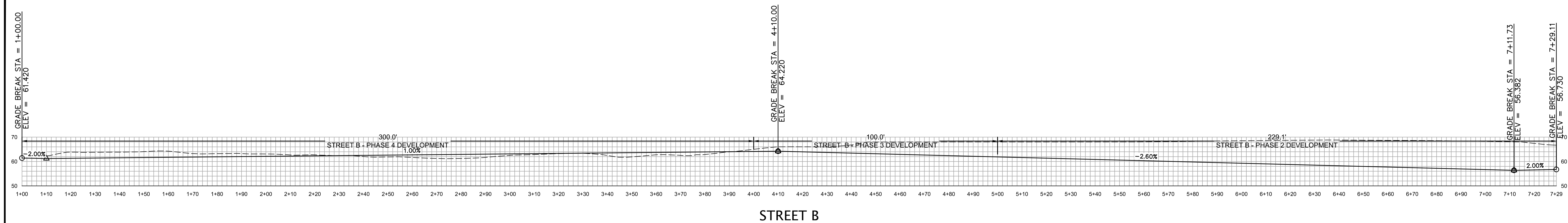
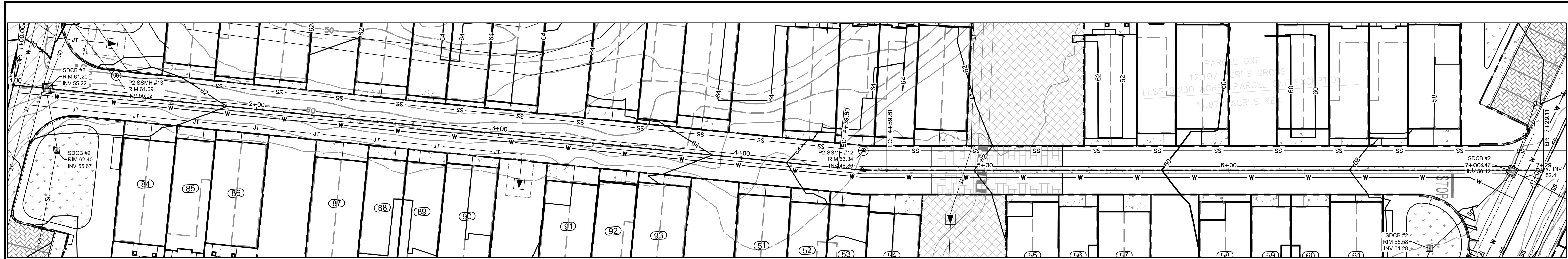
STREET A - PLAN & PROFILE (STA:18+20 - 23+30)
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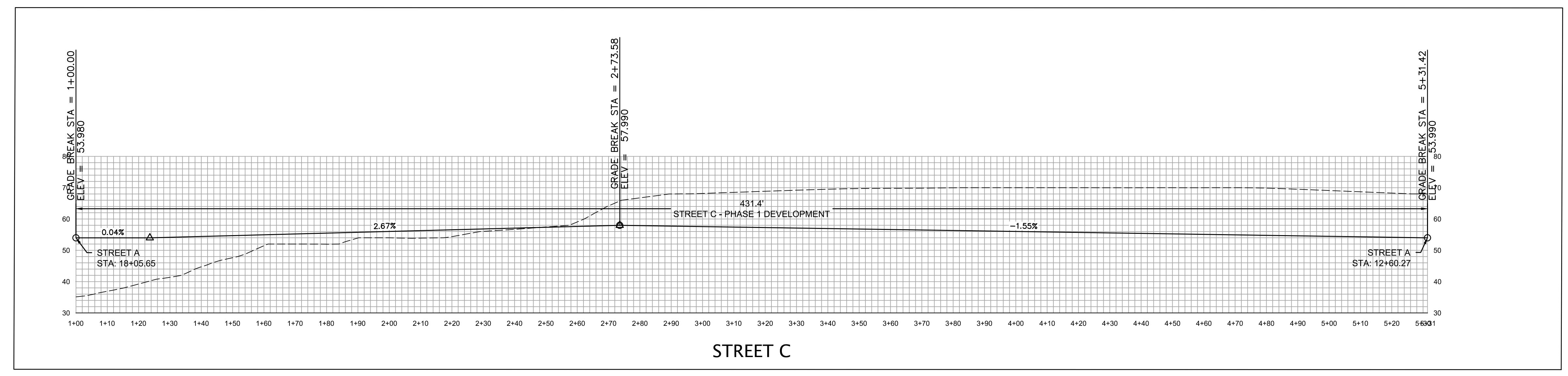
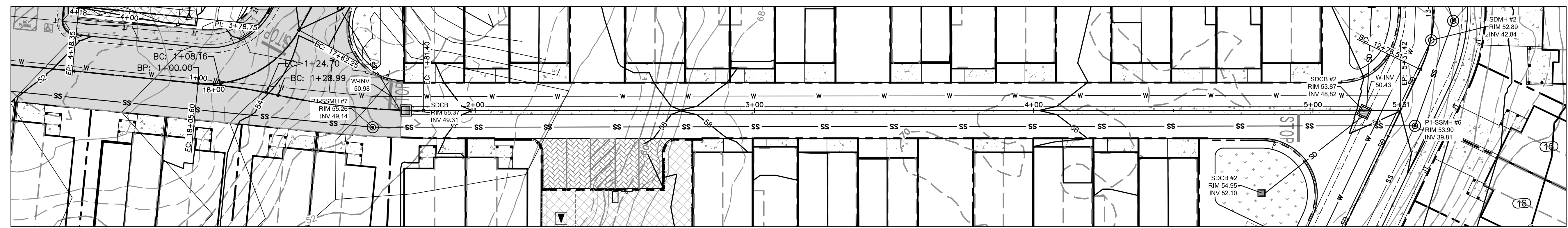
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C6.3

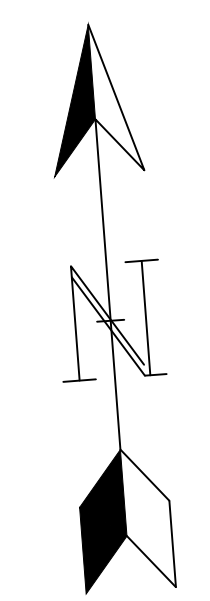
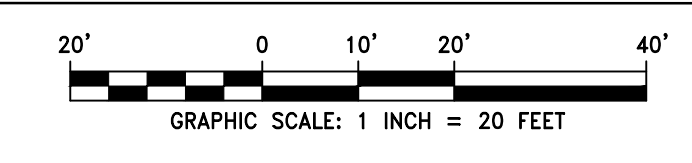


STREET B

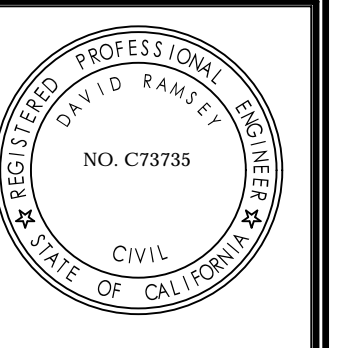


STREET C

STREET B & STREET C - PLAN & PROFILE



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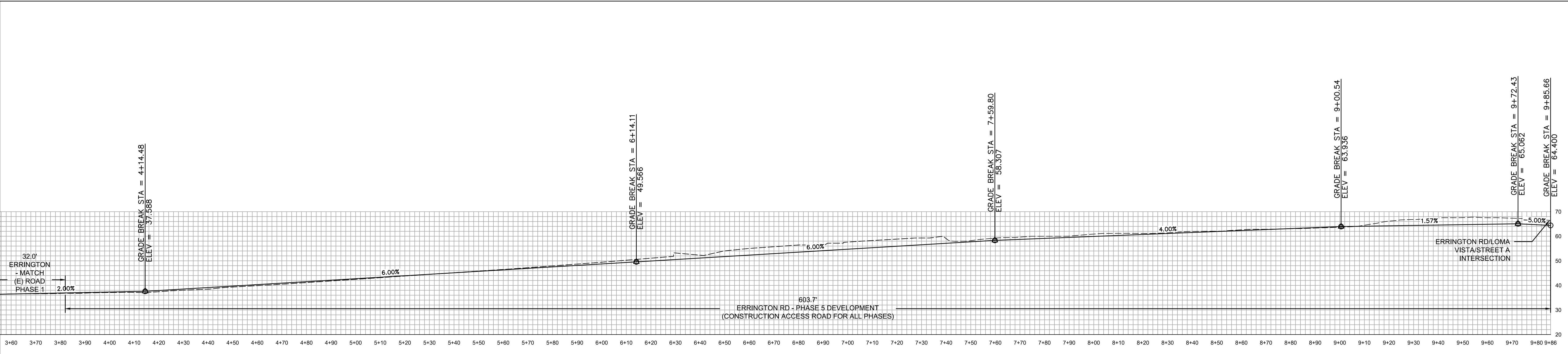
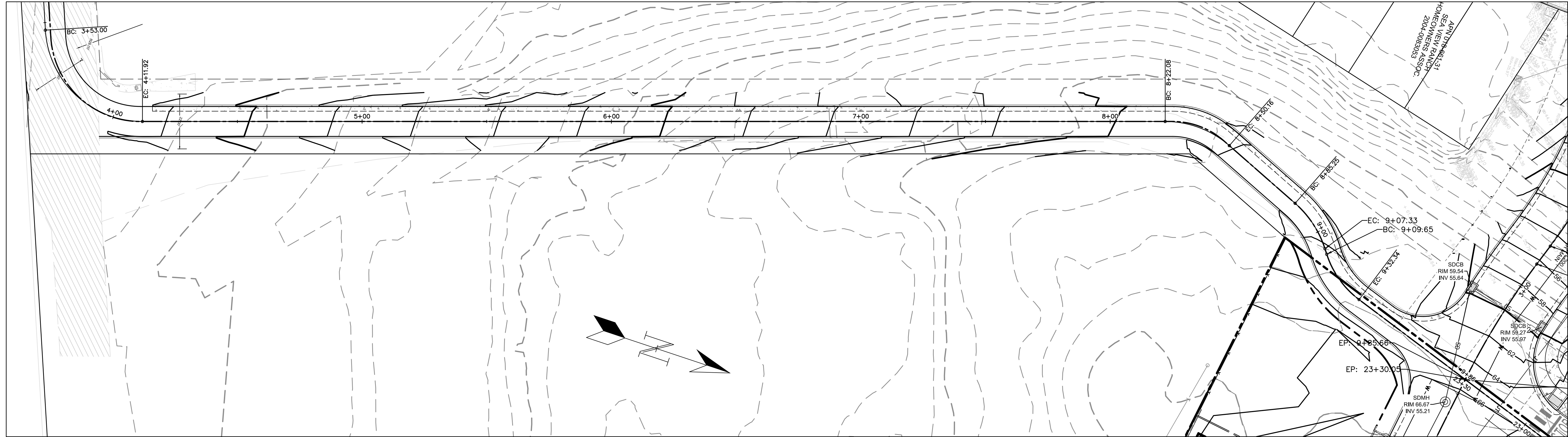
APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

STREET B & STREET C - PLAN & PROFILE
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

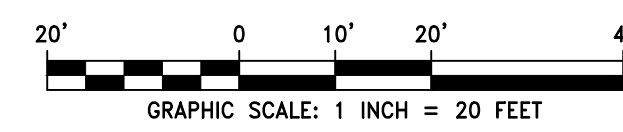
NUMBER	BY	DESCRIPTION	DATE

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DESIGNED BY: DMR
DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C6.4



ERRINGTON ROAD (SECONDARY ENTRANCE ROAD) - PLAN & PROFILE



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 www.ramseycivilengineering.com



DAVID RAMSEY DATE
 RCE# 73735

APN# 018-372-14
 PLAN TYPE
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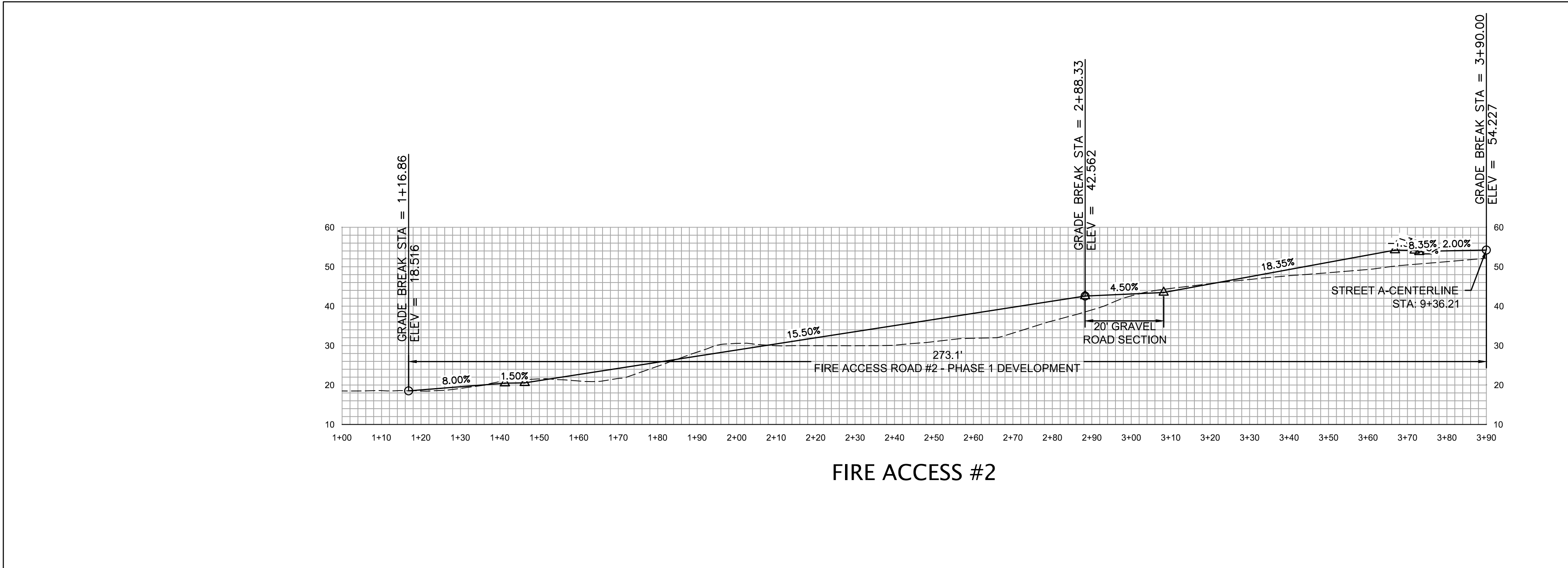
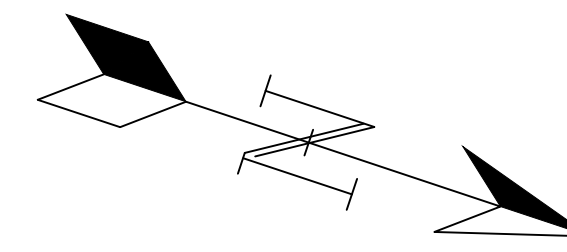
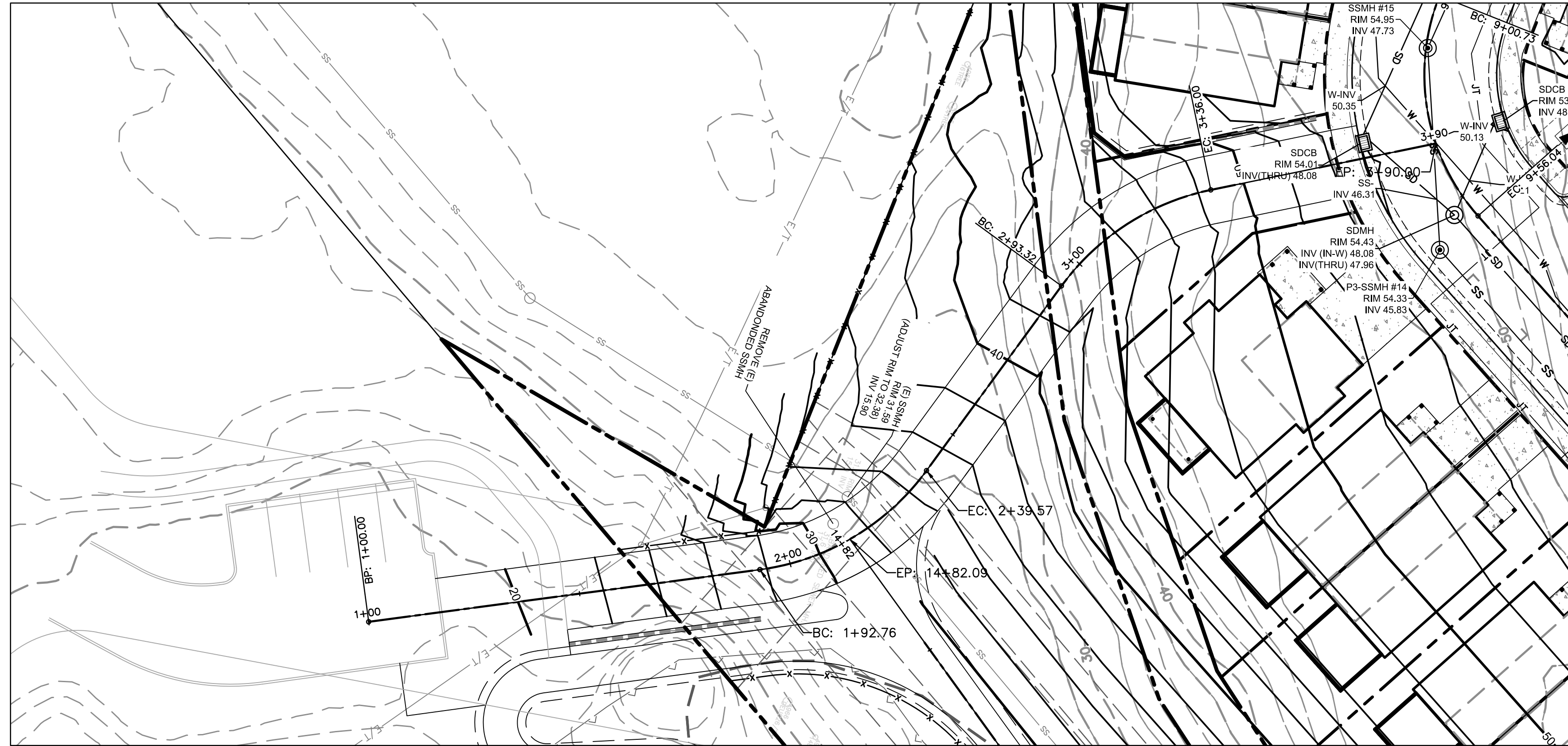
ERRINGTON ROAD (SECONDARY ENTRANCE)
 PLAN & PROFILE
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

REVISION BLOCK	NUMBER	BY	DESCRIPTION	DATE

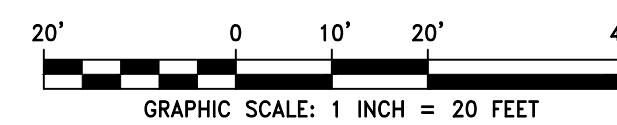
DRAWN BY: DMR
 DESIGNED BY: DMR
 DATE: 06/04/2021
 SCALE: AS NOTED
 PROJECT NO: 20-021
 SHEET:

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FIRE ACCESS ROAD #2 (VIA SUNSHINE GARDEN) - PLAN & PROFILE



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DAVID RAMSEY DATE
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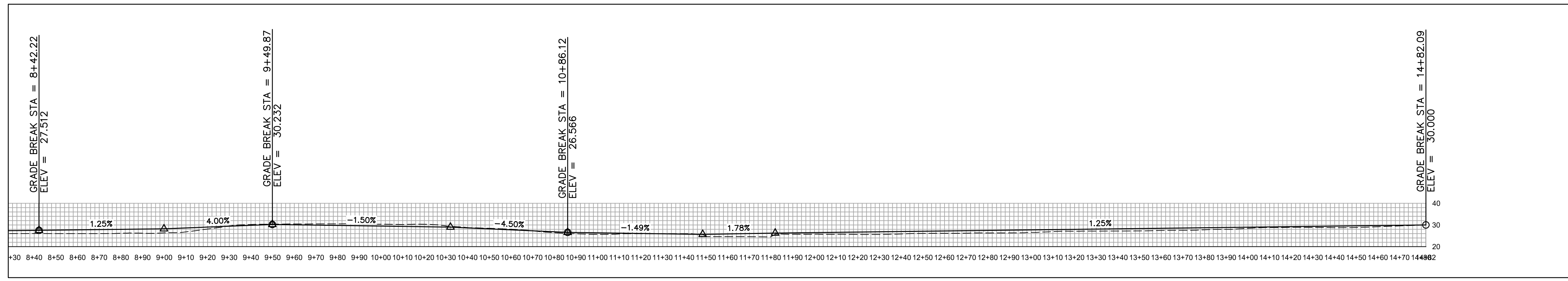
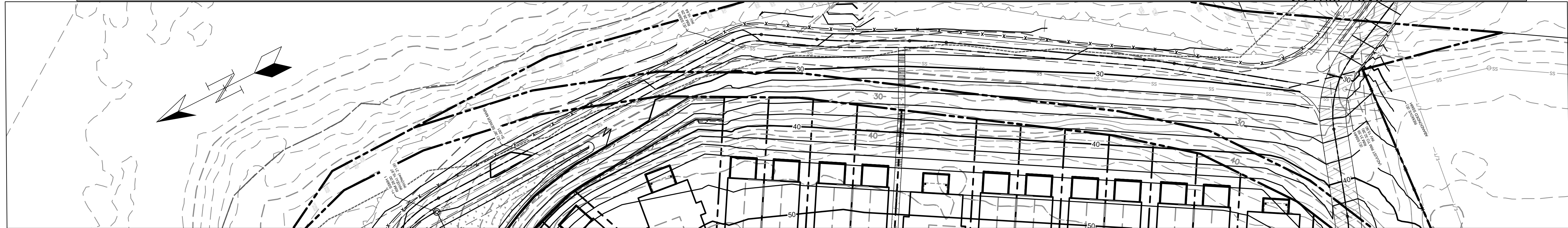
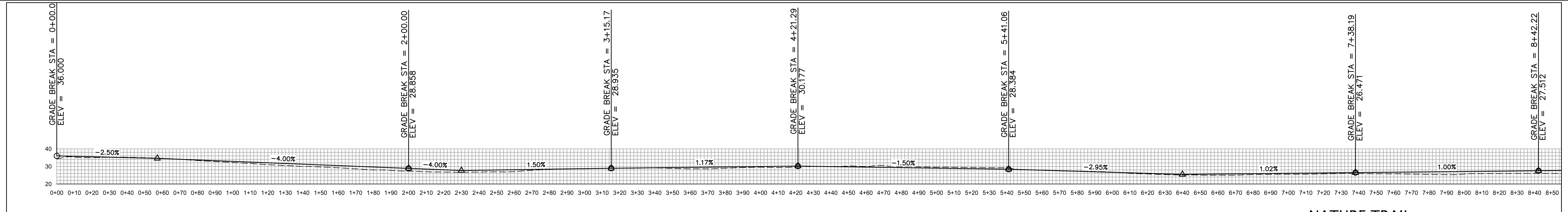
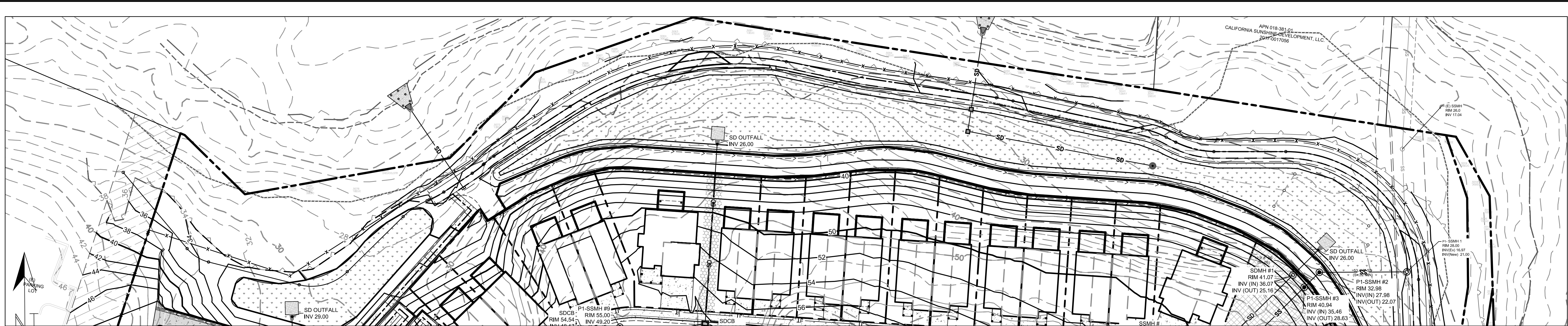
APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

FIRE ACCESS ROAD #2 (VIA SUNSHINE GARDEN)
PLAN & PROFILE
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

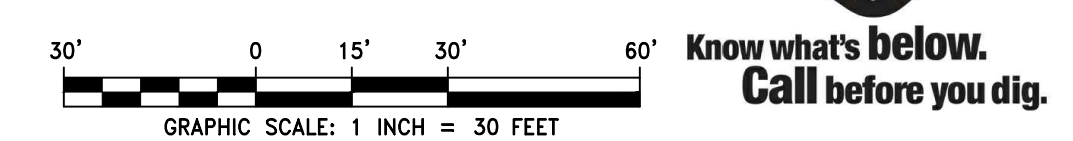
NUMBER	BY	DESCRIPTION	DATE

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DESIGNED BY: DMR
DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C6.6

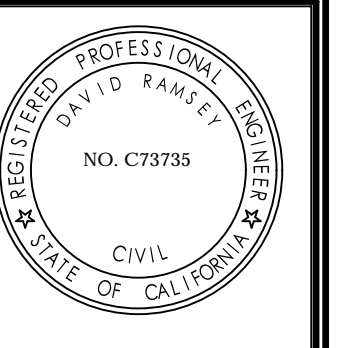


NATURE TRAIL - PLAN & PROFILE



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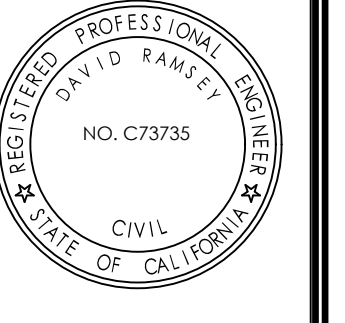
APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

NATURE TRAIL - PLAN & PROFILE
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

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DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C6.7



DAVID RAMSEY DATE
RCE# 73735

APN# 018-372-14
PLAN TYPE
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SUBDIVISION

OFFSITE IMPROVEMENTS
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

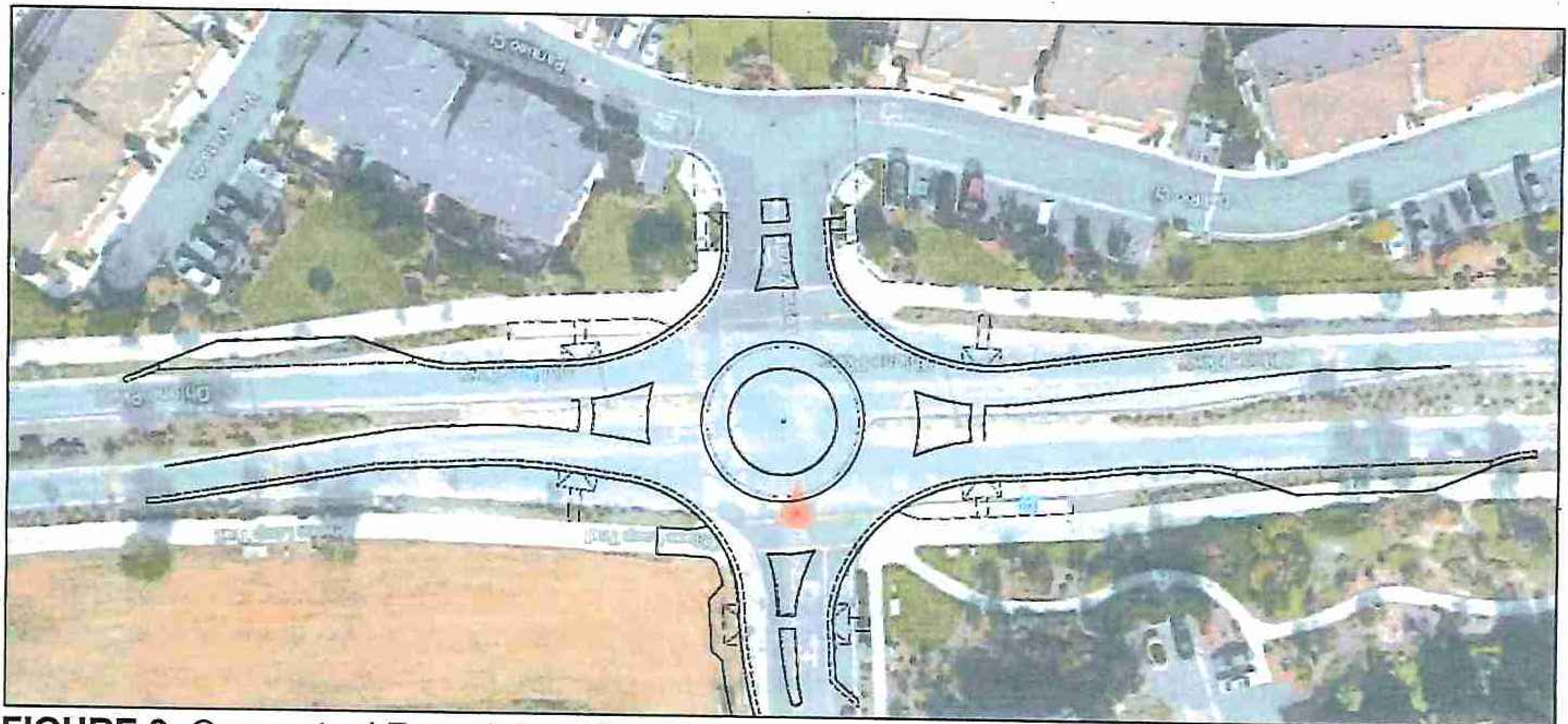
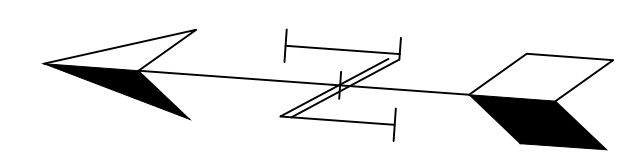


FIGURE 3. Conceptual Roundabout Design



NATURE TRAIL - PLAN & PROFILE



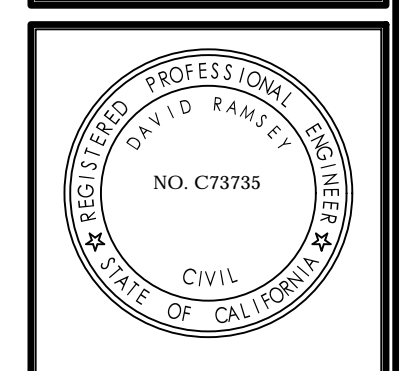
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DESIGNED BY: DMR
DATE: 06/21/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

C7.0



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DAVID RAMSEY DATE
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APN# 018-372-14
 PLAN TYPE
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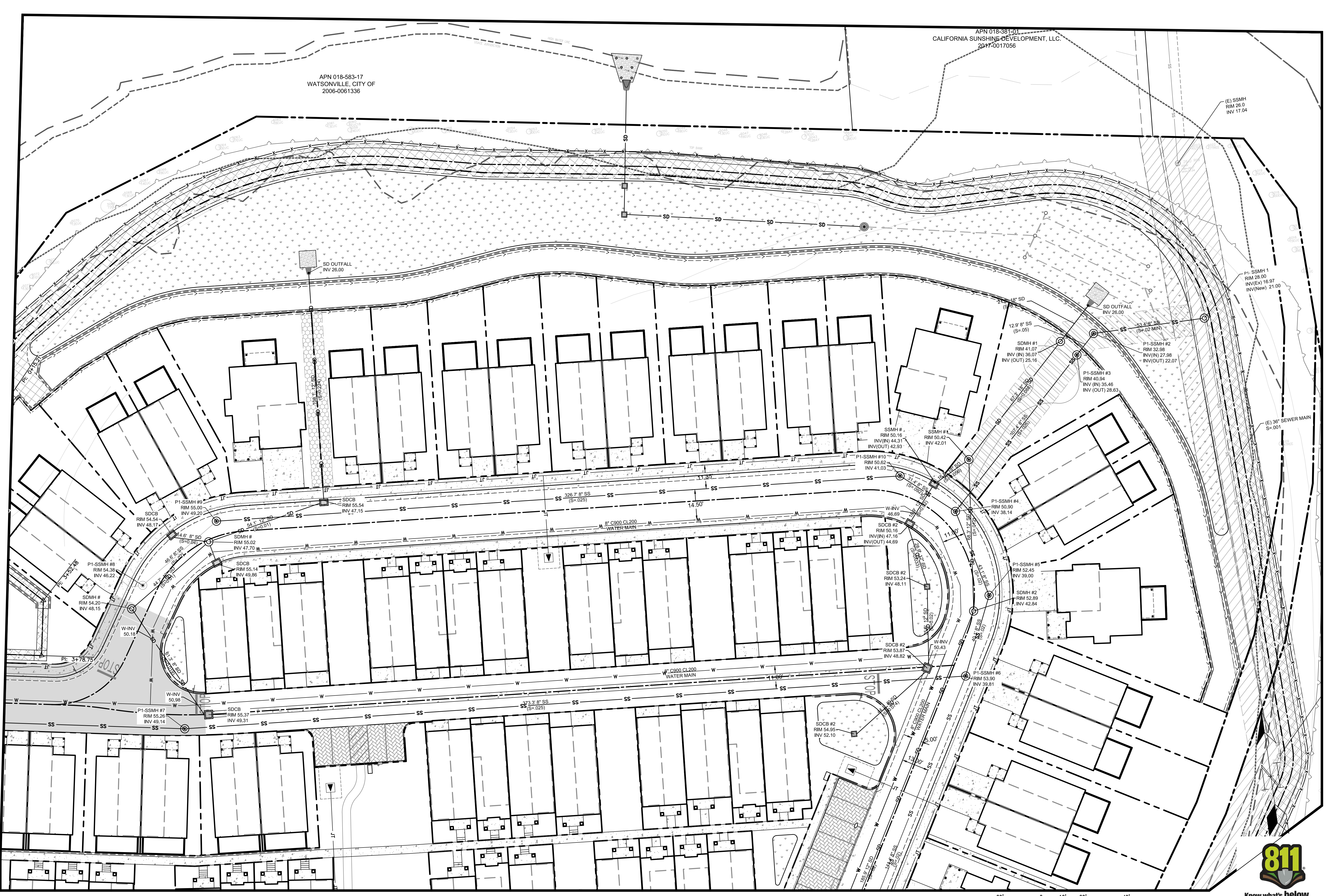
PRELIMINARY UTILITY PLAN - FULL SITE
HILLCREST SUBDIVISION
 510 OHLENE PARKWAY, WATSONVILLE, CA 95076

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 PROJECT NO: 20-021
 SHEET:

C8.0





APN 018-583-17
WATSONVILLE, CITY OF
2006-0061336

APN 018-381-01
CALIFORNIA SUNSHINE DEVELOPMENT, LLC
2017-0017056

(E) SSMH
RIM 28.0
INV 17.04

P1-SSMH #1
RIM 28.00
INV(IN) 16.97
INV(OUT) 21.00

SD OUTFALL
INV 26.00

SDMH #1
RIM 41.07
INV(IN) 35.07
INV(OUT) 25.16

P1-SSMH #2
RIM 32.98
INV(IN) 27.98
INV(OUT) 22.07

P1-SSMH #3
RIM 40.94
INV(IN) 35.46
INV(OUT) 28.63

SSMH #
RIM 50.16
INV(IN) 44.31
INV(OUT) 42.93

SSMH #1
RIM 50.42
INV 42.01

P1-SSMH #10
RIM 50.62
INV 41.03

P1-SSMH #4
RIM 50.90
INV 38.14

SDCB #2
RIM 50.16
INV(IN) 47.16
INV(OUT) 44.69

SDCB #2
RIM 53.24
INV 48.11

SDCB #2
RIM 53.87
INV 48.82

W-INV
50.43

P1-SSMH #5
RIM 52.45
INV 39.00

SDMH #2
RIM 52.89
INV 42.84

P1-SSMH #6
RIM 53.90
INV 39.81

P1-SSMH #9
RIM 55.00
INV 46.20

SDCB #1
RIM 54.54
INV 48.17

SDMH #
RIM 54.20
INV 48.15

P1-SSMH #8
RIM 54.38
INV 46.22

SDCB #1
RIM 55.14
INV 49.86

SDMH #
RIM 55.02
INV 47.70

P1-SSMH #7
RIM 55.26
INV 49.14

SDCB #1
RIM 55.37
INV 49.31

W-INV
50.98

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RIM 55.26
INV 49.14

SDCB #1
RIM 55.37
INV 49.31

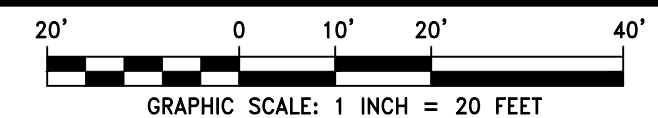
W-INV
50.98

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INV 49.14

SDCB #1
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INV 49.31

W-INV
50.98

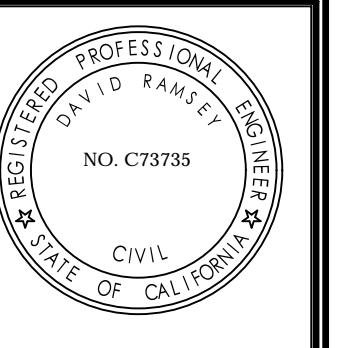
PRELIMINARY UTILITY PLAN



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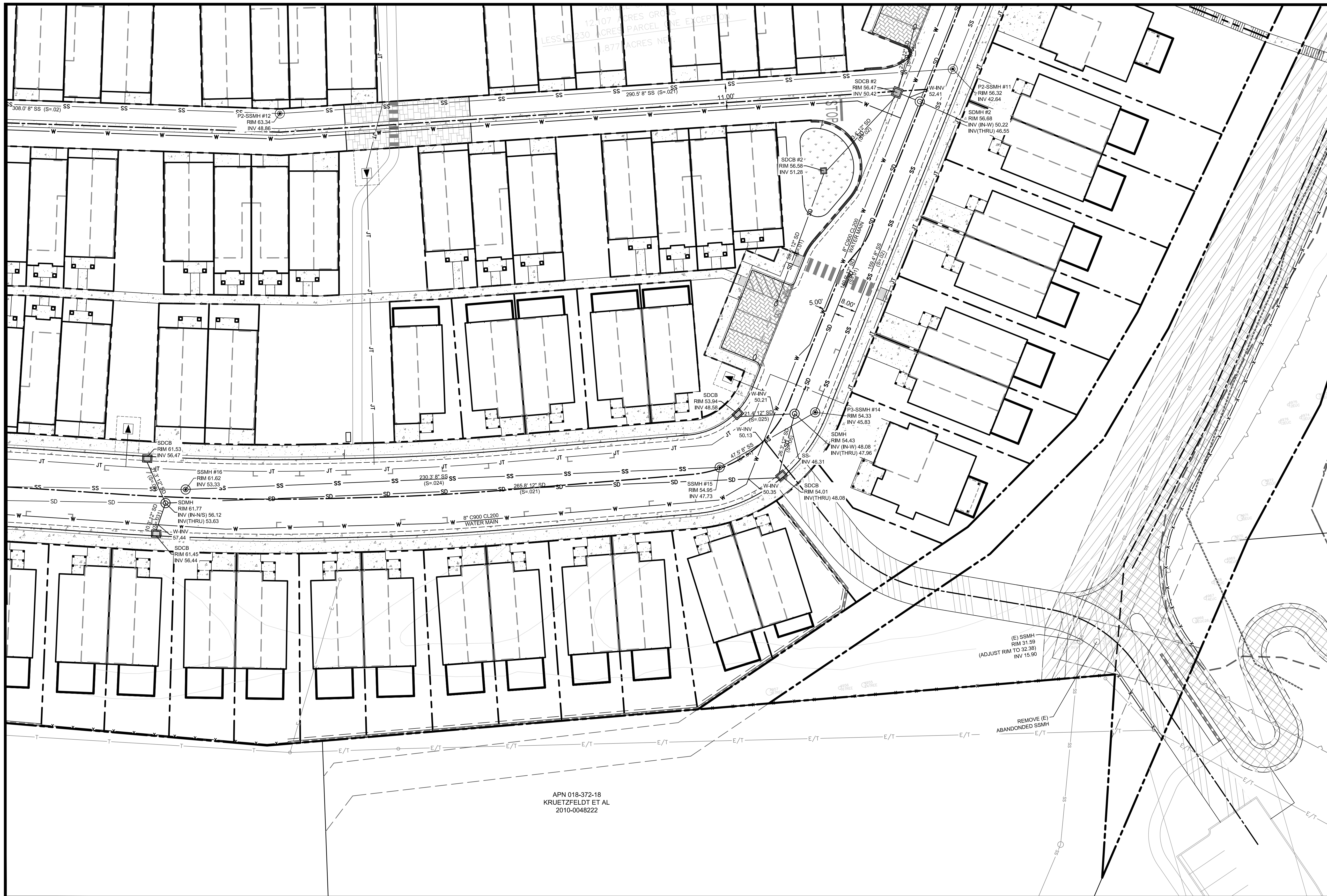
APN# 018-372-14
PLAN TYPE
RESIDENTIAL
SUBDIVISION

PRELIMINARY UTILITY PLAN
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

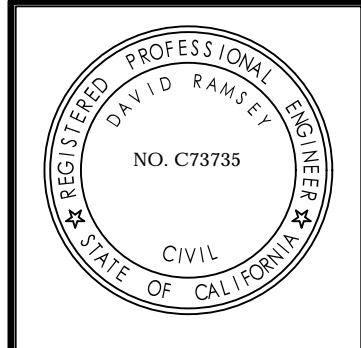
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 PLAN TYPE
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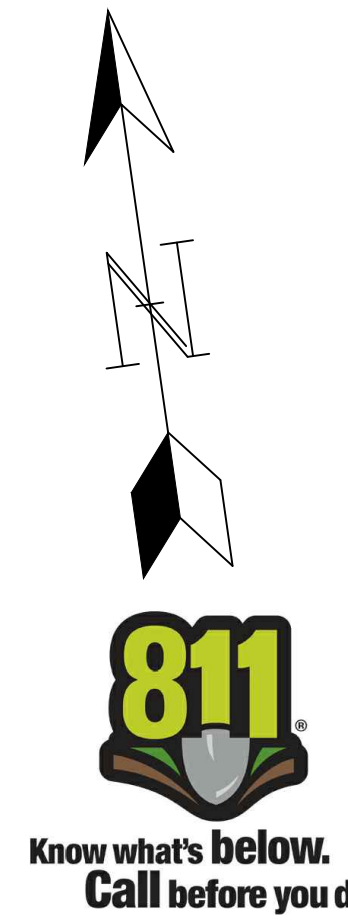
PRELIMINARY UTILITY PLAN
HILLCREST SUBDIVISION
 510 OHLONE PARKWAY, WATSONVILLE, CA 95076

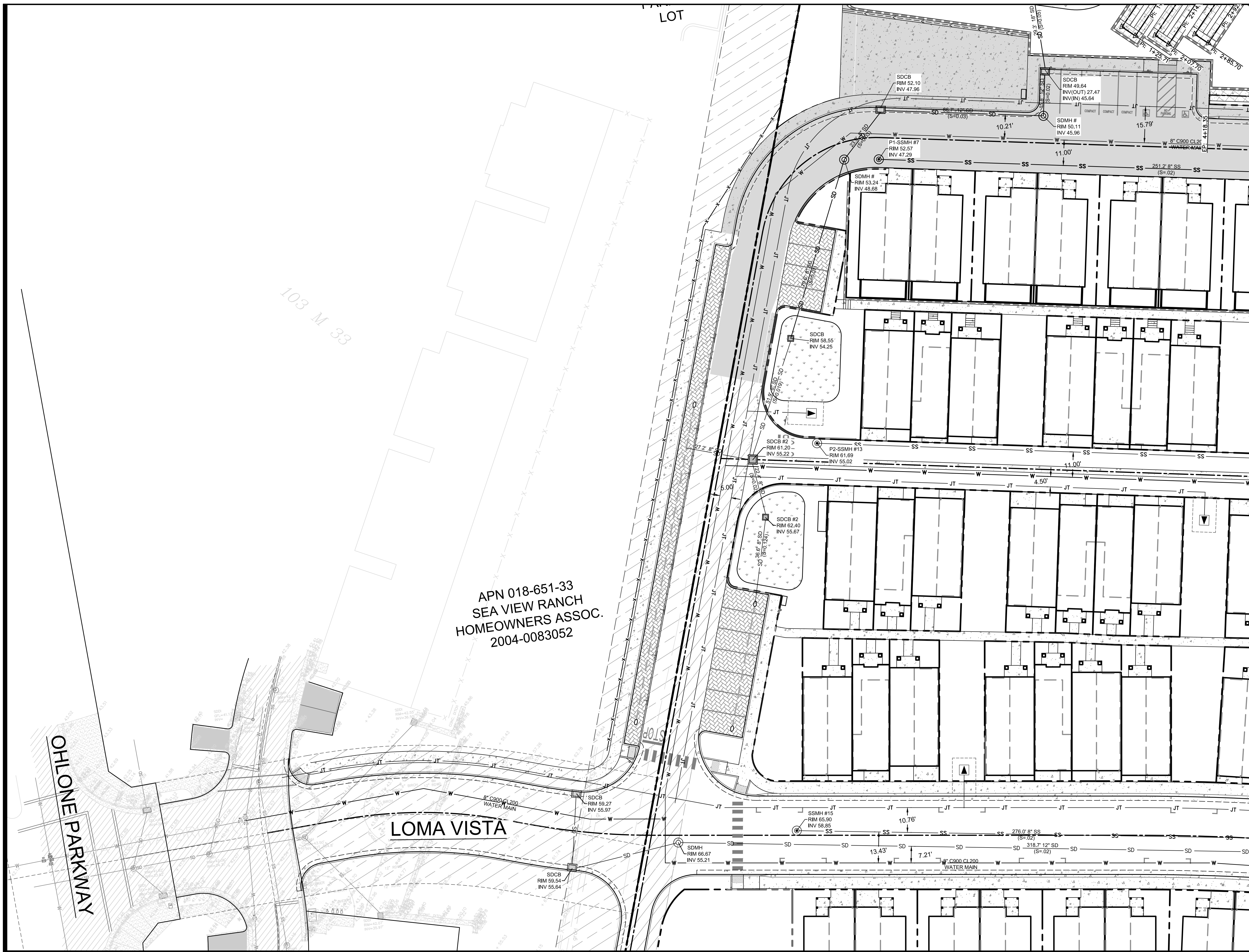
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 SCALE: AS NOTED
 PROJECT NO: 20-021
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PRELIMINARY UTILITY PLAN



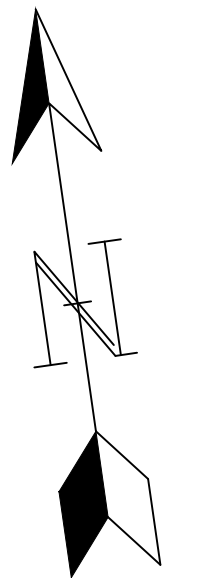


APN 018-651-33
SEA VIEW RANCH
HOMEOWNERS ASSOC.
2004-0083052

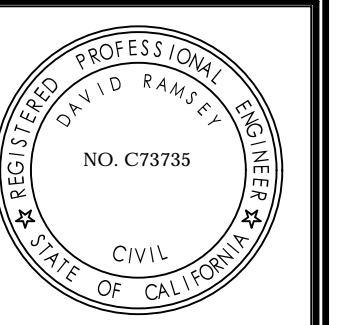
OHLONE PARKWAY

LOMA VISTA

PRELIMINARY UTILITY PLAN



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APN# 018-372-14
PLAN TYPE
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SUBDIVISION

PRELIMINARY UTILITY PLAN
HILLCREST SUBDIVISION
510 OHLONE PARKWAY, WATSONVILLE, CA 95076

REVISION BLOCK	NUMBER	DESCRIPTION	DATE

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DESIGNED BY: DMR
DATE: 06/04/2021
SCALE: AS NOTED
PROJECT NO: 20-021
SHEET:

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RESIDENTIAL DEVELOPMENT

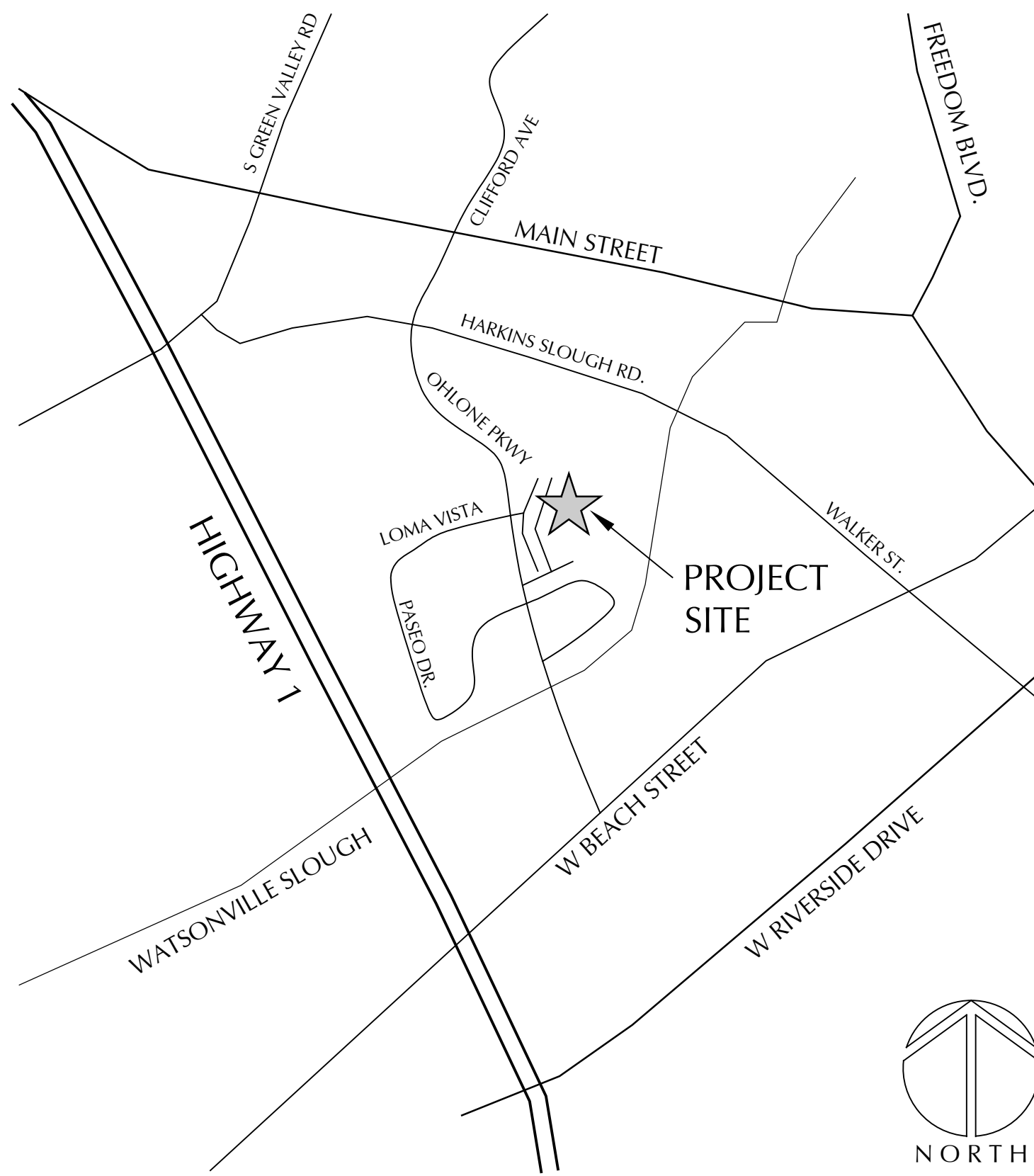
HILLCREST

WATSONVILLE, CALIFORNIA



WILLIAM C. KEMPF
ARCHITECTS
911 Center Street, Suite F
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

VICINITY MAP



PROJECT MATRIX

1. UNIT PHASING BY UNIT TYPE
REFERENCE: SHEET C4.0

UNIT TYPE	MODEL #	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	TOTAL
SFD - SINGLE FAMILY	A	2	2	0	0	1	5
DUET TOWNHOME	C-2	14	12	11	10	16	63
TOWNHOME	F	3	5	4	5	3	20
TOWNHOME	G	5	5	6	6	5	27
TOWNHOME (AFFORD.)	K	6	5	6	6	6	29
TOTALS		30	29	27	27	31	144

2. UNIT CONDITIONED AREA IN S.F.

UNIT TYPE	No. OF UNITS	MODEL	GROUND FLOOR	SECOND FLOOR	THIRD FLOOR	UNIT AREA HEATED	TOTAL AREA PER TYPE
SFD - SINGLE FAMILY	5	A	844	1,182	0	2,026	10,130 S.F.
DUET TOWNHOME	63	C-2	416	816	816	2,048	129,024 S.F.
TOWNHOME	20	F	390	614	614	1,618	32,360 S.F.
TOWNHOME	27	G	383	682	682	1,747	47,169 S.F.
TOWNHOME (AFFORD.)	29	K	171	691	535	1,397	40,513 S.F.
TOTAL UNITS	144		TOTAL DEVELOPMENT CONDITIONED AREA:			259,196 S.F.	

3. UNIT UN-CONDITIONED AREA IN S.F.

UNIT TYPE	No. OF UNITS	MODEL	GARAGE AREA	FRONT PORCH	PATIO/ DECK	BALCONY	STORAGE & TRASH
SFD - SINGLE FAMILY	5	A	844	108	192	NONE	300
DUET TOWNHOME	63	C-2	465	20	208	NONE	200
TOWNHOME	20	F	459	62	NONE	210	200
TOWNHOME	27	G	459	69	NONE	126	200
TOWNHOME (AFFORD.)	29	K	559	32	NONE	160	300
TOTAL UNITS	144						

4. UNIT DESIGN DATA

UNIT TYPE	No. OF UNITS	MODEL	STORIES	BATHS PER UNIT	BEDS PER UNIT	TOTAL BEDS
SFD - SINGLE FAMILY	5	A	2	2.5	3	15
DUET TOWNHOME	63	C-2	3	3.5	3	189
TOWNHOME	20	F	3	3.5	3	60
TOWNHOME	27	G	3	3.5	3	81
TOWNHOME (AFFORD.)	29	K	3	2	3	87
TOTAL UNITS	144		TOTAL BEDROOMS IN THE DEVELOPMENT:		432	

5. PARKING MATRIX (COVERED & GARAGE SPACES)

UNIT TYPE	No. OF UNITS	MODEL	REQ'D PER UNIT PER	TOTAL REQ'D PER UNIT TYPE	PROVIDED PER UNIT	TOTAL PROVIDED PER UNIT TYPE
SFD - SINGLE FAMILY	5	A	2	10	2	10
DUET TOWNHOME	63	C-2	2	126	2	126
TOWNHOME	20	F	2	40	2	40
TOWNHOME	27	G	2	54	2	54
TOWNHOME (AFFORD.)	29	K	2	58	2	58
TOTAL COVERED PARKING SPACES:			288 REQ'D		288 PROVIDED	

6. PARKING MATRIX (GUEST PARKING)

ONE GUEST PARKING SPACE REQUIRED PER EVERY 8 BEDROOMS

REQUIRED: 8 / 432 BEDROOMS = 54 GUEST PARKING SPACES

PROVIDED: 85 GUEST PARKING SPACES

SHEET INDEX

ARCHITECTURAL PLANS

A1.0	VICINITY MAP, PROJECT DATA, SHEET INDEX
A2.0	UNIT A - FLOOR PLANS
A2.1	UNIT C2 - FLOOR PLANS
A2.2	UNIT F - FLOOR PLANS
A2.3	UNIT G - FLOOR PLANS
A2.4	UNIT K - FLOOR PLANS
A4.0	UNIT A - ELEVATIONS
A5.0	DUPLEX - ELEVATION PACKAGE #1
A5.1	DUPLEX - ELEVATION PACKAGE #2
A6.0	3 TOWNHOMES - ELEVATION PACKAGE #1
A6.1	3 TOWNHOMES - ELEVATION PACKAGE #2
A7.0	4 TOWNHOMES - ELEVATION PACKAGE #1
A7.1	4 TOWNHOMES - ELEVATION PACKAGE #2

CIVIL ENGINEERING PLANS

C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS
C3.0	TENTATIVE MAP
C4.0	SITE PHASING & UNIT BUILDING LAYOUT
C5.0	ROUGH GRADING & SITE DRAINAGE PLAN
C5.1	REMEDICATION PIT GRADING PLAN
C5.2	SITE ENVIRONMENTAL GRADING PLAN
C5.3	SITE DRAINAGE/RAINGARDEN PLAN
C5.4	ROUGH GRADING EROSION CONTROL PLAN
C5.5	EROSION CONTROL NOTES & DETAILS
C5.6	RETAINING WALL PROFILES (WALL A & B)
C5.7	RETAINING WALL PROFILES (WALL C & D)
C6.0	STREET A - PLAN & PROFILE (STA: 1+00 - 9+50)
C6.1	STREET A - PLAN & PROFILE (STA: 9+50 - 13+60)
C6.2	STREET A - PLAN & PROFILE (STA: 13+30 - 18+30)
C6.3	STREET A - PLAN & PROFILE (STA: 18+20 - 23+30)
C6.4	STREET B & STREET C - PLAN & PROFILE
C6.5	ERRINGTON ROAD (SECONDARY ENTRANCE) - PLAN & PROFILE
C6.6	FIRE ACCESS ROAD #2 (VIA SUNSHINE GARDEN) - PLAN & PROFILE
C6.7	NATURE TRAIL - PLAN & PROFILE
C7.0	OFF-SITE IMPROVEMENTS SHEET SERIES
C8.0	UTILITY PLAN - SHEET INDEX
C8.1	PRELIMINARY UTILITY PLAN
C8.2	PRELIMINARY UTILITY PLAN
C8.3	PRELIMINARY UTILITY PLAN

LANDSCAPE ARCHITECTURE PLANS

L1.0	EXISTING TREES
L1.1	PRELIMINARY LANDSCAPE PLAN
L1.2	PRELIMINARY LANDSCAPE TREE IMAGES
L1.3	PRELIMINARY LANDSCAPE TREE IMAGES
L1.4	PRELIMINARY LANDSCAPE PLANT IMAGES
L1.5	TYPICAL FRONT YARD LANDSCAPE PLANS
L2.0	SITE AMENITIES
L2.0	PRELIMINARY LANDSCAPE WATER USE DATA

PROJECT DATA

PROJECT DESCRIPTION:	CONSTRUCT A 144 DWELLING UNIT FAMILY RESIDENTIAL SUBDIVISION
APN:	018-372-14
PROJECT ADDRESS:	511 OHLONE PARKWAY WATSONVILLE, CALIFORNIA
LAND USE:	EXISTING: INDUSTRIAL PROPOSED: RM3-PD
AREA CALCULATIONS:	GROSS LAND AREA: 516,279 S.F. (11.85 ACRES) AREA OF WETLANDS: 48,839 S.F. (1.08 ACRES) AREA OF R.O.W.: 96,660 S.F. (2.22 ACRES) NET LAND AREA: 372,780 S.F. (8.56 ACRES)
DENSITY:	GENERAL PLAN: 14-42 UNITS PER ACRE AS DESIGNED: 12.2 UNITS PER ACRE
WATER & SEWER SERVICE:	CITY OF WATSONVILLE UTILITIES
ELECTRICITY & GAS:	PACIFIC GAS & ELECTRIC
REQUIRED PERMITS:	GENERAL PLAN AMENDMENT PLANNED DEVELOPMENT & ZONING LAND DIVISION TENTATIVE & PARCEL MAPS DESIGN REVIEW SPECIAL USE
OCCUPANCY TYPE:	R-3
CONSTRUCTION TYPE:	TYPE V-B (SPRINKLERED)
REFERENCE CODES:	2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE

OPEN SPACE AREA SUMMARY

DESIGNATION	AREA (S.F.)
RECREATIONAL OPEN SPACE	21,876
COMMON OPEN SPACE W/ RAINGARDEN	112,721
PARCEL LANDSCAPE	115,670
OFF-SITE PARCEL LANDSCAPE	11,044
TOTAL OPEN SPACE AREA	261,311 (6.0 ACRES)
TOTAL SITE AREA	516,267 (11.85 ACRES)
TOTAL OPEN SPACE AS PERCENTAGE OF LOT AREA	50.6%

PROJECT TEAM

OWNER:	CALIFORNIA SUNSHINE DEVELOPMENT, LLC 4041 SOQUEL DRIVE, SUITE 403 SOQUEL, CA 95073
PROJECT MANAGER:	CDM REAL ESTATE COMPANY 444 AIRPORT BOULEVARD, SUITE 203 WATSONVILLE, CA 95076 JOHN FRY & STEVE CROCKER: 831 728-5588
ARCHITECT:	WILLIAM C. KEMPF, ARCHITECT 911 CENTER STREET, SUITE F SANTA CRUZ, CA 95060 BILL KEMPF: 831 459-0951
CIVIL ENGINEER:	RAMSEY CIVIL ENGINEERING, INC. 2905 KRISTIE COURT SANTA CRUZ, CA 95065 DAVE RAMSEY: 831 462-2905
LANDSCAPE ARCHITECT:	MICHAEL ARNONE + ASSOCIATES 3370 SAMUEL PLACE SANTA CRUZ, CA 95062 MIKE ARNONE: 831 462-4988
GEOTECHNICAL ENGINEER:	MILLER PACIFIC ENGINEERING GROUP 504 REDWOOD BOULEVARD, SUITE 220 NOVATO, CA 94947 BEN PAPPAS: 415 382-3444
STRUCTURAL ENGINEER:	RMJ STRUCTURAL ENGINEERS 1 NORTHWOOD DRIVE, SUITE 3 ORINDA, CA 94563 JAYSON HAINES: 510 991-0977

RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
VICINITY MAP, PROJECT DATA, SHEET INDEX

DRAWING DATE:	JUNE 4, 2021
A.P.N.	018-372-14
CLIENT NAME:	CALIF. SUNSHINE DEV. LLC
PROJECT NAME:	HILLCREST

REVISIONS		
No.	DESCRIPTION	DATE

PRELIMINARY
NOT FOR
CONSTRUCTION

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SHEET
A1.0



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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
UNIT A - FLOOR PLANS

DRAWING DATE:
JUNE 4, 2021

A.P.N.
018-372-14

CLIENT NAME:
CALIF. SUNSHINE DEV. LLC

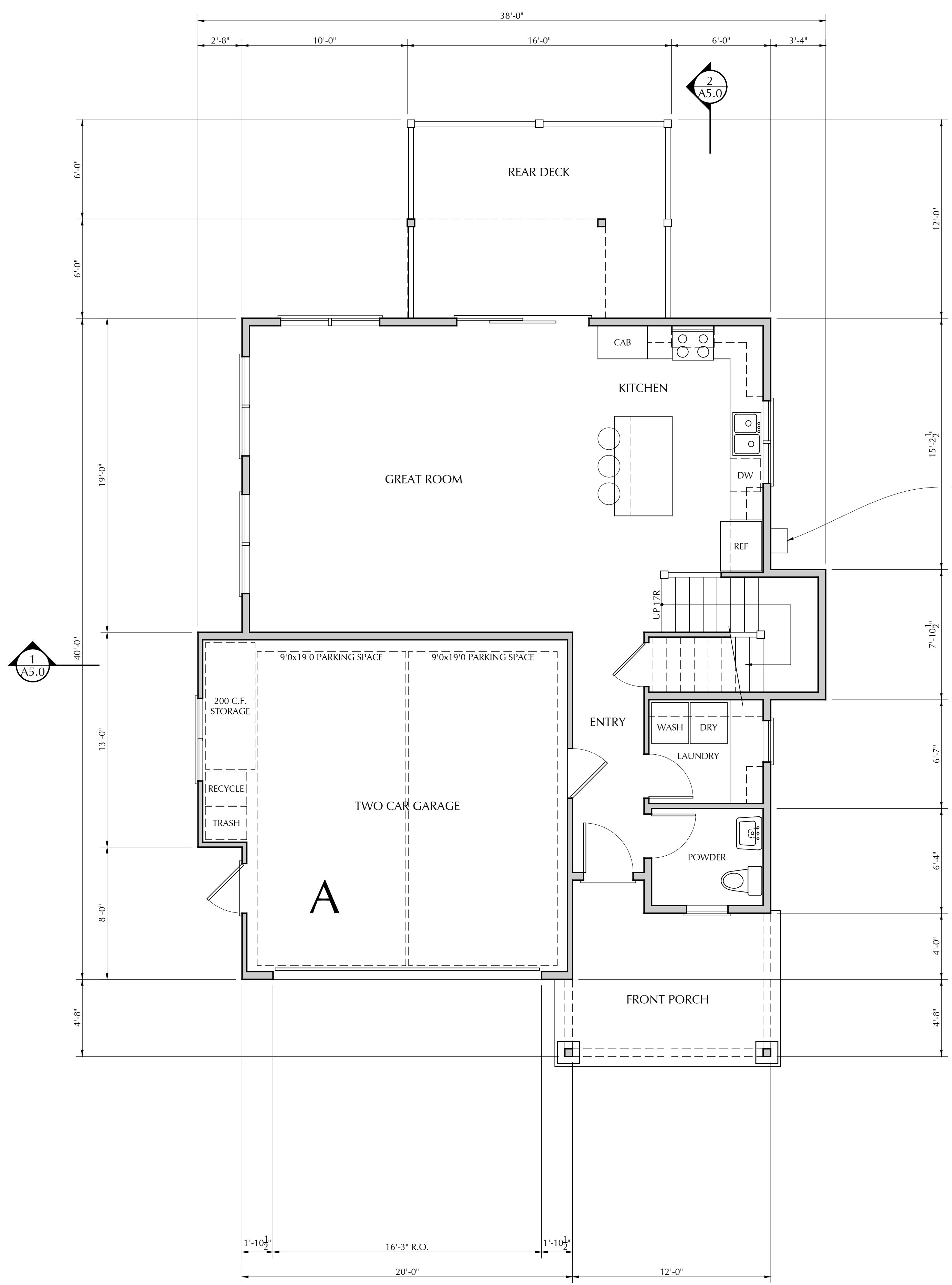
PROJECT NAME:
HILLCREST

REVISIONS		
No.	DESCRIPTION	DATE

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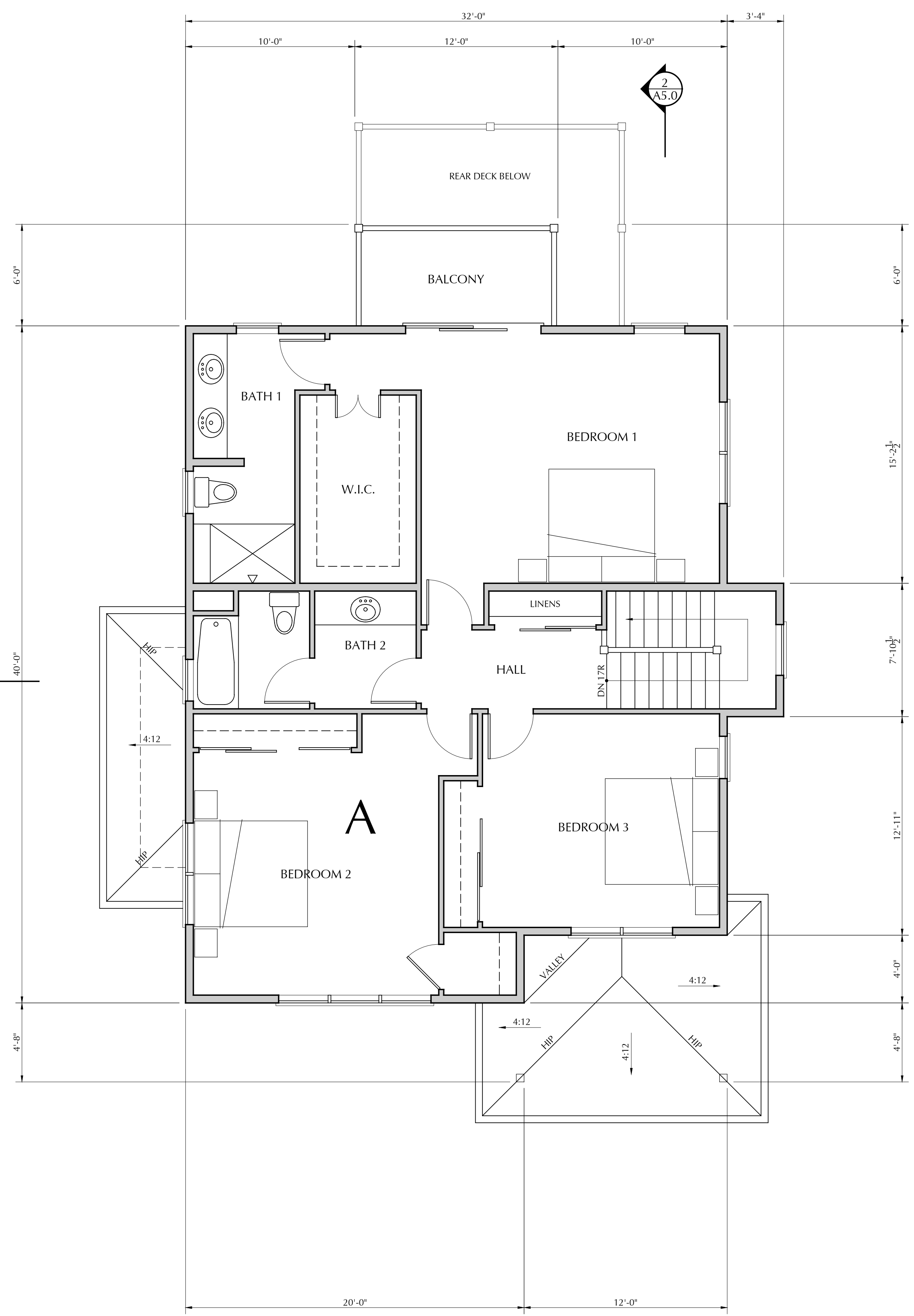
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A2.0
UNIT A



MECHANICAL NOTES:
ON-DEMAND GAS WATER HEATER, GAS FORCED AIR UNIT IN SECOND FLOOR ATTIC

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 843 S.F.
GARAGE AREA: 441 S.F.
REAR DECK: 192 S.F.
FRONT PORCH: 115 S.F.
GROSS CONDITIONED AREA: 2,025 S.F.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 1,182 S.F.
BALCONY: 72 S.F.



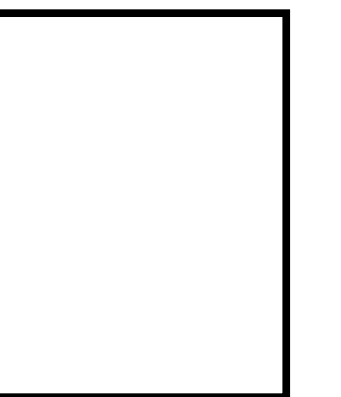
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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
UNIT C2 - FLOOR PLANS

DRAWING DATE:
JUNE 4, 2021
A.P.N.
018-372-14
CLIENT NAME:
CALIF. SUNSHINE DEV. LLC
PROJECT NAME:
HILLCREST

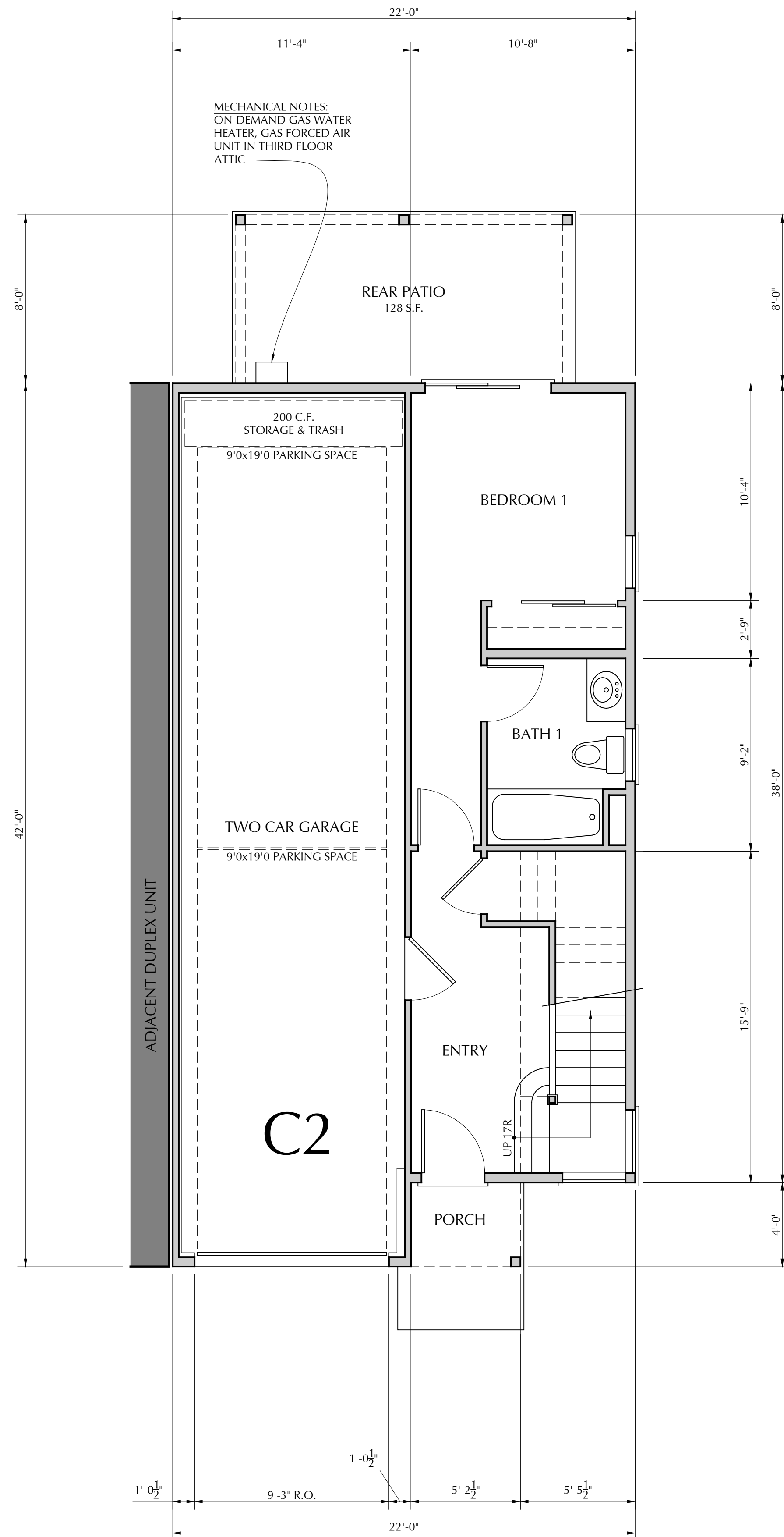
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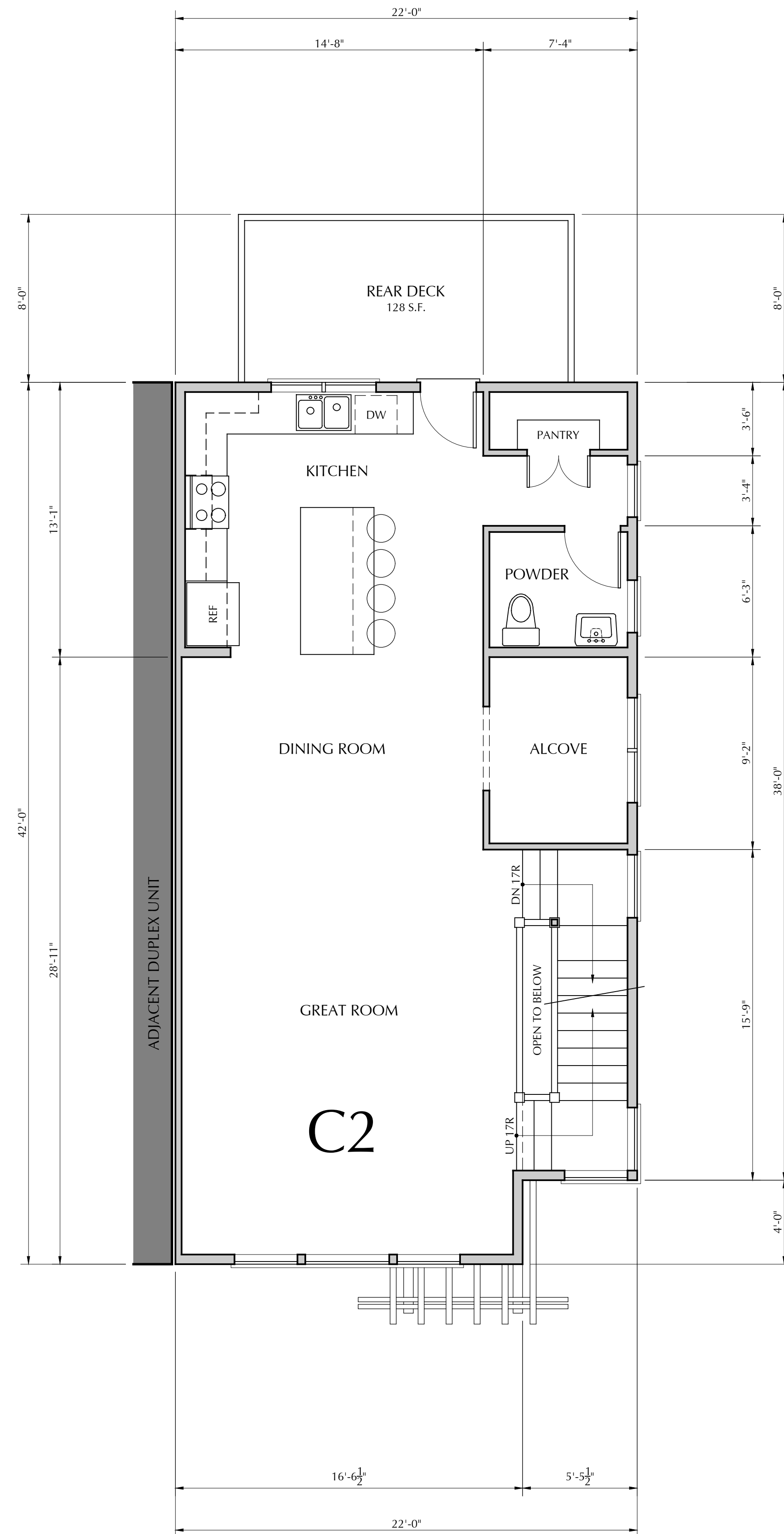
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A2.1
UNIT C2



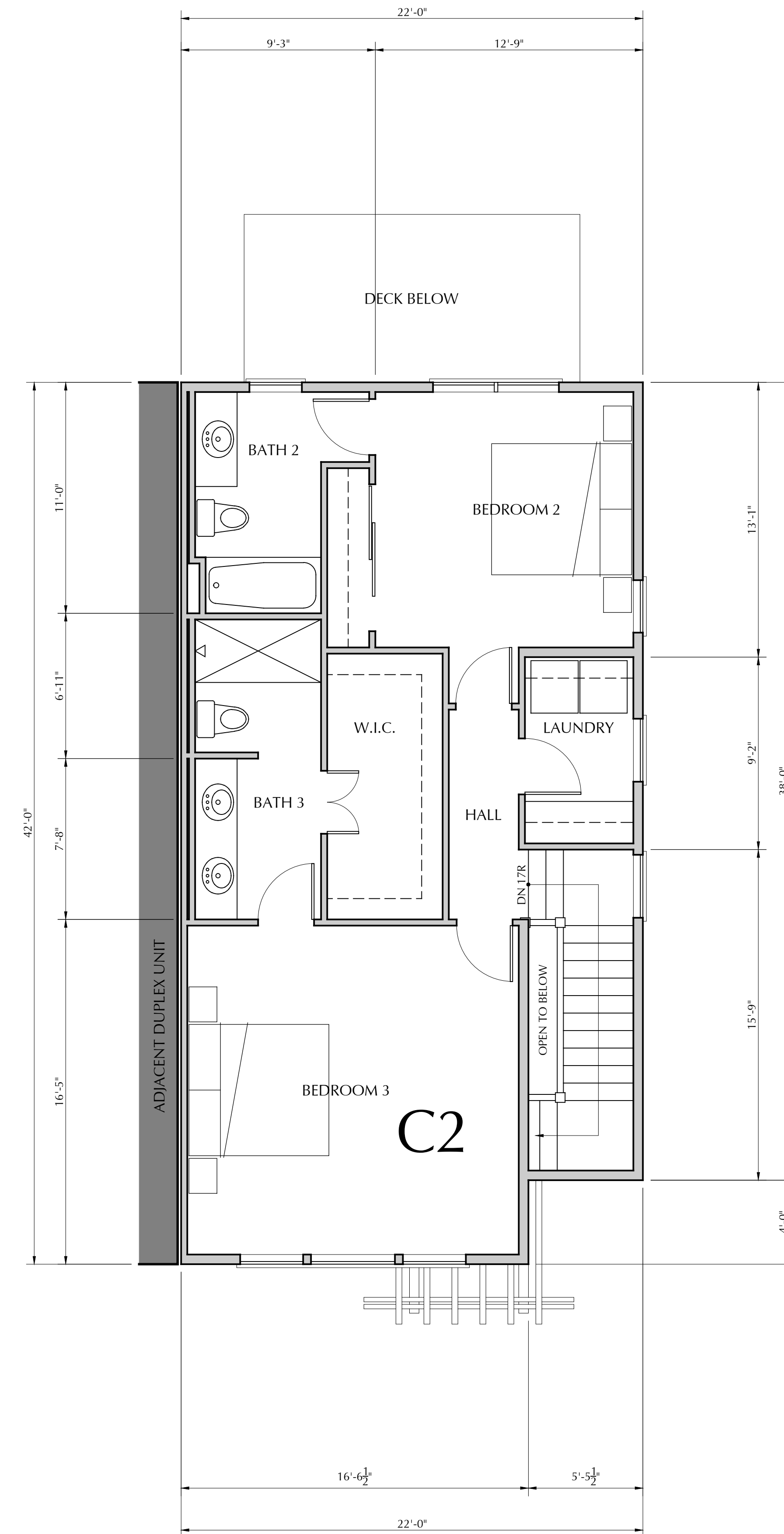
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONDITIONED AREA: 416 S.F.
GARAGE AREA: 465 S.F.
REAR DECK: 208 S.F.
GROSS CONDITIONED AREA: 2,097 S.F.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONDITIONED AREA: 816 S.F.



3 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONDITIONED AREA: 816 S.F.



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RESIDENTIAL DEVELOPMENT
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WATSONVILLE, CALIFORNIA
UNIT F - FLOOR PLANS

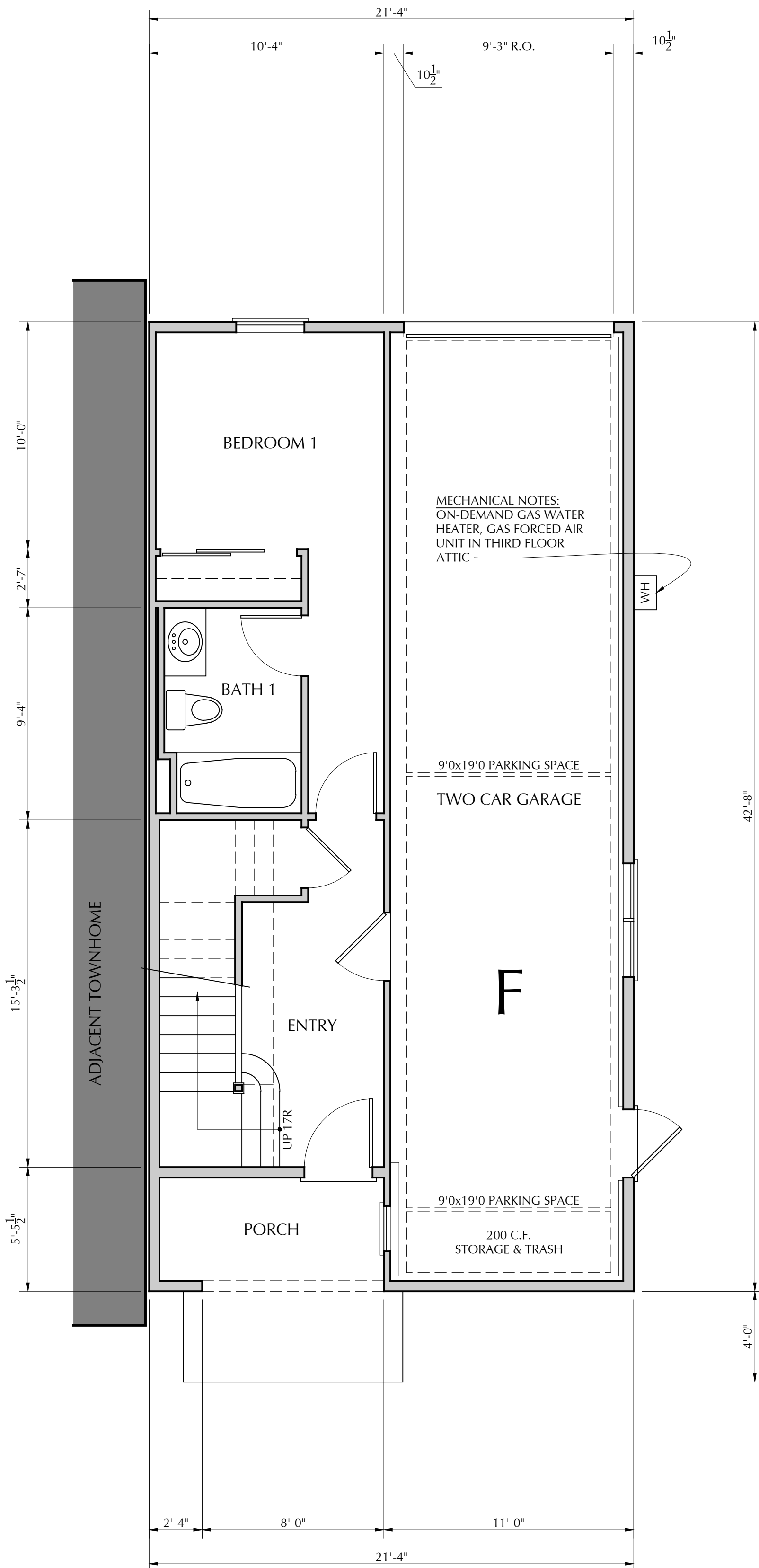
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CALIF. SUNSHINE DEV. LLC
PROJECT NAME:
HILLCREST

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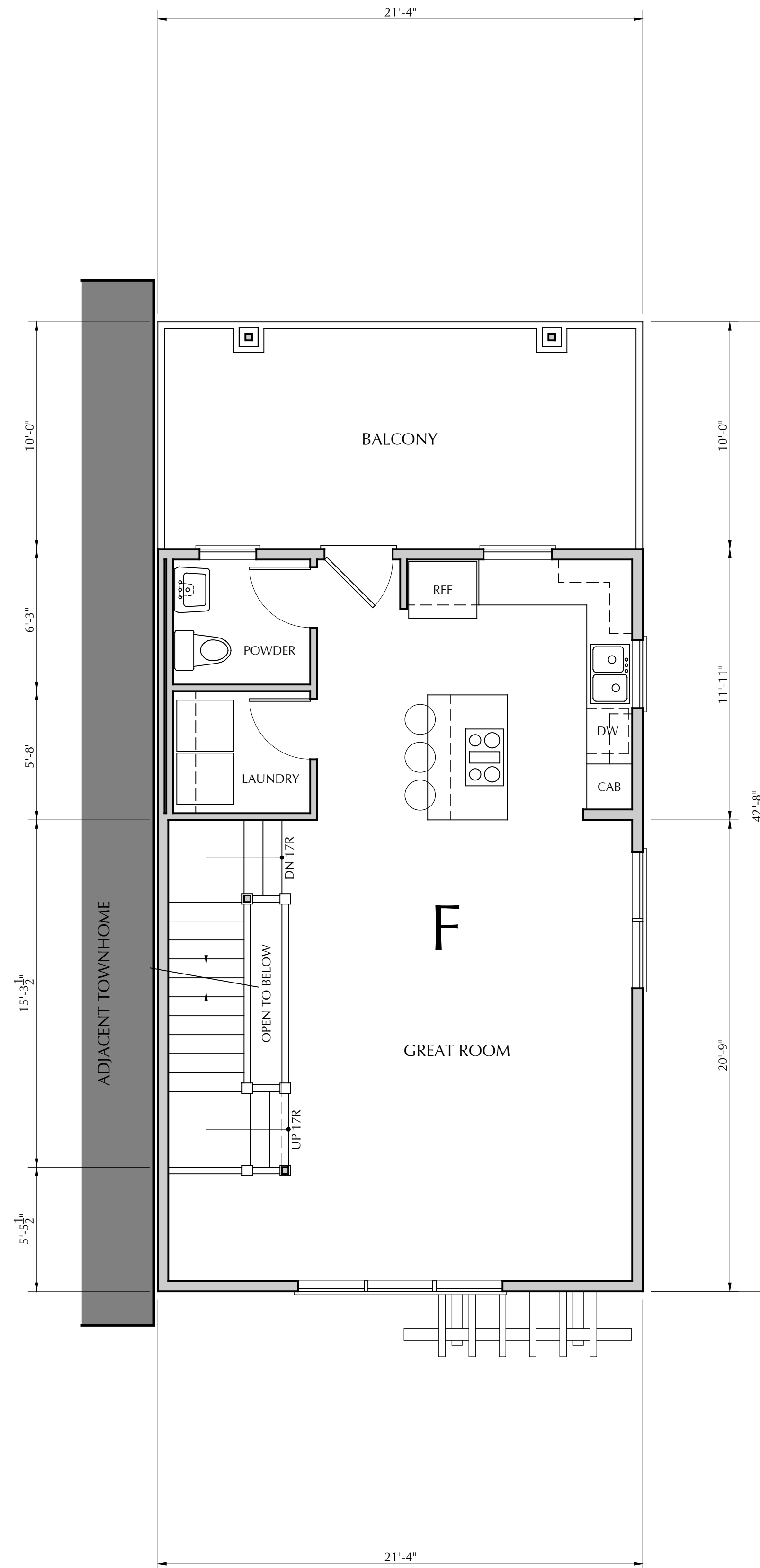
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A2.2
UNIT F



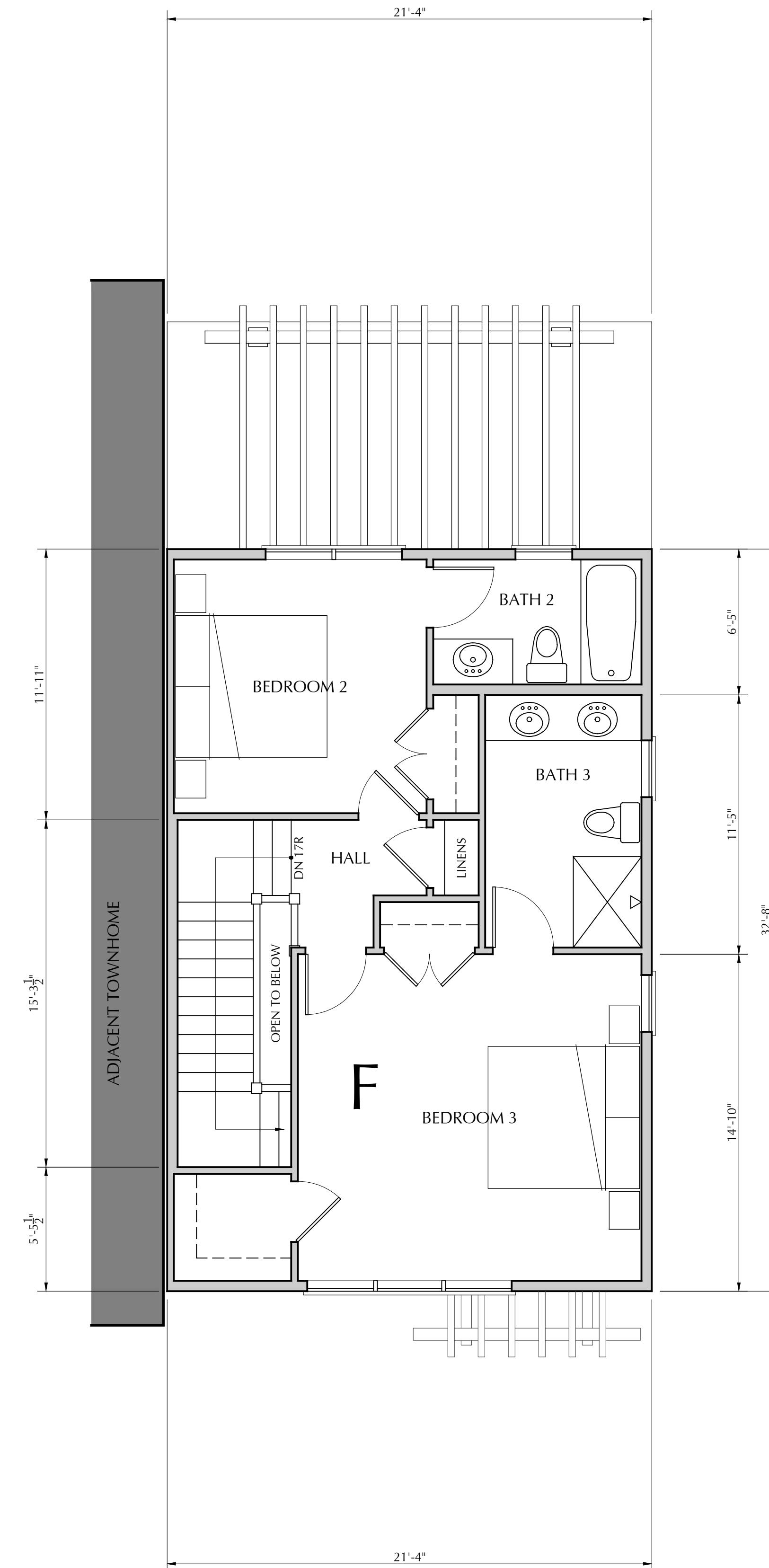
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONDITIONED AREA: 390 S.F.
UNCONDITIONED AREA: 459 S.F.
ENCLOSED PORCH: 62 S.F.
GROSS CONDITIONED AREA: 1,618 S.F.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONDITIONED AREA: 614 S.F.
BALCONY AREA: 213 S.F.



3 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONDITIONED AREA: 614 S.F.



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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
UNIT G - FLOOR PLANS

DRAWING DATE:
JUNE 4, 2021
A.P.N.
018-372-14
CLIENT NAME:
CALIF. SUNSHINE DEV. LLC
PROJECT NAME:
HILLCREST

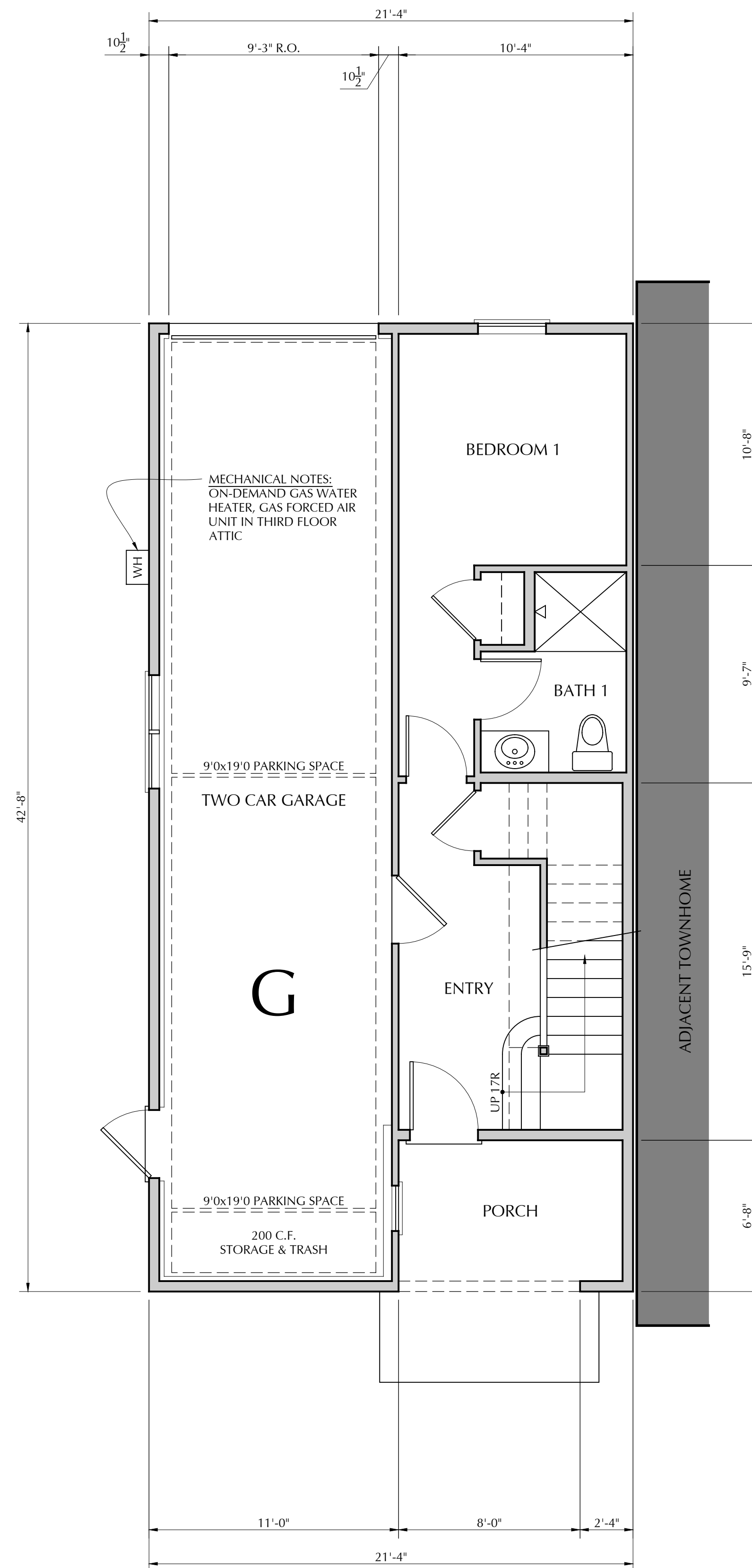
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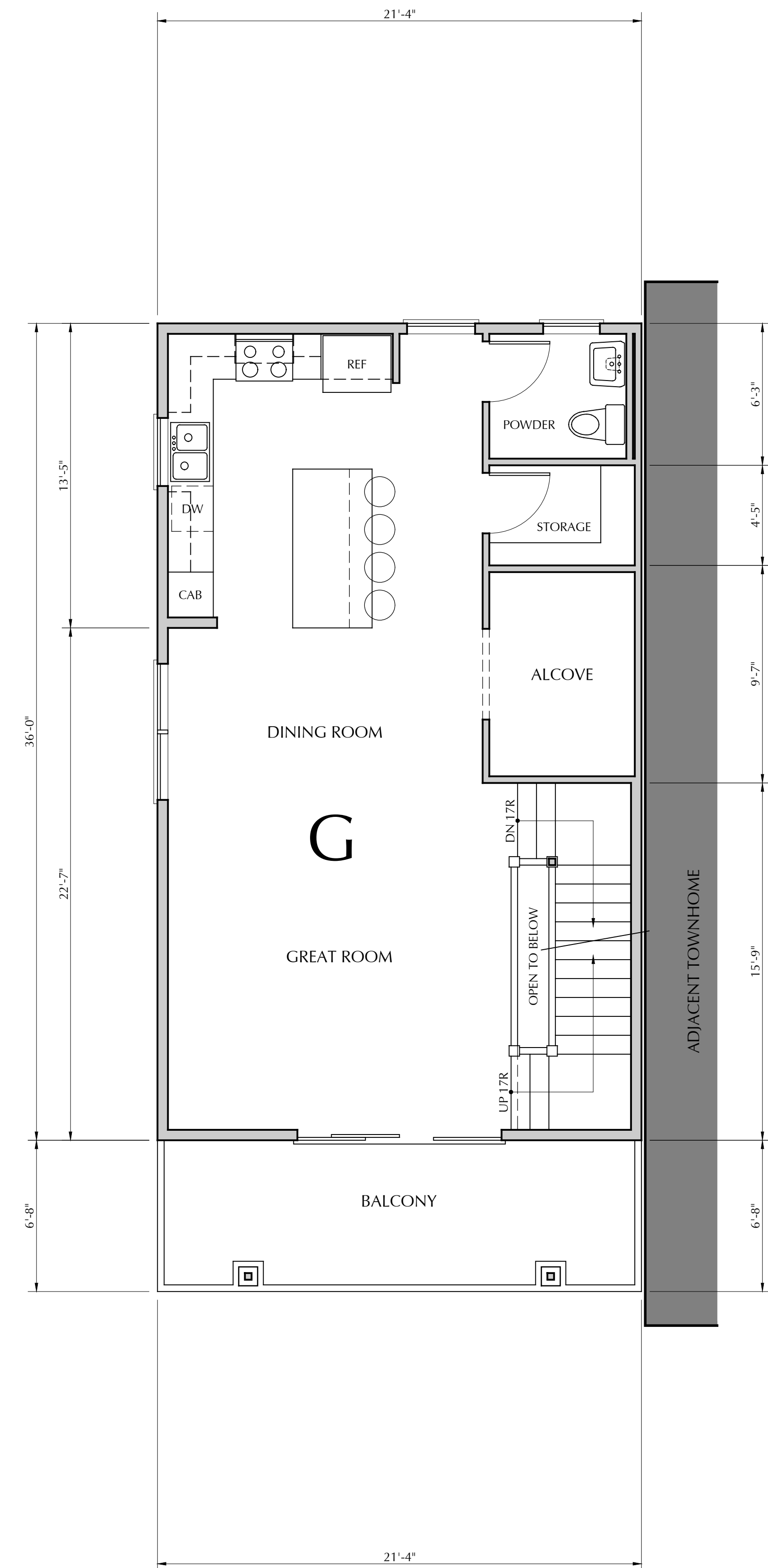
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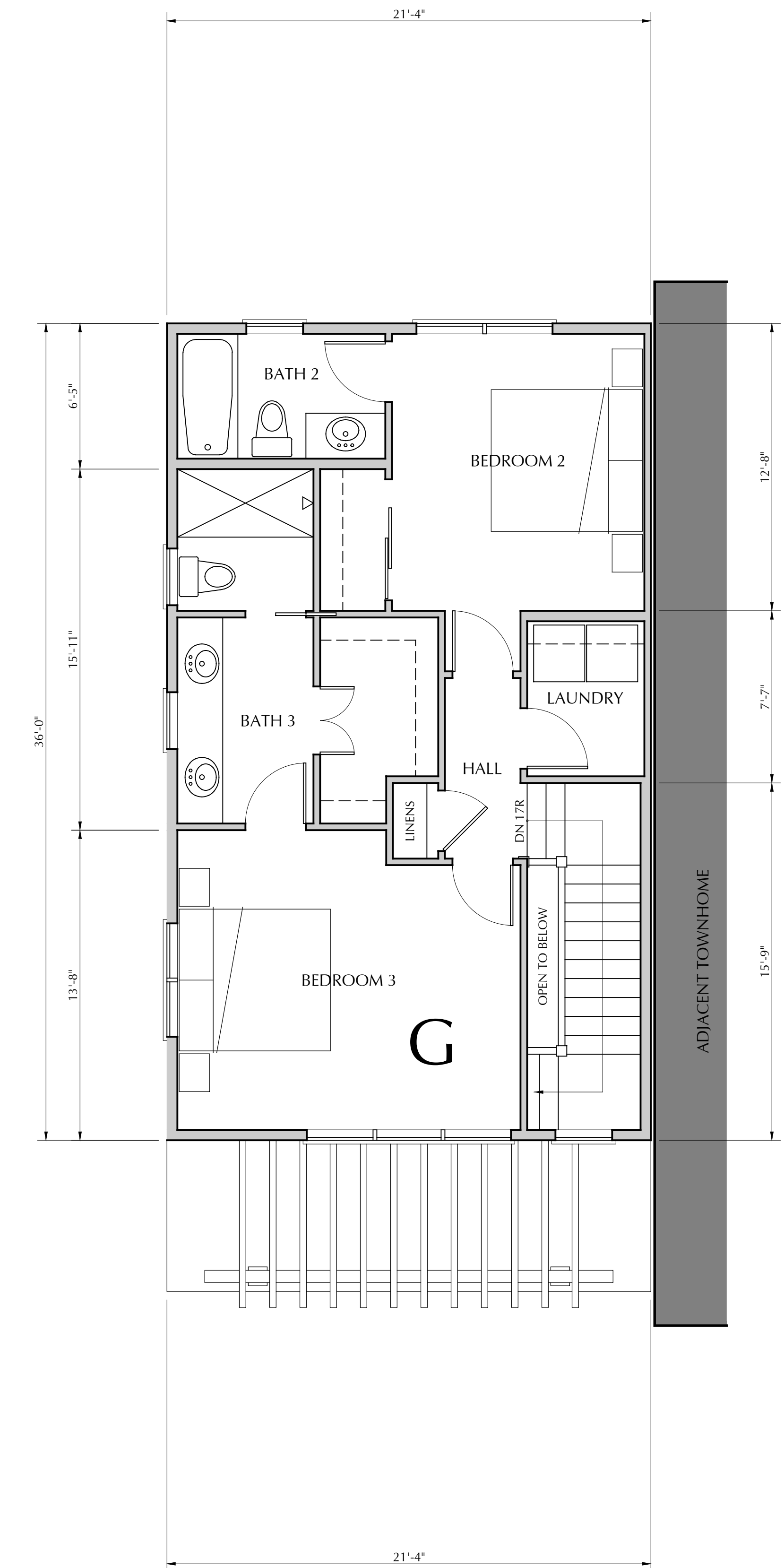
A2.3
UNIT G



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 383 S.F.
UNCONDITIONED AREA: 459 S.F.
ENCLOSED PORCH: 69 S.F.
GROSS CONDITIONED AREA: 1,747 S.F.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 682 S.F.
BALCONY AREA: 142 S.F.



3 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 682 S.F.



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RESIDENTIAL DEVELOPMENT
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WATSONVILLE, CALIFORNIA
UNIT K - FLOOR PLANS

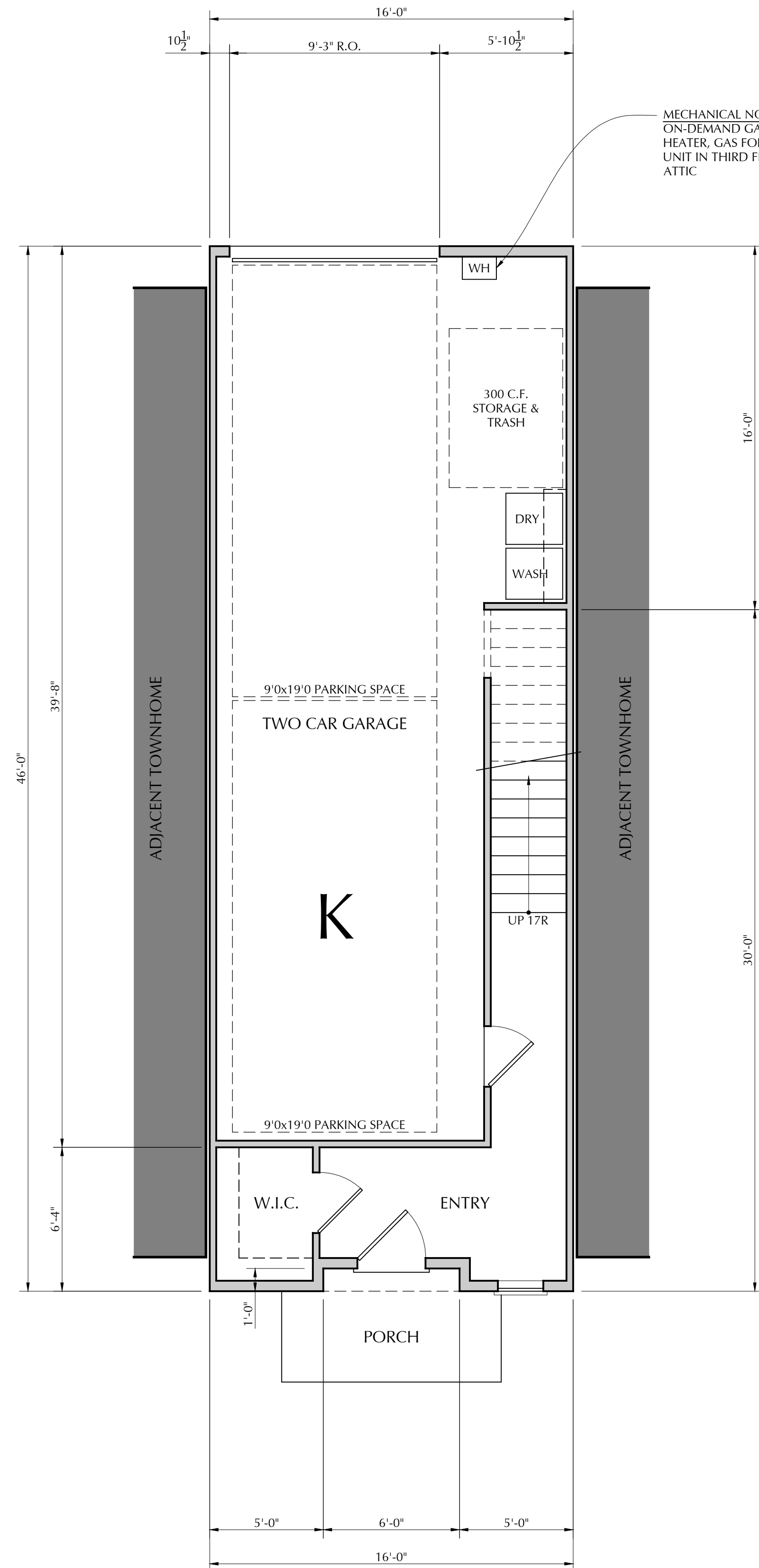
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PROJECT NAME:
HILLCREST

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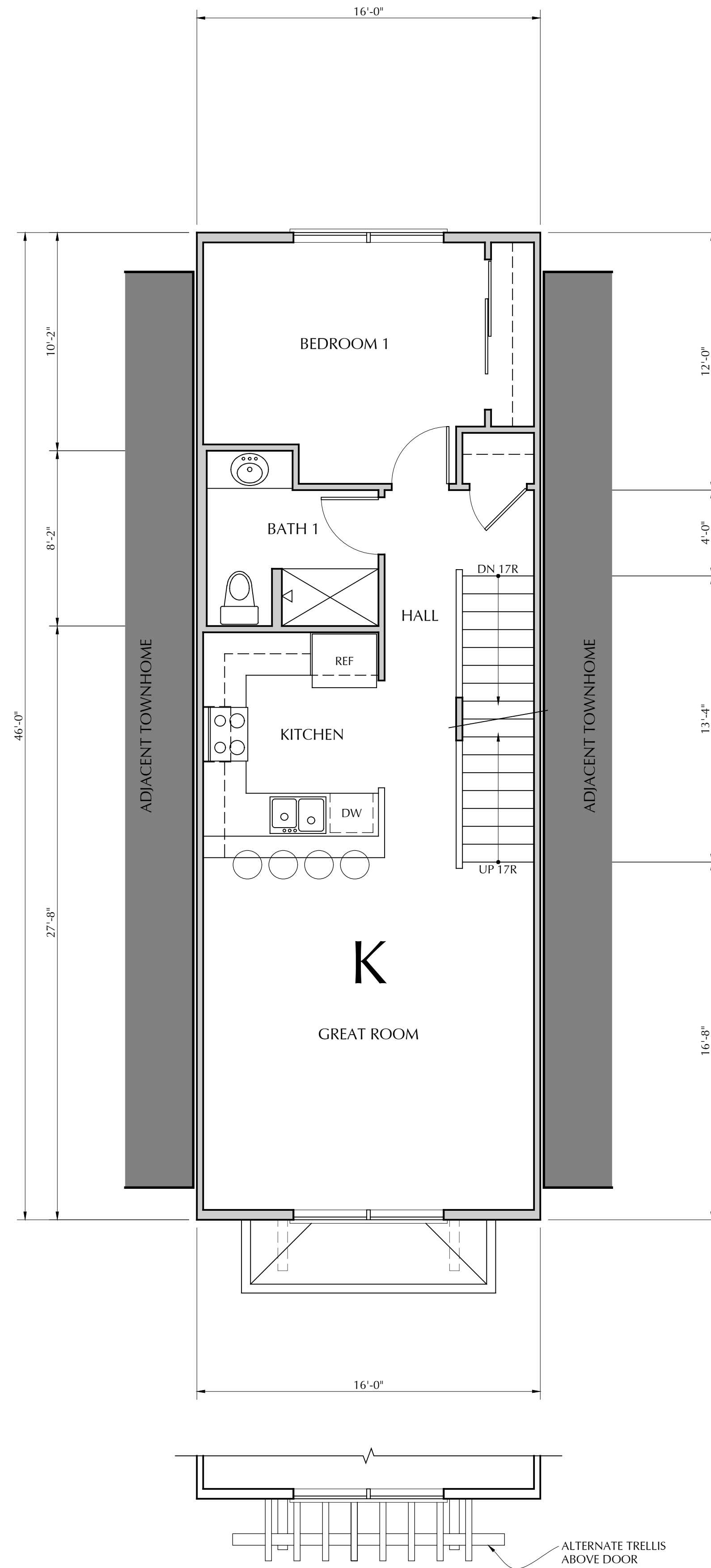
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A2.4
UNIT K

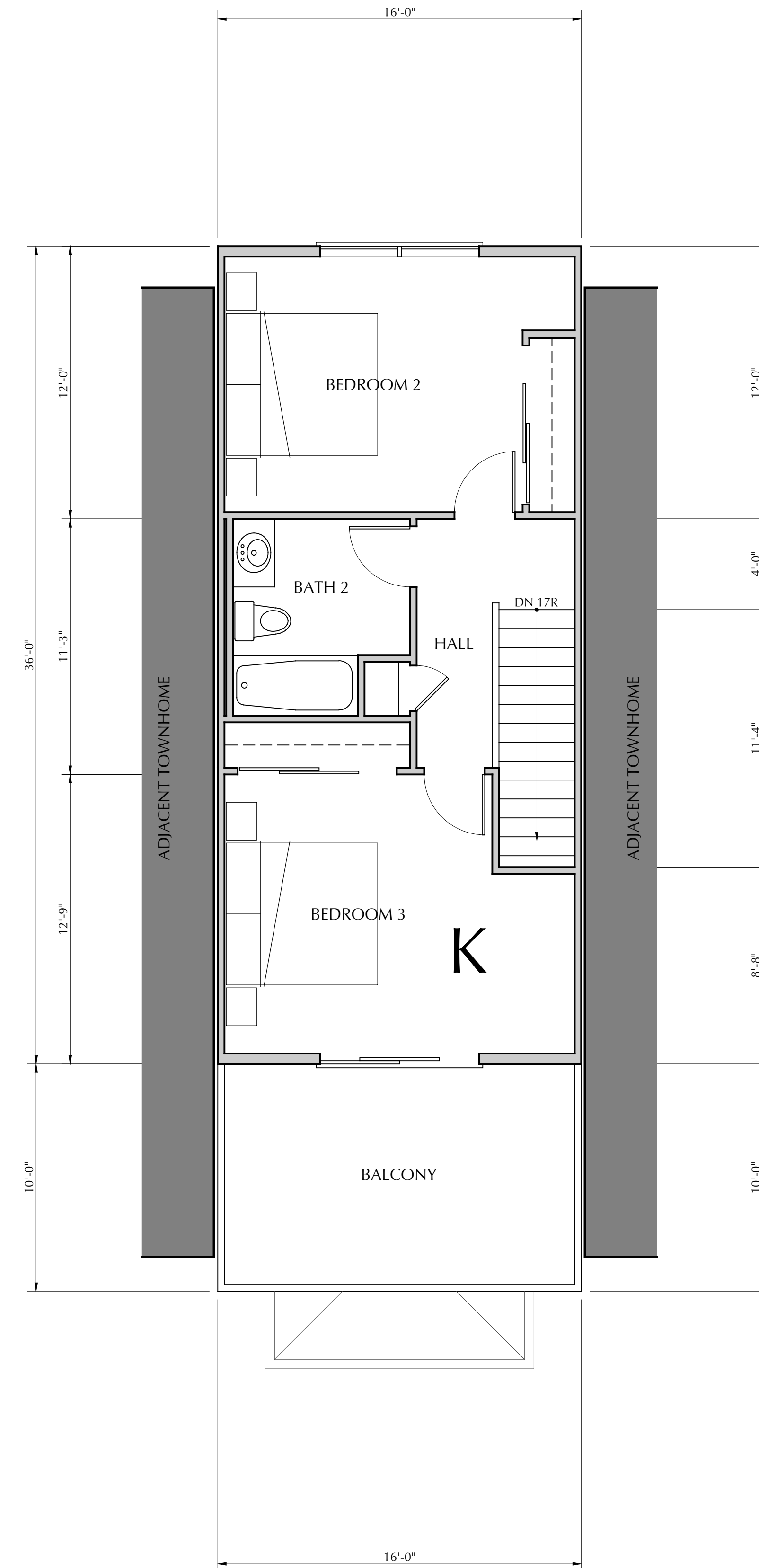


1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 171 S.F.
UNCONDITIONED AREA: 559 S.F.
GROSS CONDITIONED AREA: 1,397 S.F.

MECHANICAL NOTES:
ON-DEMAND GAS WATER
HEATER, GAS FORCED AIR
UNIT IN THIRD FLOOR
ATTIC



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 691 S.F.



3 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONDITIONED AREA: 535 S.F.
BALCONY: 160 S.F.



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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
UNIT A - ELEVATIONS

DRAWING DATE:	JUNE 4, 2021
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PROJECT NAME:	HILLCREST

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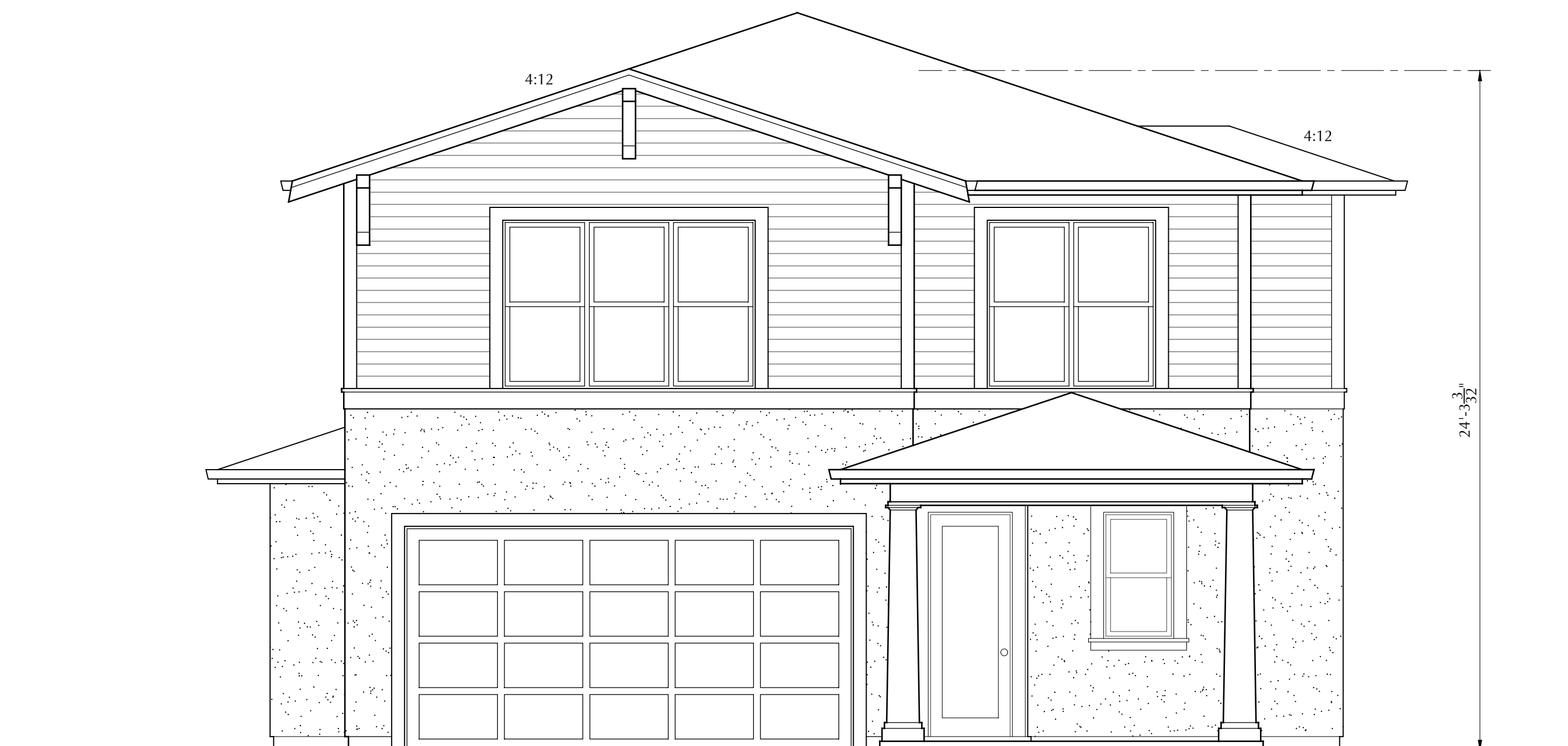
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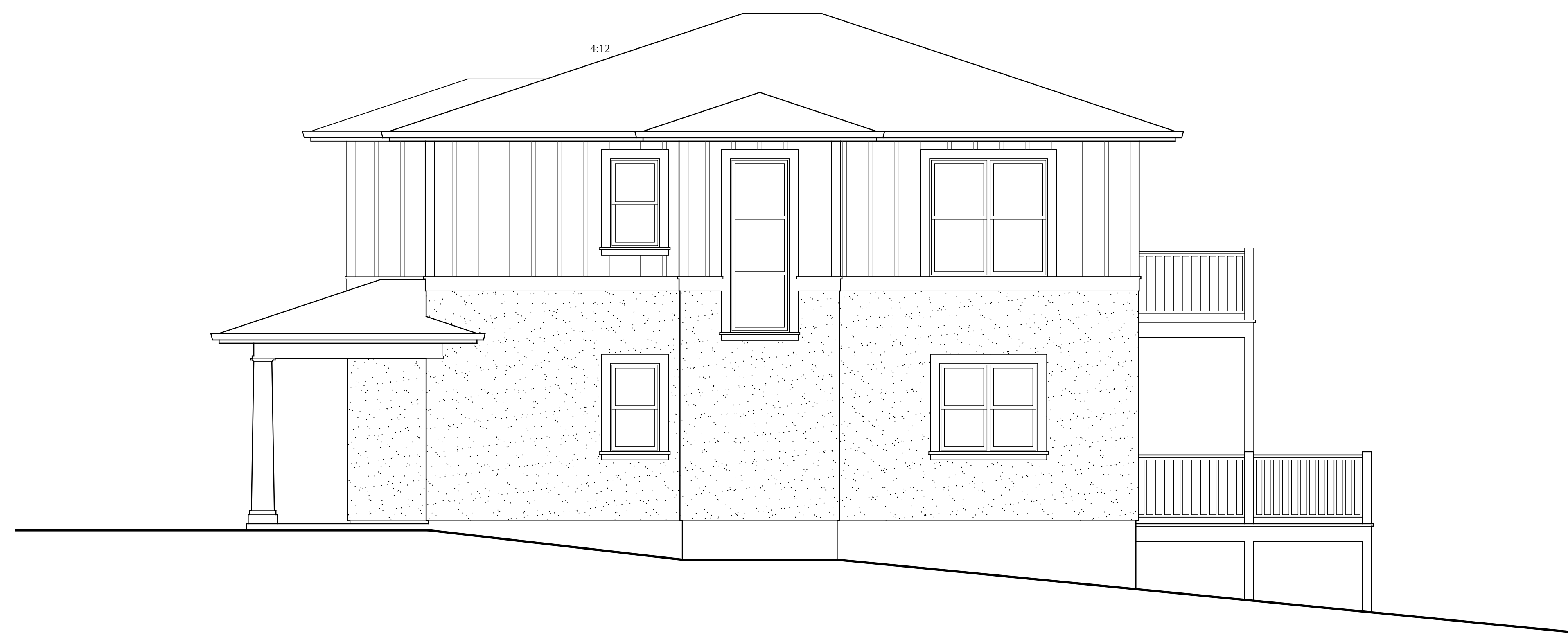
SHEET
A4.0
UNIT A



1 FRONT ELEVATION #1
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION #2
SCALE: 1/4" = 1'-0"



3 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



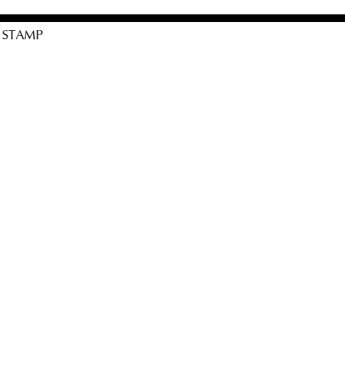
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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
DUPLEX - ELEV. PACKAGE #1

DRAWING DATE:
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SHEET
A5.0
UNIT C2-C2



② SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 'C2' UNIT 'C2'
① FRONT ELEVATION
SCALE: 1/4" = 1'-0"



④ SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 'C2' UNIT 'C2'
③ REAR ELEVATION
SCALE: 1/4" = 1'-0"



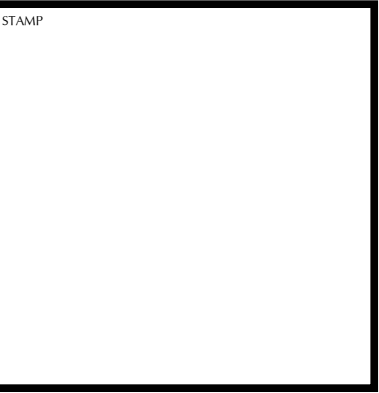
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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
DUPLIX - ELEV. PACKAGE #2

DRAWING DATE: JUNE 4, 2021
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PROJECT NAME: HILLCREST

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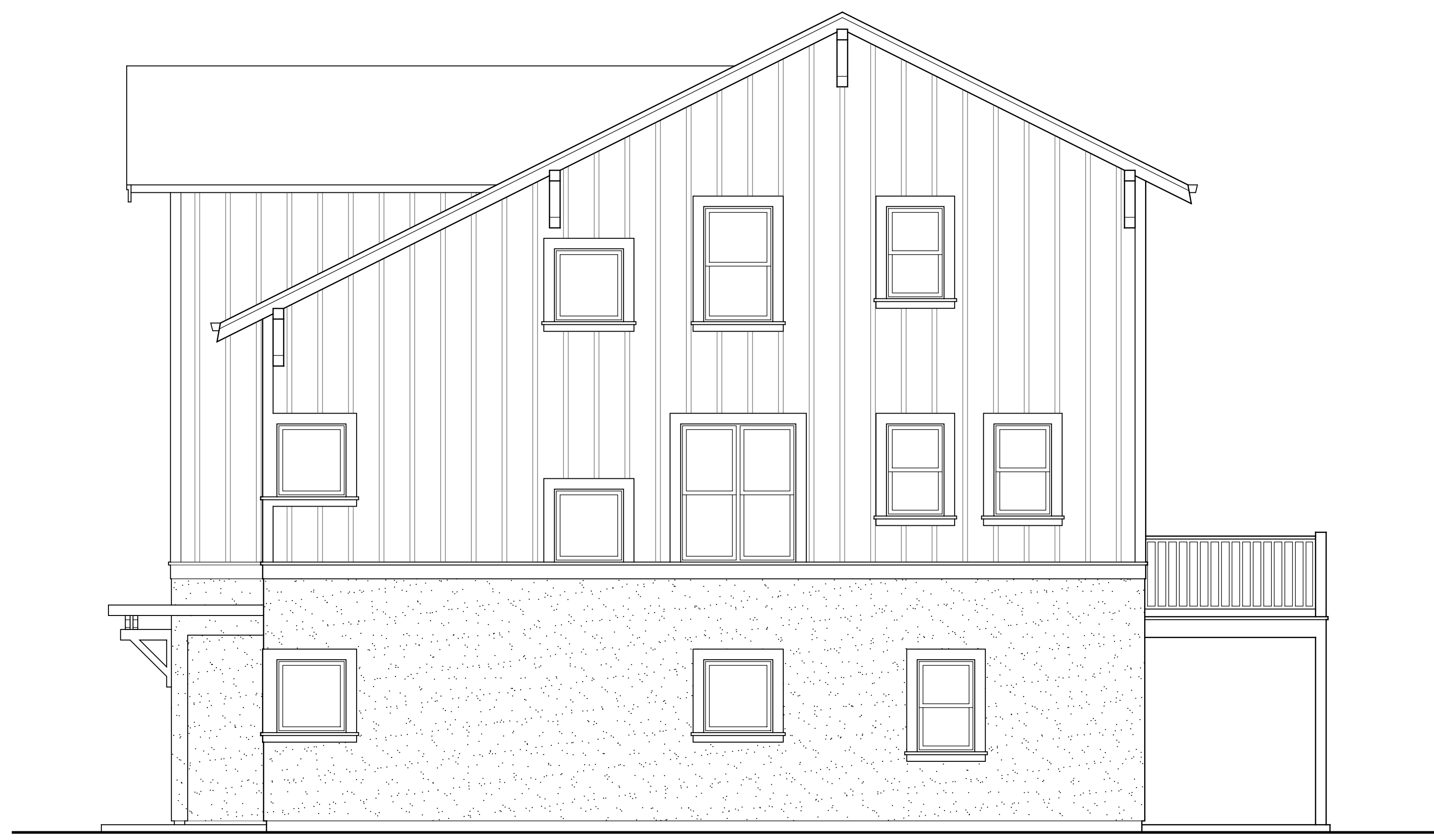
A5.1
UNIT C2-C2



② SIDE ELEVATION
SCALE: 1/4" = 1'-0"



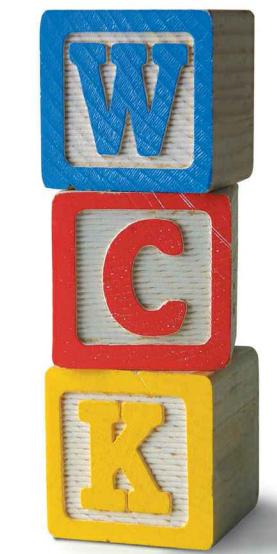
UNIT 'C2' UNIT 'C2'
① FRONT ELEVATION
SCALE: 1/4" = 1'-0"



④ SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 'C2' UNIT 'C2'
③ REAR ELEVATION
SCALE: 1/4" = 1'-0"



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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
3 TOWNHOMES - ELEV. PACKAGE #1

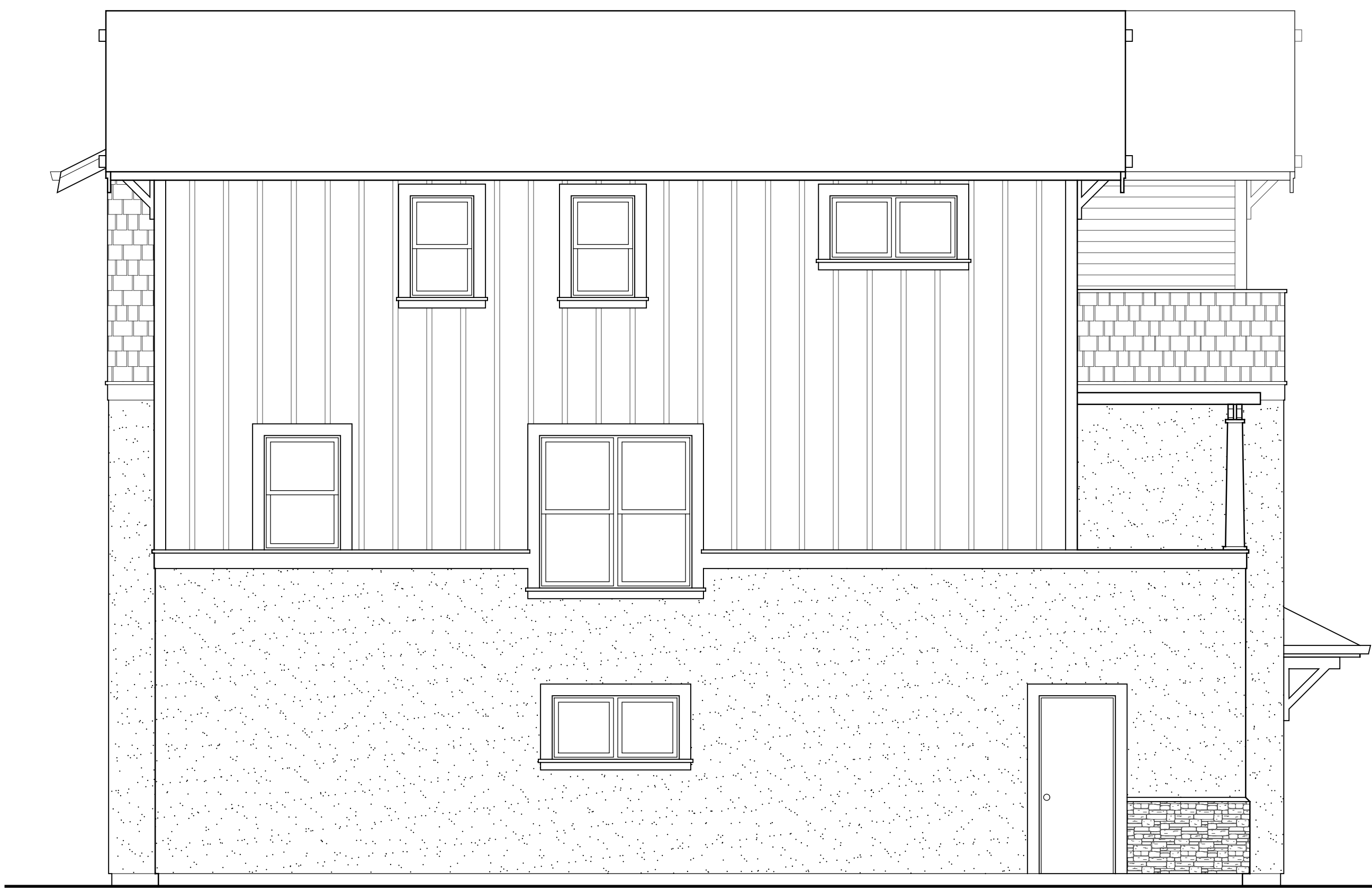
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SHEET
A6.0
UNIT G-K-F



UNIT 'G'
2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 'G' UNIT 'K' UNIT 'F'
1 FRONT ELEVATIONS
SCALE: 1/4" = 1'-0"



UNIT 'F'
4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 'F' UNIT 'K' UNIT 'G'
3 REAR ELEVATIONS
SCALE: 1/4" = 1'-0"



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HILLCREST
WATSONVILLE, CALIFORNIA
3 TOWNHOMES - ELEV. PACKAGE #2

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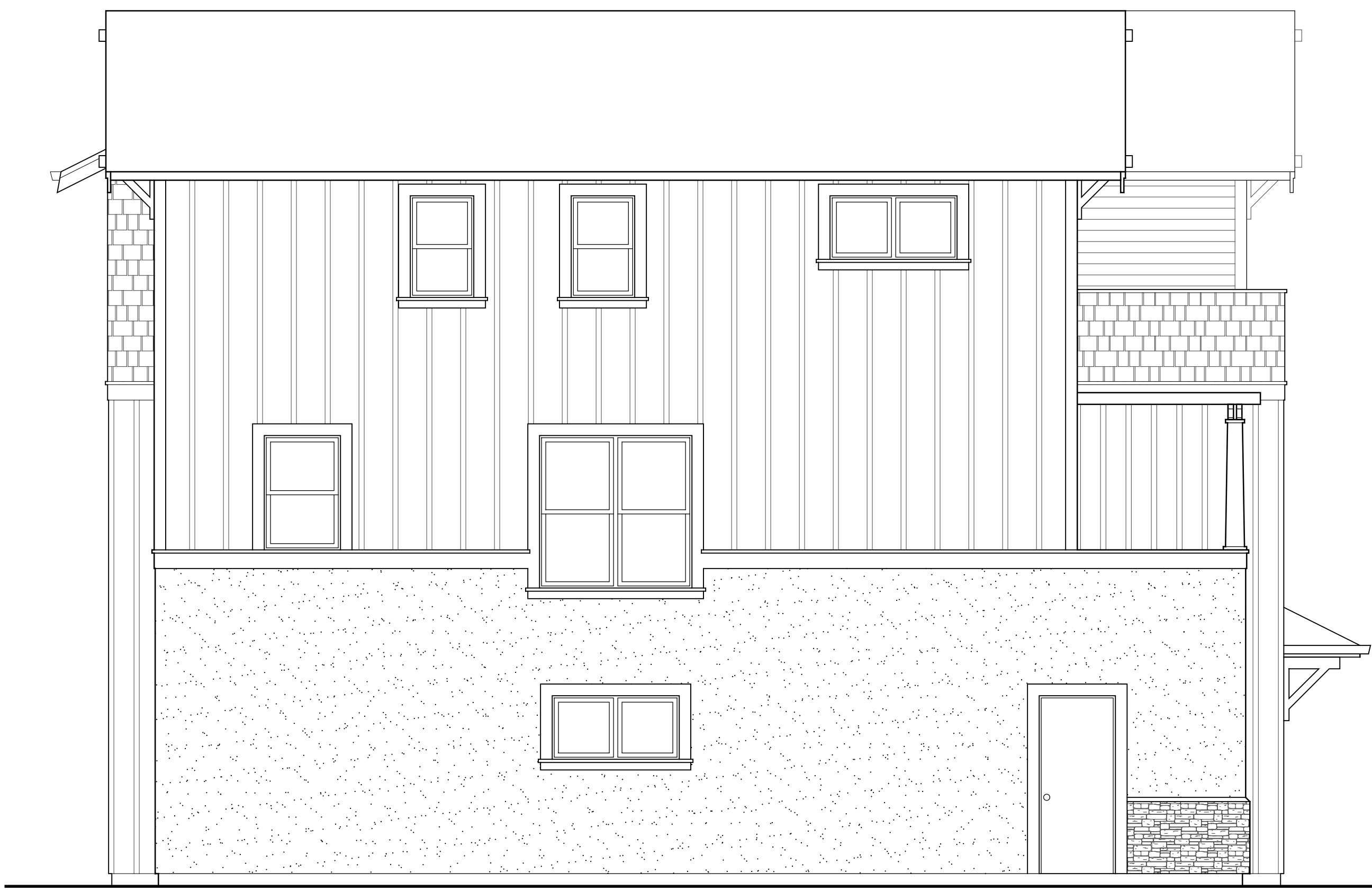
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A6.1
UNIT G-K-F



UNIT 'G'
2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 'G' UNIT 'K' UNIT 'F'
1 FRONT ELEVATIONS
SCALE: 1/4" = 1'-0"



UNIT 'F'
4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 'F' UNIT 'K' UNIT 'G'
3 REAR ELEVATIONS
SCALE: 1/4" = 1'-0"



① FRONT ELEVATIONS
SCALE: 1/4" = 1'-0"



③ REAR ELEVATIONS
SCALE: 1/4" = 1'-0"



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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
4 TOWNHOMES - ELEV. PACKAGE #1

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SHEET
A7.0
UNIT G-K-K-F



① FRONT ELEVATIONS
SCALE: 1/4" = 1'-0"



③ REAR ELEVATIONS
SCALE: 1/4" = 1'-0"

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RESIDENTIAL DEVELOPMENT
HILLCREST
WATSONVILLE, CALIFORNIA
4 TOWNHOMES - ELEV. PACKAGE #2

DRAWING DATE:	JUNE 4, 2021
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PROJECT NAME:	HILLCREST

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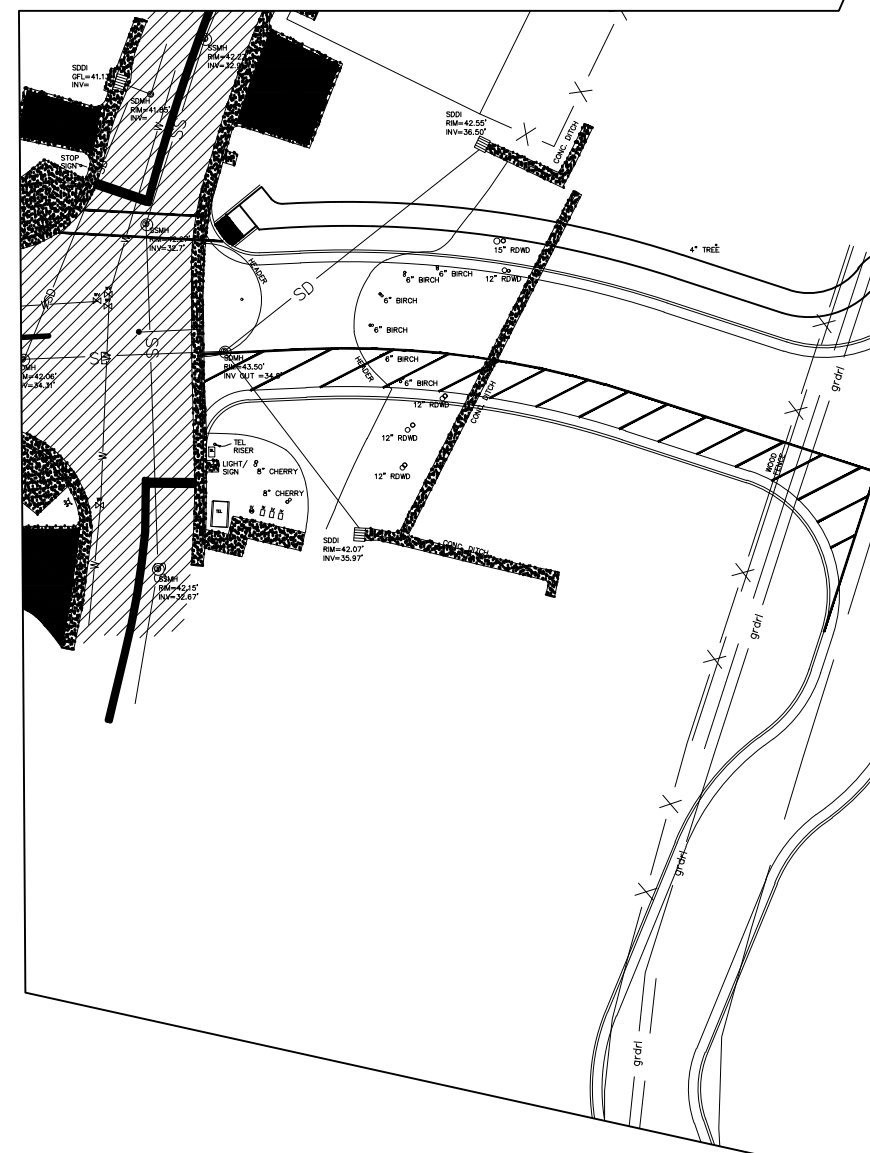
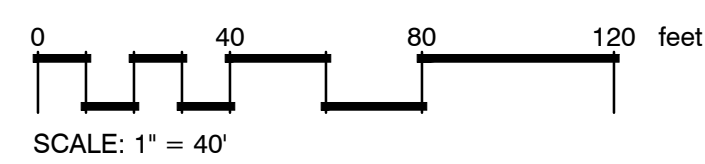
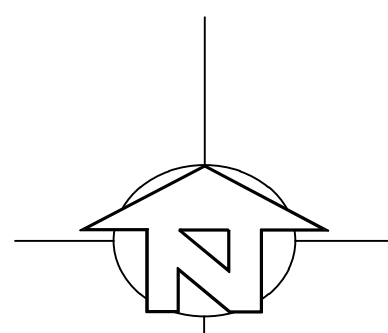
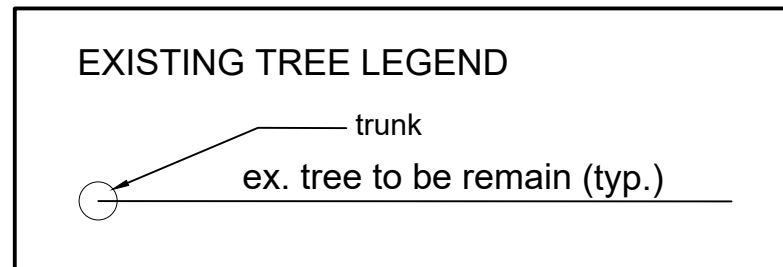
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SHEET
A7.1
UNIT G-K-K-F

TREE PROTECTION NOTES:

1. Prior to initiating any construction activity in the area, including grading, temporary fencing shall be installed on the outside edge of the Nature Trail along the top of the slope above the riparian zone. No excavation, storage of equipment/ supplies or intrusion is to occur in the vicinity if the trees to be protected.
2. The tree protection fence shall be a 6' high orange safety mesh type. The fencing shall form a continuous barrier along the trail with 36" wide opening at 300' intervals for inspection. Any encroachment into the fenced area for construction purposes shall not be permitted.
3. A warning sign shall be posted at each opening in the fence (approximately every 300') indicating the purpose of the fencing.
4. This fencing shall serve as a barrier to prevent drip line encroachment of any type of construction activities and equipment. No oils, gas, chemicals, liquid waste, solid waste, construction machinery or construction materials shall be stored or allowed to stand for any period of time within the drip line of the trees. Further, no one shall enter the fence perimeter for any reason except for the purpose of monitoring the health of the trees. Accidental damage to bark, root crown, or limbs may increase the potential for future decline in the health of the tree.
5. Low hanging limbs of saved trees shall be pruned prior to grading, or any equipment mobilization on site. The purpose of this requirement is to avoid tearing limbs by heavy equipment. All limbs to be pruned shall be supervised by the arborist of record for the job.
6. Roots of single standing trees often extend up to three times the distance of the actual drip line and function primarily in the uptake of nutrients and water. The drip line is arbitrarily established as the minimum root area generally required to preserve tree health. As much area around the circumference of the tree should have minimum intrusion to further insure tree survival and health.
7. Contractors and subcontractors shall direct all equipment and personnel to remain outside the fenced area and at all times until the project is complete, and shall instruct employees as to the purpose and importance of fencing.
8. The restoration consultant of record for the job and/or the city arborist shall be responsible for inspection and approval of the fencing prior to any grading operations.
9. Fencing must remain in place and shall not be removed until all construction activities are completed. This shall include grading and compaction activities, installation of underground utilities, all construction activities, and any other construction or activity that is scheduled prior to landscape installation.



**HILLCREST
511 OHLONE PARKWAY
WATSONVILLE, CALIFORNIA**

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REVISIONS

EXISTING TREES

JOB NO. 201709
SCALE 1" = 40' - 0"
DRAWN MA
CHECK JC/MA **SHEET**
DATE 6.7.21 **T-1.0**

SHEET 1 OF 8

CONCEPT PLANT SCHEDULE

	STREET TREE Crataegus oxyacantha / Hawthorn Ginkgo biloba 'Autumn Gold'™ / Autumn Gold Maidenhair Tree Platanus x 'Red Rush' / Platane Platanus x acerifolia 'Columbia' / London Plane Tree Quercus laevis / Cork Oak Rhus lancea / African Sumac Robinia x ambigua 'Purple Robe' / Pink Flowering Locust	39	15 gal 15 gal 15 gal 15 gal 15 gal 15 gal
	ACCENT TREE Albizia julibrissin / Silk Tree Cercis canadensis / Eastern Redbud Multi-trunk Malus floribunda 'Snowdrift' / Flowering Crabapple Prunus cerasifera / Flowering Plum	46	15 gal 15 gal 15 gal 15 gal
	LARGE NATIVE TREE Acer macrophyllum / Big Leaf Maple Platanus racemosa / California Sycamore Multi-Trunk Quercus agrifolia / Coast Live Oak Multi-Trunk Umbellularia californica / Bay Laurel	12	15 gal 15 gal 15 gal 15 gal
	SMALL NATIVE TREE Acer circinatum / Vine Maple Aesculus californica 'Canyon Pink' / Canyon Pink California Buckeye Cercis occidentalis / Western Redbud Multi-trunk Cornus nuttallii / Pacific Dogwood Heteromeles arbutifolia / Toyon Sambucus caerulea / Blue Elderberry	14	15 gal 15 gal 15 gal 15 gal 15 gal 15 gal
	INTERIOR TREE Arbutus x 'Marina' / Arbutus Standard Cornus florida / Flowering Dogwood Laphostemon carterus / Brisbane Box Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	27	15 gal 15 gal 15 gal 15 gal
	PASEO TREE Acer palmatum / Japanese Maple Azara microphylla / Box Leaf Azara Callistemon citrinus 'Red Cluster' / Red Cluster Lemon Bottlebrush Podocarpus gracilior / Fern Pine	84	15 gal 15 gal 15 gal 15 gal
	LAWN Festuca arundinacea 'Marathon' / Dwarf Cool Season Turf	2,106 sq ft	sod
	BIO RETENTION Carex prostrata / Slender Sedge Carex tumida / Berkeley Sedge Juncus effusus 'Common Japanese' / Common Rush Juncus patens 'Occidental Blue' / Occidental Blue Rush	4,513 sq ft	1 GAL 1 GAL 1 GAL 1 GAL

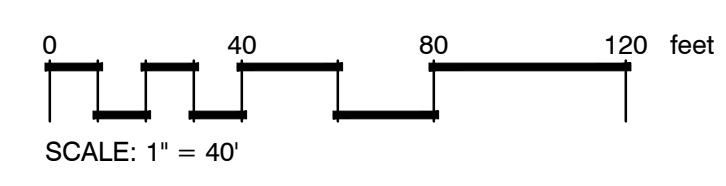
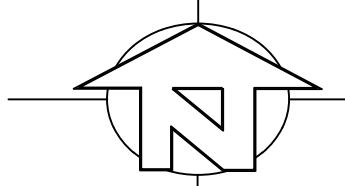
PRELIMINARY PLANT PALETTE

Scientific Name	Common Name	Planting Size	Water Use*
Shrubs			
Abelia grandiflora 'Confetti'	Blossy Abelia	5'-6"	Moderate
Alseodaphne hughesii 'Santa Cruz'	Blue Hibiscus	5'-6"	Low
Argemone nymphaea	Assorted Color Kangaroo Paw	5'-6"	Low
Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	1'-6"	Low
Buxa japonica 'Green Beauty'	Japanese Boxwood	5'-6"	Moderate
Calceolaria pulchrum 'Sunset Gold'	Sold Breaths of Heaven	1'-6"	Moderate
Cornus 'Carmine Belle'	Australian Fuchsia	5'-6"	Low
Dietes vegeta	Fortnight Lily	1'-6"	Low
Esparganthe chorocosa	Mediterranean Spurge	5'-6"	Low
Heuchera sanguinea	Coral Bells	1'-6"	Moderate
Lavandula 'Provence'	French Lavender	5'-6"	Low
Lonicera japonica	Lonicetatum	5'-6"	Low
Pittosporum tenuifolium 'Marjorie Channon'	Variegated Dwarf Pittosporum	5'-6"	Low
Rosa 'Flower Carpet'	White Ground Cover Rose	5'-6"	Low
Ornamental Grasses			
Festuca ovina 'Siscau'	Blue Fescue	1'-6"	Moderate
Heterostachyon sempervirens	Blue Oat Grass	1'-6"	Low
Pennisetum alopecuroides	Fourchin Grass	5'-6"	Moderate
Phormium 'Amazing Red'	Dwarf Red New Zealand Flax	5'-6"	Moderate
Phormium 'Wings of Gold'	Dwarf Yellow New Zealand Flax	5'-6"	Low
Vines			
Bougainvillea 'San Diego Red'	Bougainvillea	15'-6"	Low
Glycine californica	Lavender Trumpet Vine	15'-6"	Moderate
Ficus pumila	Creeping Fig	15'-6"	Low
Rosa banksia	Lady Banks Yellow Climbing Rose	15'-6"	Low
Trachelospermum jasminoides	Star Jasmine	15'-6"	Moderate
Ground Covers			
Bacopa 'White Snowflake'	White Flowering Bacopa	1'-6"	Moderate

*Water Use data based on NUGOL IV

SEE SHEET L1.5 FOR SITE AMENITIES
SEE SHEET L1.4 FOR TYPICAL PLANTING DESIGNS

HILLCREST
511 OHLONE PARKWAY
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REVISIONS

**PRELIMINARY
LANDSCAPE PLAN**

JOB NO. 201709
SCALE 1" = 40' - 0"
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DATE 6.7.21 L-1.0

TREE EXAMPLES

Street Trees



Crataegus oxyacantha
Hawthorn



Ginkgo biloba 'Autumn Gold'
Autumn Gold Maidenhair Tree



Pistacia chinensis x 'Red Push'
'Red Push' Pistache



Platanus x acerifolia 'Columbia'
London Plane Tree



Quercus suber
Cork Oak

Street Trees



Rhus lancea
African Sumac



Robinia x ambigua 'Purple Rose'
Pink Flowering Locust

Accent Trees



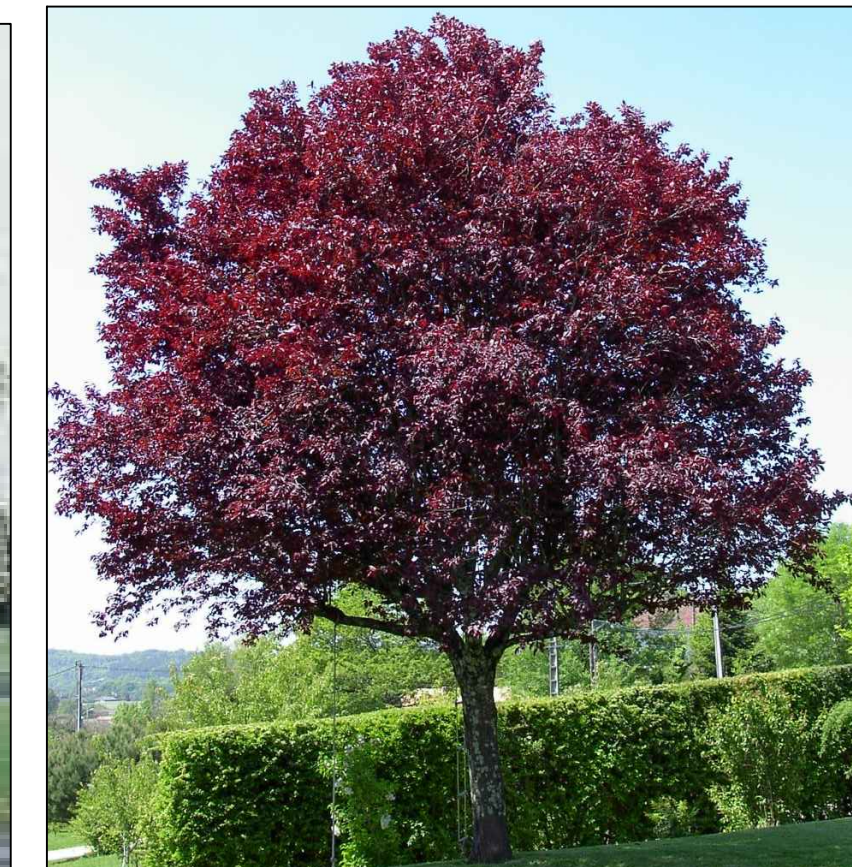
Albizia julibrissin
Silk Tree



Cercis canadensis
Eastern Redbud



Malus floribunda 'Snowdrift'
Flowering Crabapple



Prunus cerasifera
Flowering Plum

Large Native Tree



Acer macrophylla
Big Leaf Maple



Platanus racemosa
California Sycamore



Quercus agrifolia
Coast Live Oak



Umbellularia californica
California Laurel



831.462.4988 mike@amonelandscape.com

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REVISIONS



PRELIMINARY LANDSCAPE TREE IMAGES

JOB NO. 201709

SCALE no scale

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SHEET

L-1.1

SHEET 3 OF 8

TREE EXAMPLES

Small Native Trees



Aesculus californica 'Canyon Pink'
California Buckeye



Acer circinatum
Vine Maple



Cercis occidentalis
Western Redbud



Cornus nuttallii
Western Flowering Dogwood



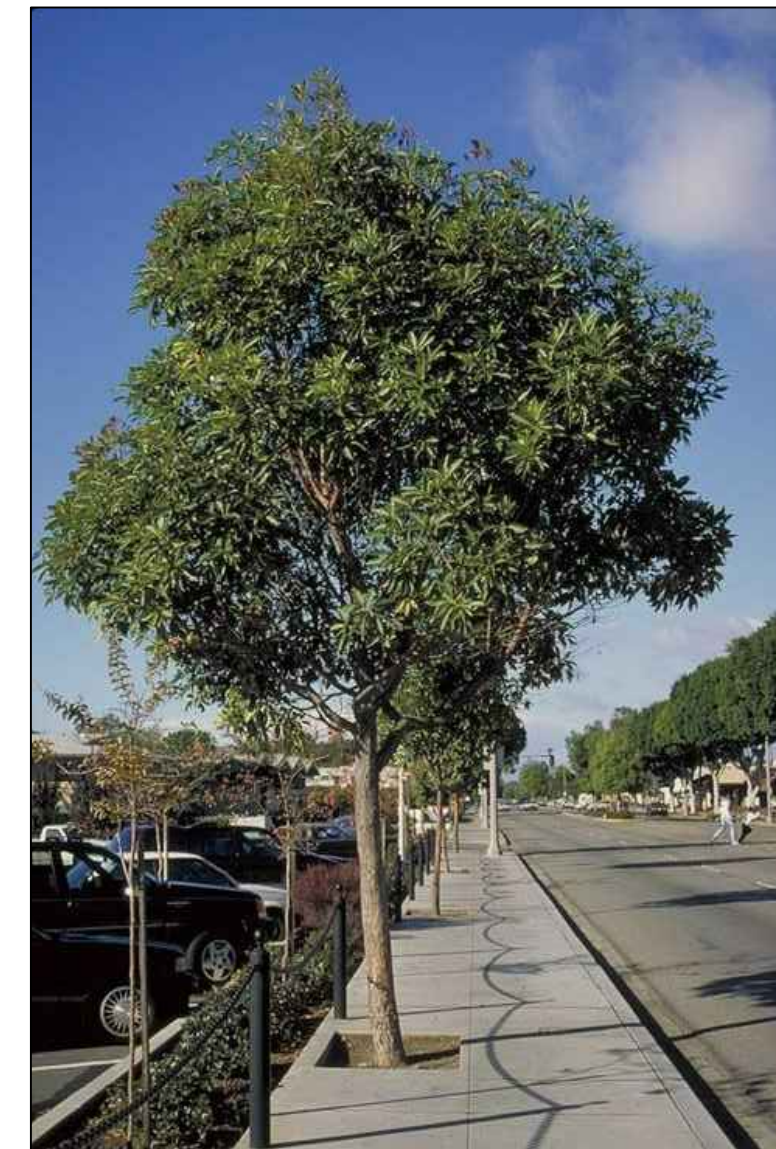
Interior Trees



Arbutus 'Marina'
Marina Strawberry Tree



Cornus florida
Flowering Dogwood



Tristania conferta
Brisbane Box



Magnolia grandiflora 'Little Gem'
Dwarf Southern Magnolia

Paseo Trees



Acer palmatum
Japanese Maple



Azara microphylla
Box Leaf Azara



Callistemon citrinus 'Red Cluster'
Red Cluster Lemon Bottlebrush



Podocarpus gracilior
Fern Pine

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PRELIMINARY LANDSCAPE TREE IMAGES

JOB NO. 201709

SCALE no scale

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DATE 6.7.21

SHEET

L-1.2

SHEET 4 OF 8

Shrubs and Perennials



Abelia x grandiflora 'Confetti'
Dwarf Abelia



Alyogyne huegelii 'Santa Cruz'
Blue Hibiscus



Angiozanthus hybrids
Kangaroo Paws



Arctostaphylos 'Pacific Mist'
Manzanita



Buxus japonica
Japanese Boxwood



Coleonema pulchrum 'Gold Sunset'
Gold Breath of Heaven



Correa 'Carmine Bells'
Australian Fuchsia



Diets vegeta
Fortnight Lily



Euphorbia characias
Mediterranean Spurge



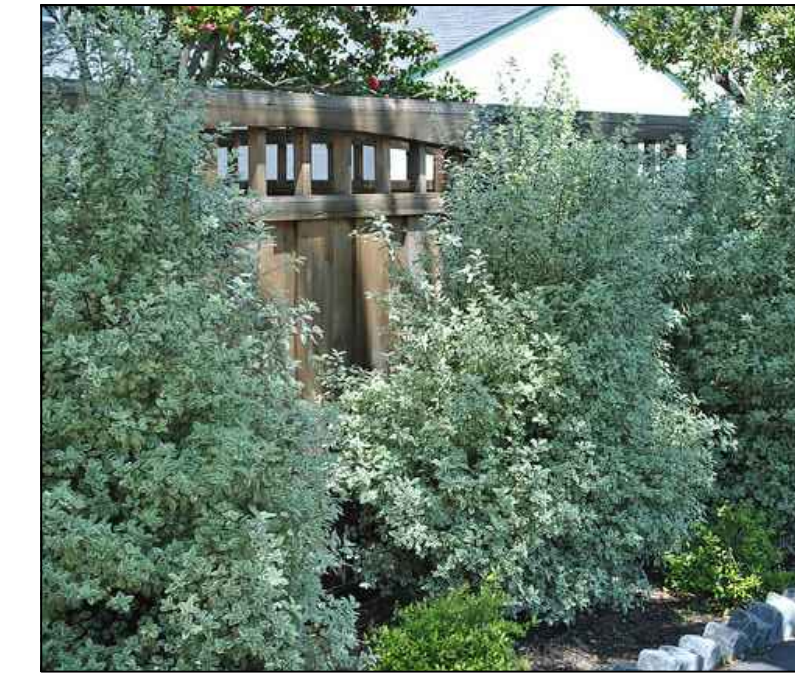
Huechera sanguineum
Coral Bells



Lavandula 'Provence'
Provence Lavender



Loropetalum chinense
Japanese Fringe Flower



Pittosporum 'Marjorie Channon'
Variegated Pittosporum



Rosa 'Flower Carpet White'
White Groundcover Rose

Ornamental Grasses



Festuca ovina glauca
Blue Fescue



Helictotrichon sempervirens
Blue Oat Grass



Pennisetum alopecuroides
Fountain Grass



Phormium 'Jubilee'
Amazing Red Flax



Yellow Dwarf Flax
Phormium 'Wings of Gold'

Ground Cover



Bacopa 'Giant Snowflake'
White Flowering Bacopa

Vines



Bougainvillea 'San Diego Red'
Red Bougainvillea



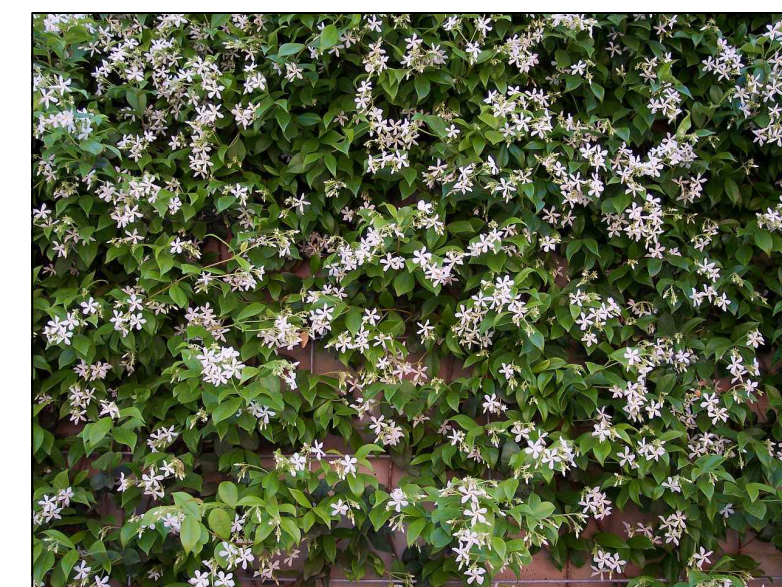
Clytostoma callistegiodes
Lavender Trumpet Vine



Ficus pumila
Creeping Fig



Rosa banksiae
Lady Banks Yellow Flowering Rose



Trachelospermum jasminoides
Star Jasmine Vine

REVISIONS



PRELIMINARY LANDSCAPE PLANT IMAGES

JOB NO. 201709

SCALE no scale

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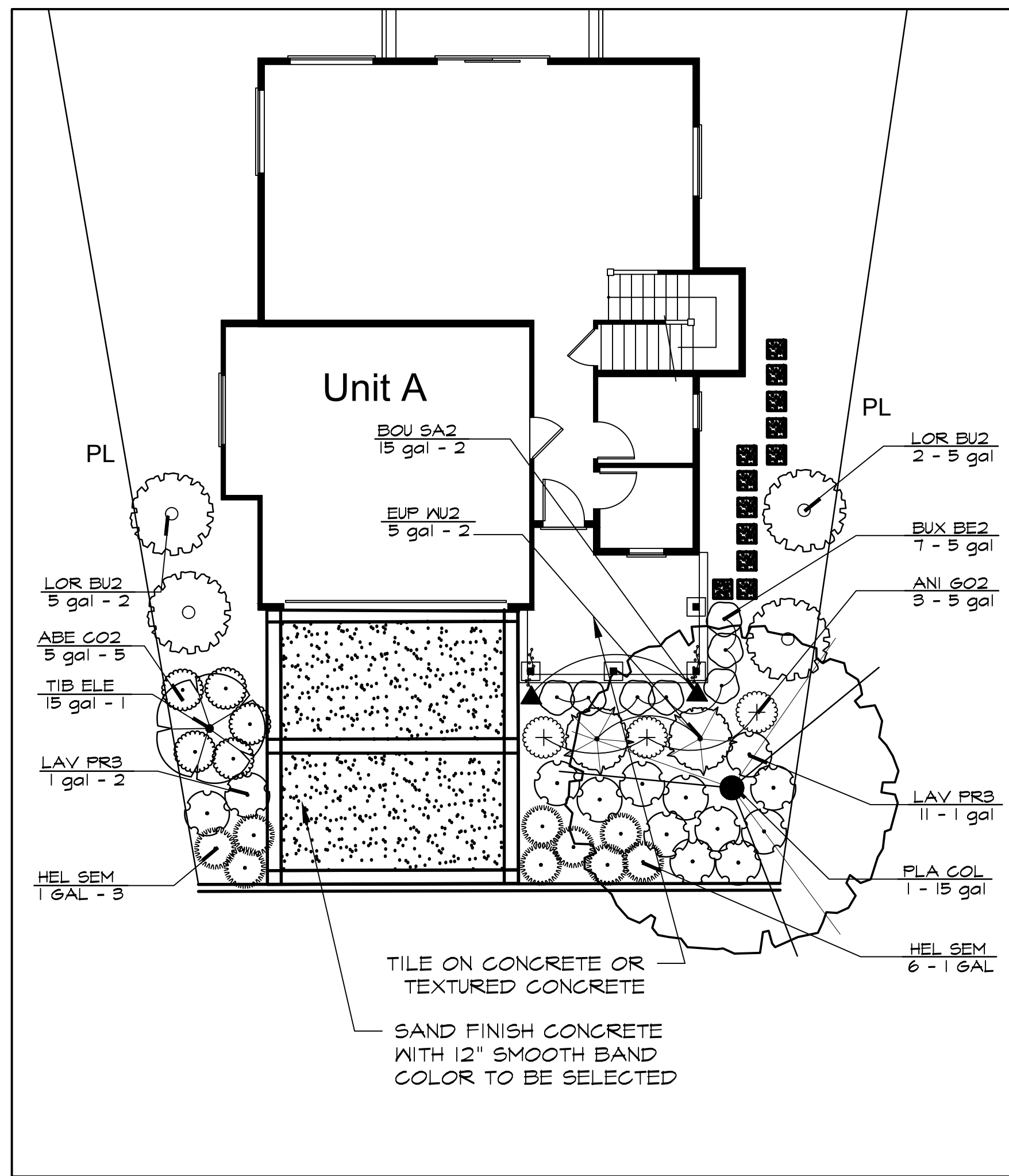
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DATE 6.7.21

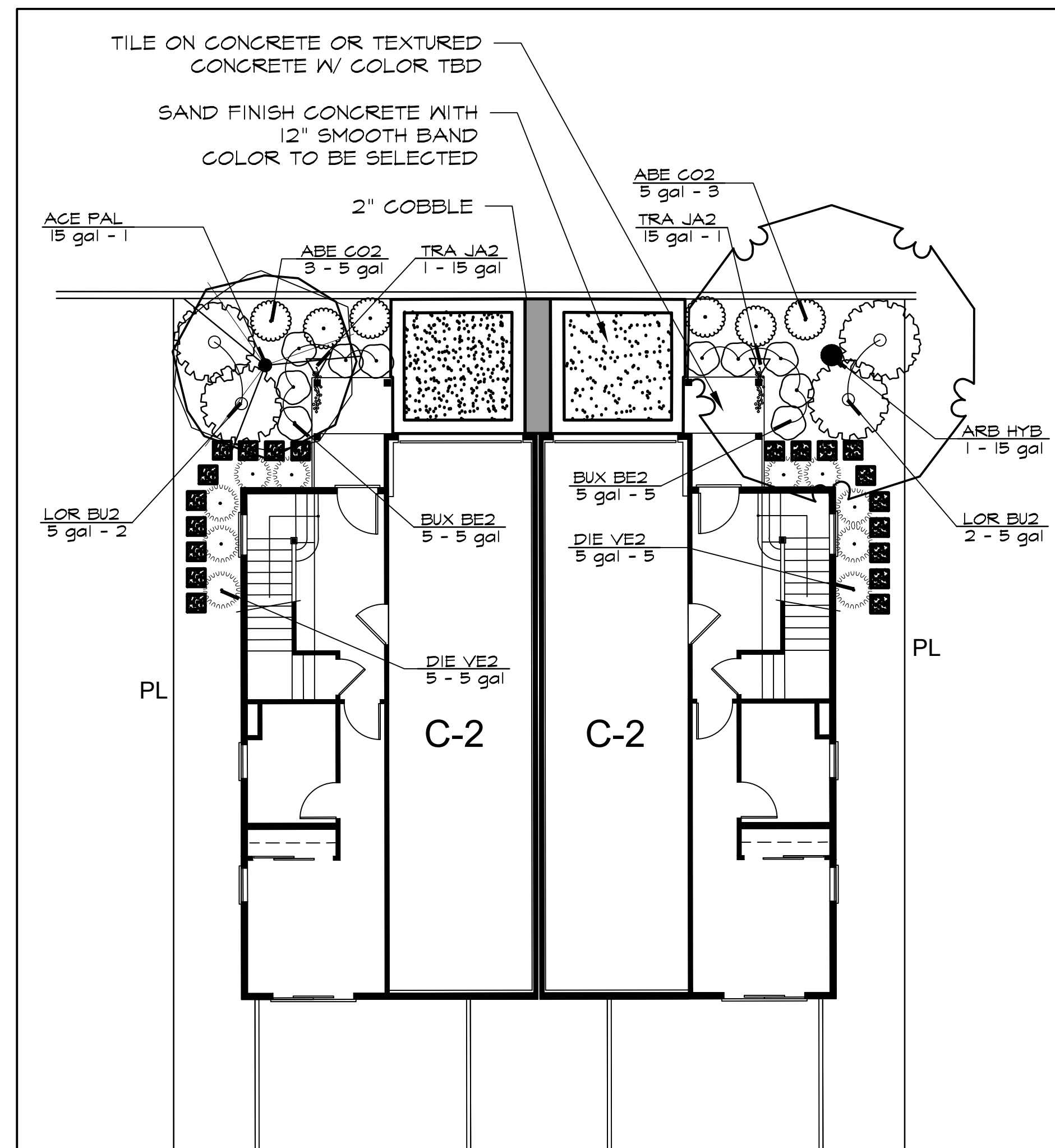
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L-1.3

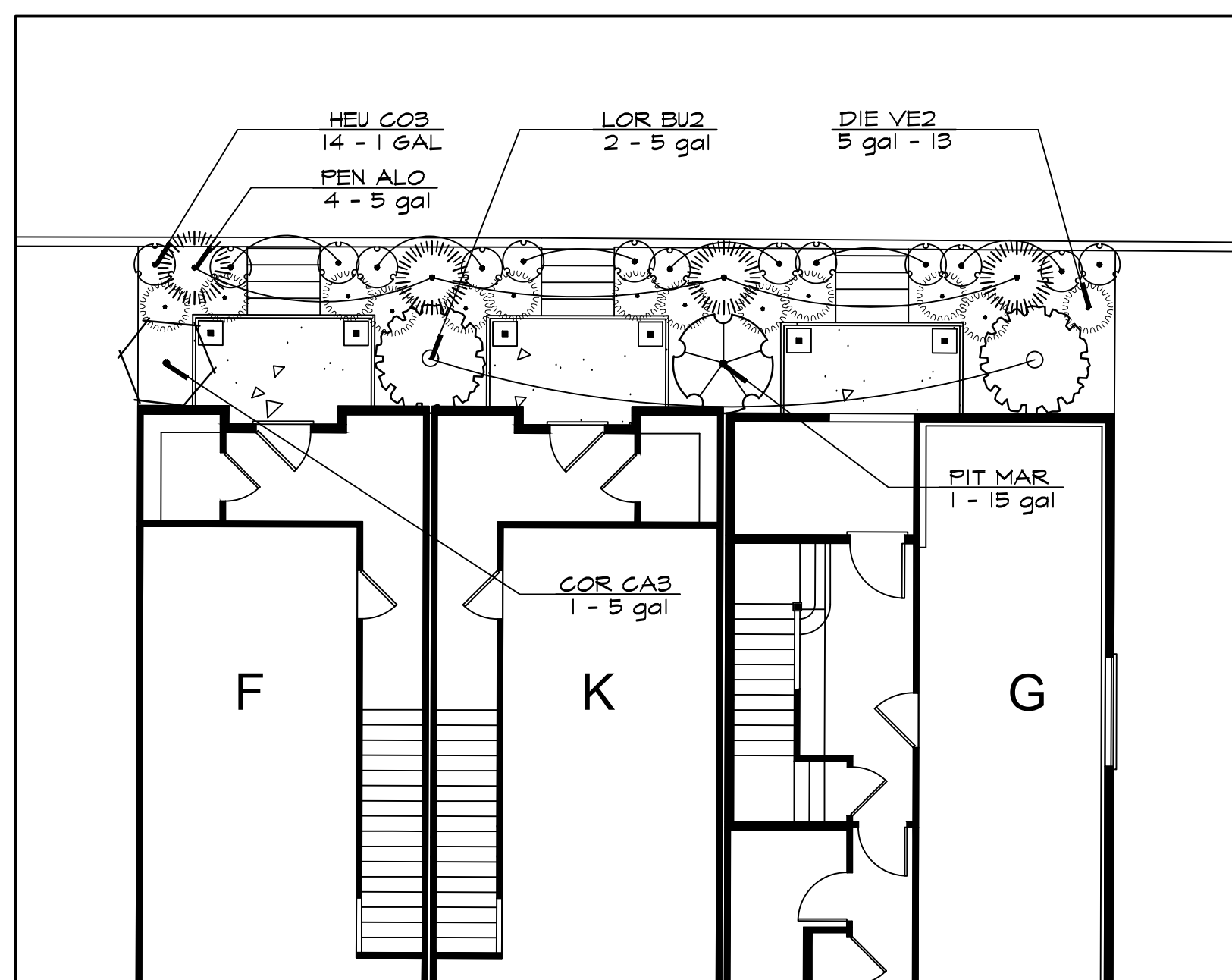
SHEET 5 OF 8



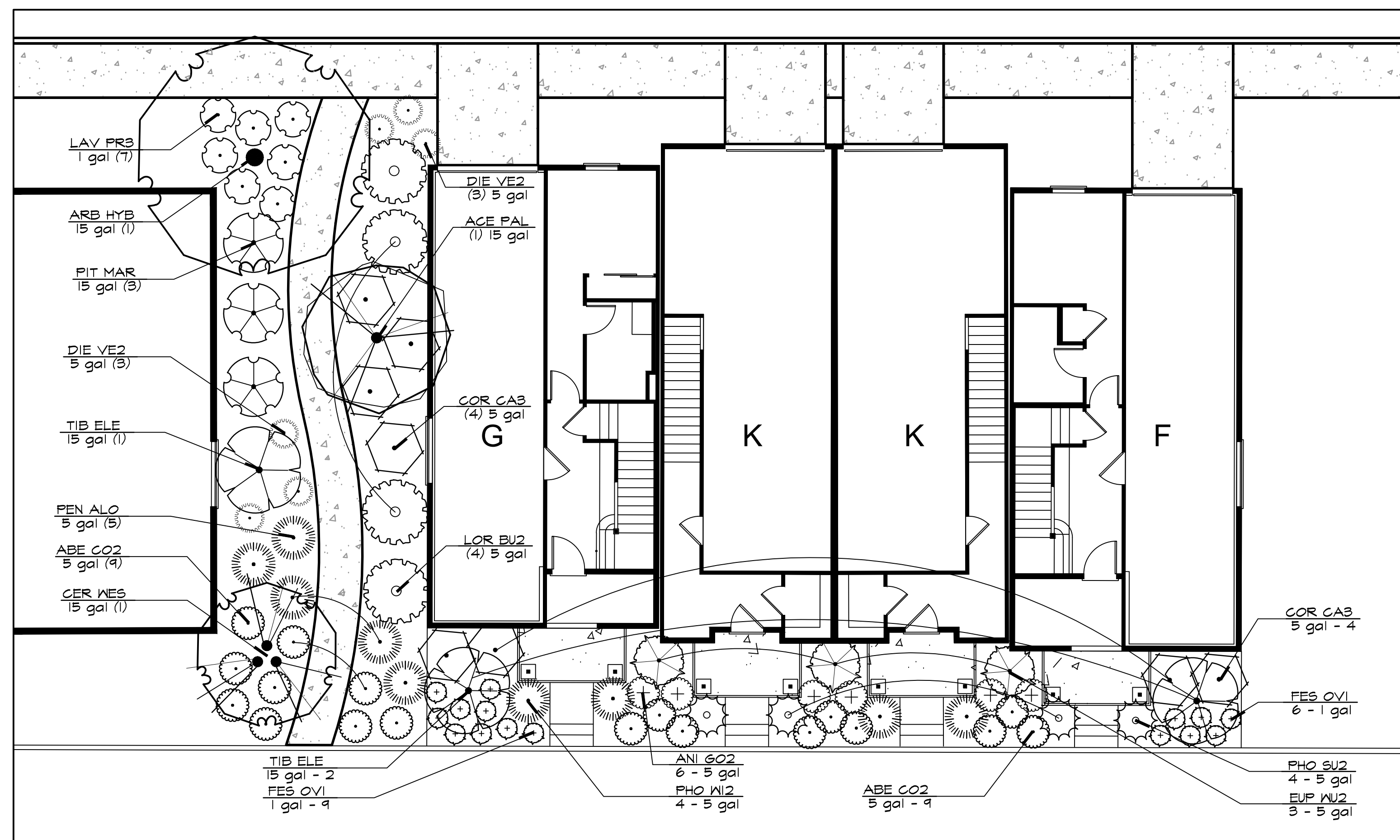
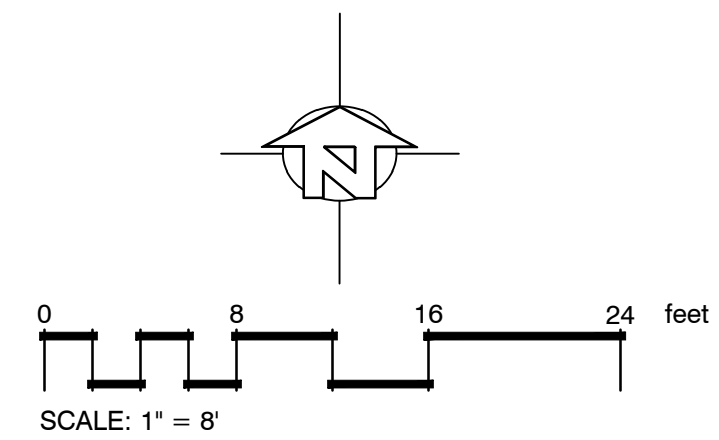
TYPICAL SINGLE FAMILY FRONT YARD
scale 1/8" = 1' - 0"



TYPICAL DUPLEX FRONT YARD
scale 1/8" = 1' - 0"



TYPICAL THREE PLEX FRONT YARDS
scale 1/8" = 1' - 0"



TYPICAL FOUR PLEX FRONT YARDS
scale 1/8" = 1' - 0"

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	ACE PAL	Acer palmatum / Japanese Maple	15 gal	2
	ARB HYB	Arbutus x 'Marina' / Arbutus Standard	15 gal	2
	CER MES	Cercis occidentalis / Western Redbud Multi-trunk	15 gal	1
	PLA COL	Platanus x acerifolia 'Columbia' / London Plane Tree	15 gal	1
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	ABE CO2	Abelia x grandiflora 'Confetti' TM / Variegated Abelia	5 gal	24
	ANI GO2	Anigozanthos x 'Gold Velvet' / Yellow Kangaroo Paw	5 gal	4
	BUX BE2	Buxus microphylla Japonica 'Green Beauty' / Green Beauty Boxwood	5 gal	17
	COR CAS	Correa pulchella 'Gamine Bells' / Australian Fuchsia	5 gal	4
	DIE VE2	Dietsa vegeta / African Iris	5 gal	24
	EUP WU2	Euphorbia characias wulfenii / Evergreen Spurge	5 gal	5
	HEU CO3	Heuchera sanguinea / Coral Bells	1 GAL	14
	LAV PR3	Lavandula x intermedia 'Provence' / Provence Lavender	1 gal	20
	LOR BU2	Loropetalum chinense rubrum Burgundy / Burgundy Loropetalum	5 gal	14
	PIT MAR	Pittosporum tenuifolium 'Marjorie Channon' / Tahitihi	15 gal	4
	TIB ELE	Tibouchina elegans / Princess Flower	15 gal	4
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	FES OVI	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	1 gal	15
	HEL SEM	Helictotrichon sempervirens / Blue Oat Grass	1 GAL	4
	PEN ALO	Pennisetum alopecuroides / Fountain Grass	5 gal	4
	PHO WI2	Phormium tenax 'Wings of Gold' / New Zealand Flax	5 gal	4
	PHO SU2	Phormium x 'Surfer' / New Zealand Flax	5 gal	4
VINE/PALMER	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	BOU SA2	Bougainvillea x 'San Diego Red' / Bougainvillea	15 gal	2
	TRA JA2	Trachelospermum jasminoides / Chinese Star Jasmine	15 gal	2

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REVISIONS

TYPICAL FRONT YARD
LANDSCAPE PLANS

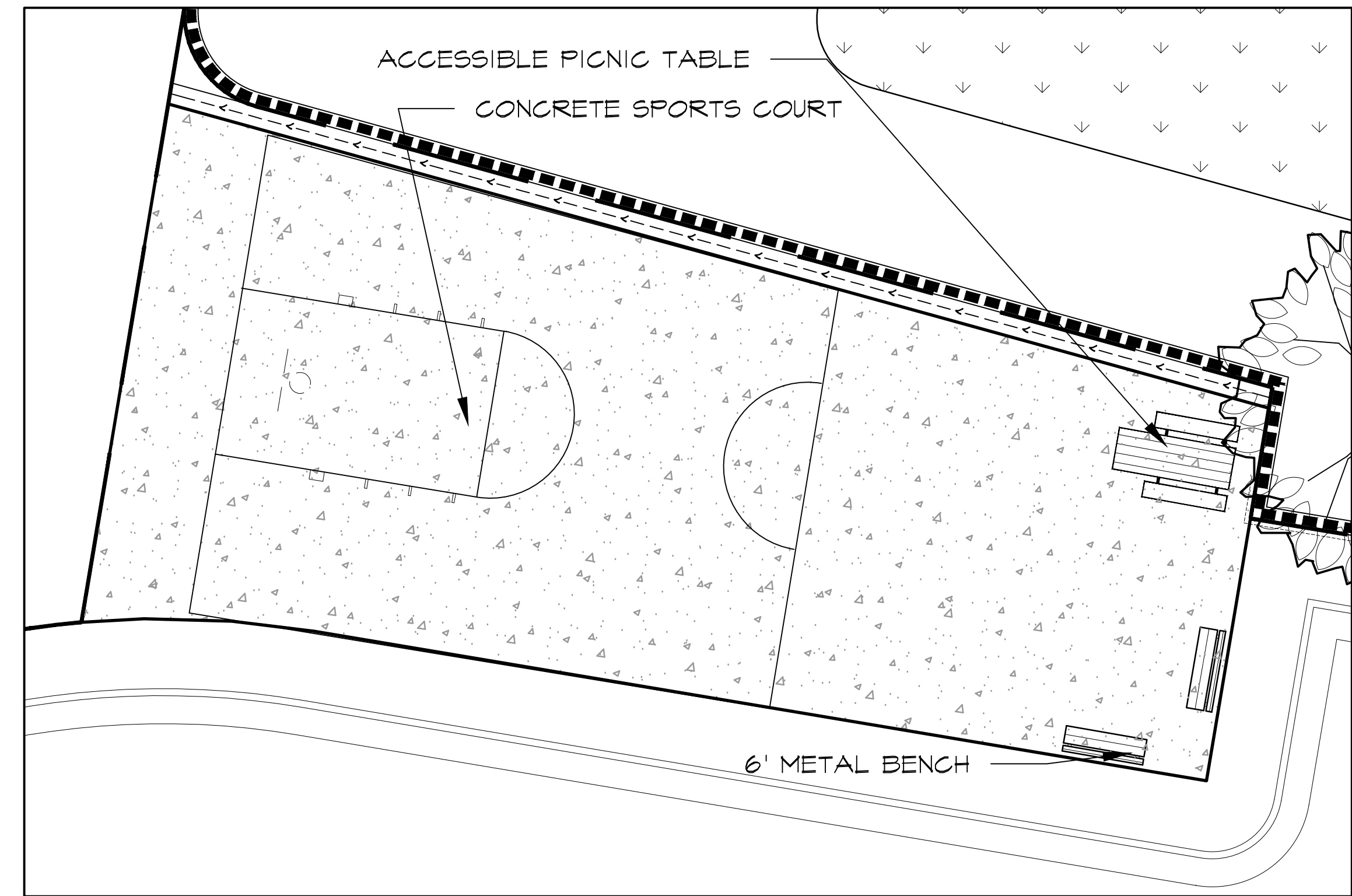
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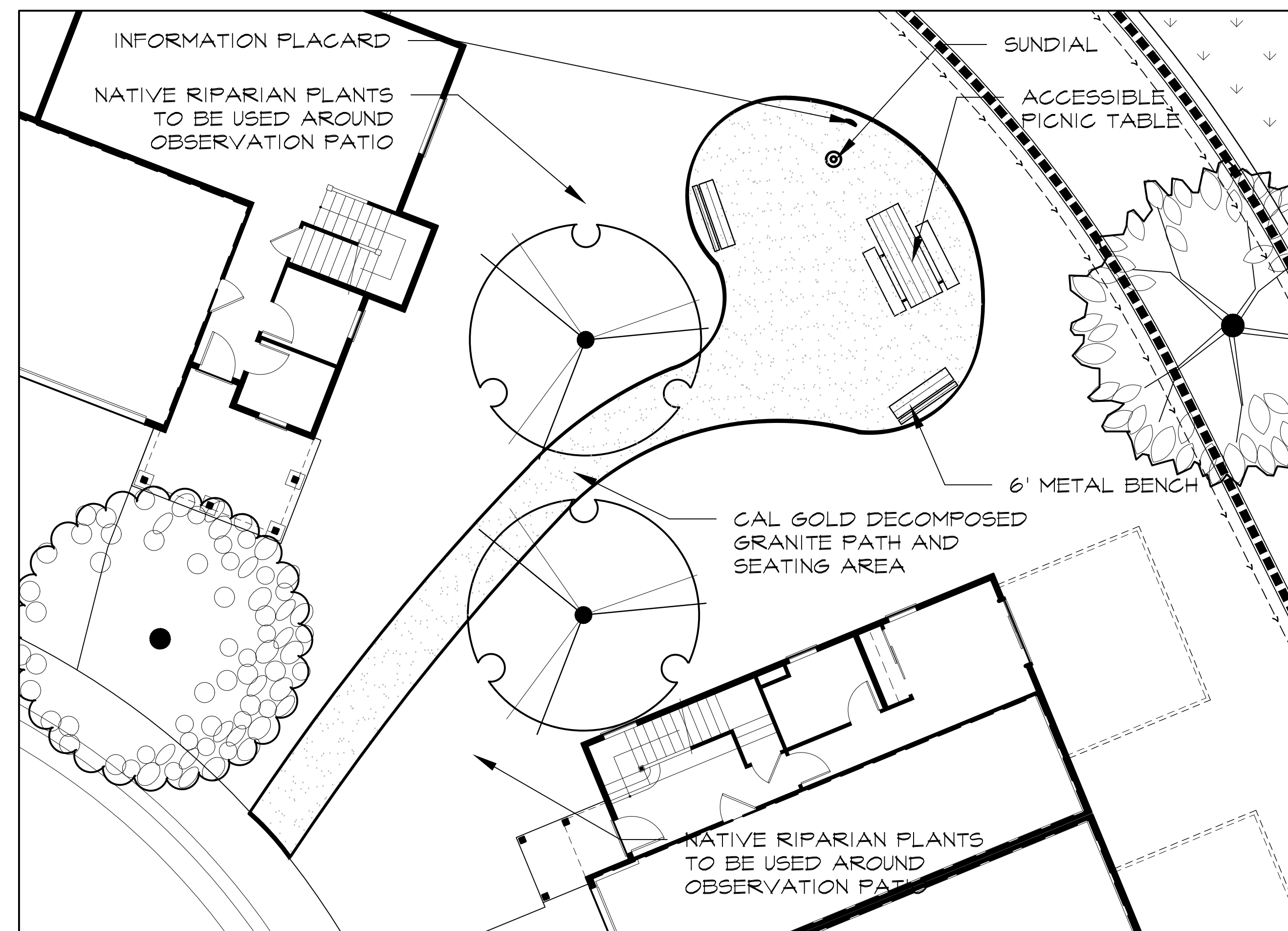
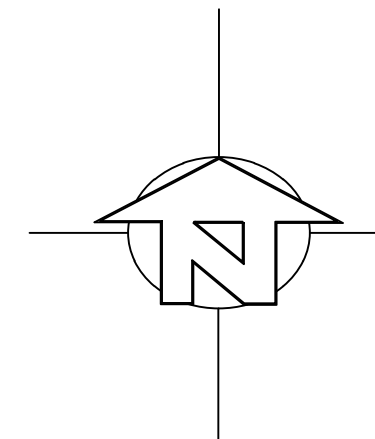
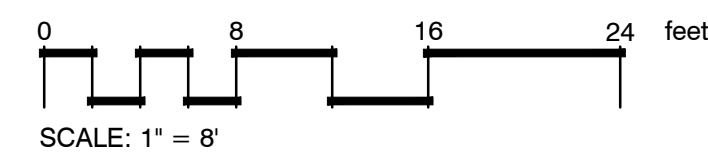


COMMON AREA RECREATION AMENITIES
SCALE 1/16" = 1' - 0"

- TWO CHARCOAL GRILLS
- ACCESSIBLE PICNIC TABLE
- CONCRETE SEATING AREA W/ METAL TABLES
- CONCRETE SEAT WALL PLANTER
- PLAY LAWN
- 6' METAL BENCH
- FIBAR PLAY SURFACE WITH SAFETY FALL ZONE
- KIDS PLAY STRUCTURE TO BE SELECTED
- 8" CONCRETE BAND
- CONCRETE WALKWAY
- LAWN
- BOCCIE BALL COURT
- 6' METAL BENCH



OBSERVATION DECK AMENITIES
SCALE 1/8" = 1' - 0"



OBSERVATION PATIO AMENITIES
SCALE 1/8" = 1' - 0"

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REVISIONS



SITE AMENITIES

JOB NO. 201709
SCALE AS NOTED
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DATE 6.7.21 L-2.0

